



ORDINARY MEETING

AGENDA

23 AUGUST 2022

Your attendance is required at an Ordinary meeting of Council to be held in the Council Chambers, 232 Bolsover Street, Rockhampton on 23 August 2022 commencing at 9:00am for transaction of the enclosed business.

R Chessman

ACTING CHIEF EXECUTIVE OFFICER
18 August 2022

Next Meeting Date: 13.09.22

Please note:

In accordance with the *Local Government Regulation 2012*, please be advised that all discussion held during the meeting is recorded for the purpose of verifying the minutes. This will include any discussion involving a Councillor, staff member or a member of the public.

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1 OPENING

1.1 Acknowledgement of Country

2 PRESENT

Members Present:

The Mayor, Councillor A P Williams (Chairperson)
Deputy Mayor, Councillor N K Fisher
Councillor S Latcham
Councillor G D Mathers
Councillor C E Smith
Councillor C R Rutherford
Councillor M D Wickerson
Councillor D Kirkland

In Attendance:

Mr E Pardon – Chief Executive Officer

3 APOLOGIES AND LEAVE OF ABSENCE

4 CONFIRMATION OF MINUTES

Minutes of the Ordinary Meeting held 9 August 2022

5 DECLARATIONS OF INTEREST IN MATTERS ON THE AGENDA

6 BUSINESS OUTSTANDING

6.1 LIFTING MATTERS FROM THE TABLE

File No: 11044
Attachments: Nil
Authorising Officer: Ross Cheesman - Acting Chief Executive Officer
Author: Ross Cheesman - Acting Chief Executive Officer

SUMMARY

Items laid on the table require a report to be lifted from the table before being dealt with. This report is designed to lift the reports that have been laid on the table at previous Ordinary Council Meetings.

OFFICER'S RECOMMENDATION

THAT the following matters be lifted from the table and dealt with accordingly:

- Development Application for a Material Change of Use for a Telecommunications Facility – D/34-2022
- 5th Australian Open (Junior Golf) Championship

7 PUBLIC FORUMS/DEPUTATIONS

7.1 DEPUTATION - D/34-2022 - DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE FOR A TELECOMMUNICATIONS FACILITY

File No: D/34-2022

Attachments: Nil

Authorising Officer: Amanda O'Mara - Acting Coordinator Development Assessment
Doug Scott - Manager Planning and Regulatory Services
Alicia Cutler - General Manager Community Services

Author: Kathy McDonald - Planning Officer

SUMMARY

Mark Baade SAQ Consulting for Stilmark Holdings, has requested an opportunity to attend the Council meeting on 23 August 2022 to discuss a Development Application for a Material Change of Use for a Telecommunications Facility over 652-664 Norman Road, Norman Gardens - Lot 2 on RP801347 (Development Application D/34-2022).

OFFICER'S RECOMMENDATION

THAT the deputation by Mark Baade, SAQ Consulting be 'received'.

8 PRESENTATION OF PETITIONS

Nil

9 COUNCILLOR/DELEGATE REPORTS

Nil

10 OFFICERS' REPORTS

10.1 D/34-2022 - DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE FOR A TELECOMMUNICATIONS FACILITY

File No:	D/34-2022
Attachments:	<ol style="list-style-type: none">1. Locality Plan2. Revised Site Plan3. Elevation Plan4. Revised EME Report5. Service Area Maps
Authorising Officer:	Amanda O'Mara - Acting Coordinator Development Assessment Doug Scott - Manager Planning and Regulatory Services Alicia Cutler - General Manager Community Services
Author:	Kathy McDonald - Planning Officer
Previous Items:	11.5 - D/34-2022 - Development Permit for a Material Change of Use for a Telecommunications Facility - Ordinary Council - 12 Jul 2022 9:00am

SUMMARY

Development Application Number:	D/34-2022
Applicant:	Stilmark Holdings Pty Ltd
Real Property Address:	Lot 2 on RP801347
Common Property Address:	652-664 Norman Road, Norman Gardens
Area of Site:	9.82 hectares
Planning Scheme:	Rockhampton Region Planning Scheme 2015 (version 2.2)
Planning Scheme Zone:	Low Density Residential Zone
Planning Scheme Overlays:	Airport Environs Overlay; Flood Hazard Overlay; and Steep Land Overlay.
Existing Development:	Rockhampton Baptist Church
Approval Sought:	Development Permit for Material Change of Use for a Telecommunications Facility
Level of Assessment:	Impact Assessable
Submissions:	Eighteen (18)
Referral Agency:	Nil
Infrastructure Charges Area:	Charge Area 1

OFFICER'S RECOMMENDATION

THAT in relation to the application for a Development Permit for Material Change of Use for a Telecommunications Facility, made by Stilmark Holdings Pty Ltd, located at 652-664 Norman Road, Norman Gardens, described as Lot 2 on RP801347, Council resolves to provide the following reasons for its decision:

STATEMENT OF REASONS

Description of the development	Material Change of Use for a Telecommunications Facility	
Reasons for Decision	<p>a) Assessment of the development against the relevant zone purpose, planning scheme codes and planning scheme policies demonstrates that the proposed development will not cause significant adverse impacts on the surrounding natural environment, built environment and infrastructure, community facilities, or local character and amenity; and</p> <p>b) On balance, the application should be approved because the circumstances favour Council exercising its discretion to approve the application even though the development does not comply with an aspect of the assessment benchmarks.</p>	
Assessment Benchmarks	<p>The development was assessed against the following assessment benchmarks:</p> <ul style="list-style-type: none"> • Strategic Framework; • Low Density Residential Zone Code; • Telecommunications Facilities and Utilities Code; • Airport Environs Overlay Code; • Access, Parking and Transport Code; • Landscape Code; • Stormwater Management Code; • Waste Management Code; and • Water and Sewer Code. 	
Compliance with assessment benchmarks	The development was assessed against all of the assessment benchmarks listed above and complies with all of these with the exceptions listed below.	
	Assessment Benchmark	Reasons for the approval despite non-compliance with benchmark
	Low Density Residential Zone Code	<p><u>PO1</u></p> <p>The development does not comply with Acceptable Outcome 1.1 (a) as the height of the telecommunications facility exceeds two (2) storeys and 8.5 metres above ground level. The Telecommunications Facility is a detached freestanding structure with a height of 30 metres.</p> <p>Despite the height of the proposed development exceeding 8.5m above ground level, it is unlikely to adversely impact on the urban form or significant scenic landscape features of the area for the following reasons:</p> <ul style="list-style-type: none"> • The tower is of a monopole design, which is a narrow structure; • Significant setbacks assists in reducing its perceived height and bulk. Located approximately 145 metres (west) to Norman Road, 140 metres (north), 157 metres (south) and 166 metres (east) to

		<p>the nearest dwelling houses;</p> <ul style="list-style-type: none"> • The established dense tree cover surrounding the proposed tower, which is of a similar height to the monopole structure assists in screening the development and softening the built form; and • Telecommunication towers are integral parts of a community's infrastructure network and form part of a normal urban landscape. <p>In the instance any conflicts are identified with PO1, regard to relevant matters relating to a planning need are considered to outweigh those conflicts.</p> <p>PO16</p> <p>The development may present low-level conflicts with (c), (d) and (h) of Performance Outcome 16, which relate to scale of non-residential development within the Zone and potential impacts on streetscape and local amenity.</p> <p>Once established, a telecommunications facility is a relatively passive land use. The facility is not anticipated to generate any noise, beyond what would normally be expected for a domestic air conditioning unit. The only part of the facility that generates noise is the cooling fans on the equipment located at ground level. The facility will not emit light, dust, heat, smoke or odour and in this sense is considered small scale. However, it is acknowledged the development is a detached freestanding structure with a height of 30 metres, which is in contrast to the prevailing built form in the surrounding area.</p> <p>Despite the height of the development, it is not considered to have adverse impacts on streetscape and local amenity for the reasons outlined in response to PO1 of the Low Density Residential Zone Code.</p> <p>Furthermore, the facility will not compromise the existing lawful use of the subject land or ability of the adjoining surrounding residential uses. The primary function is to service the needs of the immediate local community and ensures that existing and future development within the area has access to appropriate standards of infrastructure and essential services.</p> <p>Therefore, on balance the development is considered to comply with the intent and overall outcomes of the Zone Code.</p>
	<p>Telecommunications Facilities and Utilities Code</p>	<p>PO1</p> <p>The development does not comply with Acceptable Outcome 1.1 as the</p>

		<p>telecommunications facility is located within a residential zone category.</p> <p>A site selection methodology was undertaken and determined the proposed facility needs to be close to where it is currently proposed to ensure the radio-frequency and network outcomes for the area can be achieved. Moving it well away from the residential area it is intending to serve is an unviable option and found the proposed site to be the most suitable.</p> <p>The subject site, whilst located in the Low Density Residential Zone provides the ability to minimise its impacts by way of acceptable setbacks, approximately 145 metres from Norman Road, west and 140 up to 166 metres to all residential uses to the north, east and south allotment boundaries.</p> <p>Existing dense vegetation on the subject site will provide further screening from all boundaries. Furthermore, as with all mobile telecommunications facilities in Australia, the proposed facility is required to comply at all times with the relevant Radiation Protection Standards.</p> <p>Therefore, it is not anticipated that the telecommunications facility will adversely impact on the amenity, health or visual character of a residential zone or other sensitive locations and the proposal generally complies with the Performance Outcome.</p> <p>In the instance any conflicts are identified with PO1, regard to relevant matters relating to a planning need are considered to outweigh those conflicts.</p> <p><u>PO2</u></p> <p>The development does not comply with Acceptable Outcome 2.1 as the height exceeds the height limits prescribed by the Airport Environs Overlay and is not collocated on an existing tower or building.</p> <p>To minimise its visual impact on the surrounding area the facility has been sited on a large lot, approximately 10 hectares in size. The facility looks to visually integrate with the surrounding dense vegetation on the subject site that is of a similar height and the monopole design which is a narrow structure will be finished with neutral, low contrast colours further minimising its visual impact.</p> <p>It is unlikely that any directly adjoining, or nearby residential property will have a clear view of the proposed facility. Any views available are more likely to be substantially obscured from existing dense vegetation and could not be described as</p>
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		<p>unreasonable.</p> <p>In the instance any conflicts are identified with PO2, regard to relevant matters relating to a planning need are considered to outweigh those conflicts.</p> <hr/> <p><u>PO5</u></p> <p>The proposed development does not comply with Acceptable Outcome 5.1 as it does not provide a minimum three (3) metre wide earth mounded landscape strip with dense landscaping.</p> <p>The applicant has not proposed any landscaping as part of the proposal. However, the outcome is effectively achieved by the significant separation distance from any local area, approximately 145 metres from Norman Road, west and 140 up to 166 metres to all residential uses to the north, east and south allotment boundaries.</p> <p>Further, the existing vegetation on the subject site already provides for a natural buffer and will screen the development from all adjoining boundaries.</p> <p>Therefore, the proposal is considered to achieve the performance outcome.</p> <hr/> <p><u>PO7</u></p> <p>The proposed development does not comply with Acceptable Outcome 7.1 (b) as it does not achieve a minimum 150 metre setback from a dual occupancy, dwelling house or multiple dwelling.</p> <p>The nearest detached dwelling to the proposed facility is approximately 140 metres to the north, fronting Parkside Place and 157 metres to the southeast, fronting Lancewood Close.</p> <p>The facility will accommodate both 4G and 5G services and will be purposely designed and constructed to allow for collocation of up to three (3) carriers to occur minimising the number of such structures in the council area.</p> <p>The telecommunications facility may be visible from existing residential premises and other sensitive receiving environments, as identified by non-compliance with other assessment benchmarks. It will not, however, adversely impact on the health or safety of nearby residents.</p> <p>As part of the development application the Applicant submitted an Environmental EME Report, which provides a summary of levels of radiofrequency (RF) EME. RF EME levels were calculated using methodology developed by the Australian Radiation Protection and Nuclear Safety Agency</p>
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		<p>(ARPANSA). The maximum EME level calculated for the proposed development is 1.67% out of 100% of the public exposure limit that is deemed safe.</p> <p>Therefore, based on the reporting provided there is no known adverse health concerns that would result from the development and the proposal is considered to achieve the performance outcome.</p>
	<p>Airport Environs Overlay Code</p>	<p><u>PO1</u></p> <p>The proposal does not comply with Acceptable Outcome 1.1 which does not allow structures as identified on overlay map OM-2A: to penetrate the airport’s operational airspace.</p> <p>Despite this, consultation has been undertaken with the Rockhampton Airport and determined the proposed telecommunications structure with a maximum height of 30 metres above ground level will not impact upon any air service operations.</p> <p>Therefore, the proposal is considered to achieve the performance outcome.</p>
	<p>Landscape Code</p>	<p><u>PO1</u></p> <p>The proposed development does not comply with Acceptable Outcome 1.1 as no landscaping is proposed as part of the development.</p> <p>The outcome is effectively achieved by the significant separation distance from any local area, approximately 145 metres from the west being Norman Road frontage, 140 metres from the north property boundary and over 157 metres from the east and south property boundaries.</p> <p>Further, the existing vegetation on the subject site already provides for a natural buffer and will screen the development from all adjoining boundaries.</p> <p>Therefore, the proposal is considered to achieve the performance outcome.</p>
<p>Relevant Matters</p>	<p>The proposed development was assessed against the following relevant matters:</p> <ul style="list-style-type: none"> • Telecommunication facilities are considered critical pieces of community infrastructure, similar to reticulated water and sewerage. • There is a growing demand and need for new telecommunications facilities as mobile usage continues to trend upward nationally. • COVID-19 has resulted in significant changes in how people use mobile data. Telecommunication providers have experienced exponential growth in data usage as more people spend time working from home. • Without new telecommunication facilities, similar to the one being proposed, users may experience difficulty connecting to the mobile network or experience call dropouts. The Applicant has demonstrated 	

	in order to practically meet user requirements, the proposed development and site are the most suitable.	
Matters raised in submissions	Issue	How matter was dealt with
	Health concerns	<p>Submitters raised concerns regarding the potential health impacts of such facilities on nearby residents, aged care facility and the church on the subject land, particularly because of 'electromagnetic radiation', also commonly referred to as 'electromagnetic energy' (EME).</p> <p>As part of a further advice request the applicant submitted an Environmental EME Report, which provided a summary of levels of radiofrequency (RF) and electromagnetic energy (EME) around the proposed base station at 652-664 Norman Road, Norman Gardens. The RF, EME levels were calculated using methodology developed by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA). The maximum EME level calculated for the proposed development is 1.67% out of 100% of the public exposure limit that is deemed safe.</p> <p>As with all mobile telecommunications facilities in Australia, the proposed facility is required to comply at all times with the relevant Radiation Protection Standard and once operational must have this compliance certified by an accredited person.</p> <p>Therefore, based on the reporting provided there is no known adverse health concerns that would result from the development.</p>
	Devaluing of nearby properties	<p>Submitters raised concerns the proposal would devalue their properties. Property value is not a matter Council may or must have regard to under the <i>Planning Act 2016</i> when assessing and deciding a development application. Notwithstanding, there is no evidence that the installation of these facilities has had any adverse and direct impact upon property values. Access to essential telecommunications services, particularly in developing areas, is increasingly seen as not only beneficial but necessary.</p>
Poor public consultation / notification	<p>Submitters raised concerns about the lack of public awareness of the proposed development. Particularly, why residents in the surrounding area were not more widely consulted.</p> <p>The Applicant undertook public notification in accordance with the mandatory requirements of the <i>Planning Act 2016</i>. This included:</p> <ul style="list-style-type: none"> • Notifying adjoining landowners with a common boundary by post. 	

		<ul style="list-style-type: none"> • Placing a notice in a newspaper circulating in the locality. • Two (2) notice signs were placed on the Norman Road frontage of the site for 15 business days. <p>There is no requirement for the Applicant or Assessment Manager (Council) to consult with or undertake public notification beyond that required by the <i>Planning Act 2016</i>.</p> <p>Furthermore, a Council Officer attended the site following concerns that the public notification sign had fallen over along Norman Road on the thirteenth (13) day of notification. It was concluded the sign had been placed upright against a tree. As there were two (2) notice signs placed along the Norman Road frontage and only one (1) required, it was deemed to not adversely affect the public's awareness of the existence and nature of the application or restrict the public's opportunity to make properly made submissions about the application.</p>
	Visual Impact	<p>Submitters raised concerns regarding visual impacts to the subject site and surrounding area. Siting of the proposed facility allows for significant setbacks and screening by existing tree cover. The closest residential property is approximately 140 metres to the north, and it is unlikely that any directly adjoining, or nearby residential property will have a clear view of the proposed facility. Any views available are more likely to be substantially obscured and could not be described as unreasonable or dominant. Furthermore, it has been conditioned that the monopole, headframe and antennas are to be painted and finished in a non-competing colour that will further minimise its visual impact.</p>
	Wildlife	<p>Submitters raised concerns regarding the potential impacts on the surrounding habitat of existing wildlife. The subject site is not mapped as containing matters of state or local environmental significance. Existing studies by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA) on the effects of low-level RF and EME exposure on plants and animals indicate that the exposure limits set within the Standard are adequate in providing protection to the environment. Furthermore, no vegetation is proposed to be removed as part of the development.</p>
	Alternate Locations	<p>Submitters made comment to the relocation of the telecommunications tower on other potential sites, however provided no viable alternative suggestions.</p> <p>The need for the telecommunications facility</p>

		<p>has arisen as a result of increased demand on the network in the Norman Gardens area, particularly east of Yaamba Road. A site selection methodology was undertaken and first sought to assess the suitability of existing facilities for upgrade or collocation, before moving to new sites where existing facilities were not appropriate. The methodology took into account proximity to residential areas, impacts on visual amenity and benefit to the network.</p> <p>The investigations determined the proposed facility needs to be close to where it is currently proposed to ensure the radio-frequency and network outcomes for the area can be achieved. Moving it well away from the residential area it is intending to serve is an unviable option and found the proposed site to be the most suitable.</p> <p>The subject site, whilst located in the Low Density Residential Zone provides the ability to minimise its impacts by way of acceptable setbacks from allotment boundaries and screening available from existing dense vegetation.</p>
<p>Matters prescribed by regulation</p>	<ul style="list-style-type: none"> • The <i>Rockhampton Region Planning Scheme 2015</i> (version 2.2); and • The common material, being the material submitted with the application. 	

RECOMMENDATION B

THAT in relation to the application for a Development Permit for Material Change of Use for a Telecommunications Facility, made by Stilmark Holdings Pty Ltd, located at 652-664 Norman Road, Norman Gardens, described as Lot 2 on RP801347, Council resolves to Approve the application subject to the following conditions:

1.0 ADMINISTRATION

- 1.1 The Developer and their employee, agent, contractor or invitee is responsible for ensuring compliance with the conditions of this development approval.
- 1.2 Where these Conditions refer to "Council" in relation to requiring Council to approve or to be satisfied as to any matter, or conferring on the Council a function, power or discretion, that role may be fulfilled in whole or in part by a delegate appointed for that purpose by the Council.
- 1.3 All conditions, works, or requirements of this development approval must be undertaken and completed:
 - 1.3.1 to Council's satisfaction;
 - 1.3.2 at no cost to Council; and
 - 1.3.3 prior to the commencement of the use, unless otherwise stated.
- 1.4 Infrastructure requirements of this development approval must be contributed to the relevant authorities, where applicable, at no cost to Council, prior to the commencement of the use, unless otherwise stated.
- 1.5 The following further Development Permits must be obtained prior to the commencement of any works associated with their purposes:

1.5.1 Building Works.

- 1.6 All works must be designed, constructed and maintained in accordance with the relevant Council policies, guidelines and standards, unless otherwise stated.
- 1.7 All engineering drawings/specifications, design and construction works must be in accordance with the requirements of the relevant *Australian Standards* and must be approved, supervised and certified by a Registered Professional Engineer of Queensland.

2.0 APPROVED PLANS AND DOCUMENTS

- 2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by any condition of this development approval:

<u>Plan/Document Name</u>	<u>Prepared by</u>	<u>Date</u>	<u>Reference No.</u>	<u>Version/Issue</u>
Site Plan	Stilmark	18 July 2022	AQ4701-001-P1	F-2
Site Setout Plan	Stilmark	18 July 2022	AQ4701-001-P2	F-2
Site Elevation	Stilmark	18 July 2022	AQ4701-001-P3	F-2

- 2.2 Where there is any conflict between the conditions of this development approval and the details shown on the approved plans and documents, the conditions of this development approval must prevail.

3.0 STORMWATER WORKS

- 3.1 All stormwater must drain to a demonstrated lawful point of discharge and must not adversely affect surrounding land or infrastructure in comparison to the pre-development conditions, including but not limited to blocking, altering or diverting existing stormwater runoff patterns or having the potential to cause damage to other infrastructure.

4.0 SITE WORKS

- 4.1 Site works must be constructed such that they do not, at any time, in any way restrict, impair or change the natural flow of runoff water, or cause a nuisance or worsening to surrounding land or infrastructure.

5.0 BUILDING WORKS

- 5.1 A Development Permit for Building Works assessable under the Building Assessment Provisions must be obtained prior to the commencement of any building works on the site.
- 5.2 All external elements, such as cooling fans and associated equipment, must be adequately screened from public view to Council's satisfaction.
- 5.3 A 2.4 metre high security fence is to be provided around the telecommunications facility compound. All fencing must be maintained to the satisfaction of Council.
- 5.4 The telecommunications tower must be built out of non-reflective dark green or grey material in order to reduce any nuisance (glare) to surrounding sensitive land uses.

6.0 ELECTRICITY

- 6.1 Electricity services must be provided to the development in accordance with the standards and requirements of the relevant service provider.

7.0 ASSET MANAGEMENT

- 7.1 Any alteration necessary to electricity, telephone, water mains, sewerage mains, and/or public utility installations resulting from the development or in connection with the development, must be undertaken and completed at no cost to Council.

7.2 Any damage to existing stormwater, water supply and sewerage infrastructure, kerb and channel, pathway or roadway (including removal of concrete slurry from public land and Council infrastructure), that occurs while any works are being carried out in association with this development approval must be repaired at full cost to the developer. This includes the reinstatement of any existing traffic signs or pavement markings that may have been removed or damaged.

8.0 ENVIRONMENTAL HEALTH

8.1 Any lighting devices associated with the development, such as sensory lighting, must be positioned on the development site and shielded so as not to cause glare or other nuisance to nearby residents and motorists. Night lighting must be designed, constructed and operated in accordance with *Australian Standard AS4282 "Control of the obtrusive effects of outdoor lighting"*.

8.2 Operations on the site must have no significant impact on the amenity of adjoining premises or the surrounding area due to the emission of light, noise or dust.

9.0 OPERATING PROCEDURES

9.1 All construction materials, waste, waste skips, machinery and contractors' vehicles must be located and stored or parked within the development site. Storage of materials or parking of construction machinery or contractors' vehicles must not occur within Norman Road.

9.2 Submit to and have approved by Council a 'Tree Protection Zone/s' plan, prior to the issue of a Development Permit for Building Works. Once approved, the 'Tree Protection Zone/s' plan will form part of the approved plans in Condition 2.1. A property note to this effect will be entered against Lot 2 on RP801347.

9.3 The 'Tree Protection Zone/s' plan must show the location of existing established trees on the subject site that must be retained.

ADVISORY NOTES

NOTE 1. Aboriginal Cultural Heritage

It is advised that under section 23 of the *Aboriginal Cultural Heritage Act 2003*, a person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage (the "cultural heritage duty of care"). Maximum penalties for breaching the duty of care are listed in the Aboriginal cultural heritage legislation. The information on Aboriginal cultural heritage is available on the Department of Seniors, Disability Services and Aboriginal and Torres Strait Islander Partnerships website www.dsdsatsip.qld.gov.au.

NOTE 2. General Environmental Duty

General environmental duty under the *Environmental Protection Act 1994* prohibits unlawful environmental nuisance caused by noise, aerosols, particles, dust, ash, fumes, light, odour or smoke beyond the boundaries of the development site during all stages of the development including earthworks, construction and operation.

NOTE 3. General Safety Of Public During Construction

The *Work Health and Safety Act 2011* and *Manual of Uniform Traffic Control Devices* must be complied with in carrying out any construction works, and to ensure safe traffic control and safe public access in respect of works being constructed on a road.

NOTE 4. Property Note (Building Works)

Submit to and have approved by Council a 'Tree Protection Zone/s' plan, prior to the issue of a Development Permit for Building Works.

The 'Tree Protection Zone/s' plan must show the location of existing established trees on the subject site that must be retained.

RECOMMENDATION C

THAT in relation to the application for a Development Permit for Material Change of Use for a Telecommunications Facility, made by Stilmark Holdings Pty Ltd, located at 652-664 Norman Road, Norman Gardens, described as Lot 2 on RP801347, Council resolves not to issue an Infrastructure Charges Notice.

BACKGROUND

This application was tabled at Council meeting 12 July 2022. The Council Resolution was that the matter lay on the table pending discussions with the applicant and property owner on an alternative location that is both further away from residents and also allow for further residential development on the subject site.

As a result, a revised location 55 metres southwest of the original location has been proposed. This relocation places the facility closer to the church buildings, but is still well screened from the church, among a greater number of taller trees and on ground of slightly lower elevation further minimising its visual impact. The revised location is approximately 145 metres from Norman Road to the west and more than 140 metres to all residential uses to the north, east and south, which is a greater separation distance from the original location.

Furthermore, a revised Environmental EME Report for the new location was generated and shows the relocation has also had the effect of slightly lowering the maximum EME levels to be expected from the facility from 1.70% to 1.67%.

There were some concerns raised that the establishment of the proposed Telecommunications Facility would sterilise the land for future residential development. The following points are relevant to note in this regard:

- The owner has advised there are no plans to utilise the balance of the subject site for any development in the foreseeable future;
- A portion of the site from the western boundary through to the eastern boundary and along the south boundary is constrained by Creek Catchment Flooding, Planning Areas 1 and 2. Due to this hazard, it is unlikely to produce the number of allotments expected from such a large parcel of land. Major Operational Works would be required on the land including an upgrade to the intersection at Normand Road and Farm Street; and
- There are no legislated physical separation requirements from a Telecommunications Facility to any land use including residential development.

PROPOSAL IN DETAIL

The proposal is for Stilmark to construct and maintain a telecommunications tower located at 652-664 Norman Road, Norman Gardens. Stilmark is a licenced carrier and operates as an infrastructure provider or 'neutral host', whereby new facilities are sited, designed, acquired, built and maintained by Stilmark, but utilised by carriers as part of their respective networks.

The facility will accommodate both 4G and 5G services and will be purposely designed and constructed to allow for collocation of up to three (3) carriers to occur minimising the number of such structures in the council area. The built form will consist of a 30 metre tall monopole and associated equipment that is not anticipated to generate any noise, beyond what would normally be expected for a domestic air conditioning unit. The only part of the facility that generates noise is the cooling fans on the equipment located at ground level. The facility will not emit dust, heat, smoke, gaseous plumes or particulates. Electromagnetic EME emissions generated are separately regulated by the Australian Communications and Media Authority (ACMA).

Access to the site will be via the existing vehicle crossovers from Norman Road. No dedicated access is required to be constructed for the proposed development. Once operational, it is anticipated that access will only be required 2-4 times annually for routine maintenance.

This application was tabled at Council meeting 12 July 2022. The Council Resolution was that the matter lay on the table pending discussions with the applicant and property owner on an alternative location that is both further away from residents and also allow for further residential development on the subject site.

SITE AND LOCALITY

The site is located at 652-664 Norman Road, Norman Gardens, formally described as Lot 2 on RP801347. The subject site is approximately 9.82 hectares in size and used for religious purposes, with the Rockhampton Baptist Church and associated buildings and carparking located in the south western corner. The remainder of the site is vacant land with sparse to dense vegetation. A portion of the site from the western boundary through to the eastern boundary and along the south boundary is constrained by Creek Catchment Flooding, Planning Areas 1 and 2.

Immediately surrounding the site to the north, east, south and west is a well established low density residential area. The nearest detached dwelling house to the proposed facility is approximately 140 metres to the north, fronting Parkside Place.

PLANNING ASSESSMENT

MATTERS FOR CONSIDERATION

This application has been assessed by relevant Council planning, engineering, environmental health, and other technical officers as required. The assessment has been in accordance with the assessment process provisions of the Development Assessment Rules, based on consideration of the relevant State Planning Policy; State Government guidelines; the Council's Town Planning Scheme, Planning Policies and other general policies and procedures, as well as other documents as considered relevant.

Development Engineering Comments

Support, subject to conditions.

Public and Environmental Health Comments

Support, subject to conditions.

Other Staff Technical Comments

Not applicable as the application was not referred to any other technical staff.

TOWN PLANNING COMMENTS

State Planning Policy 2017

Section 2.1 of *Rockhampton Region Planning Scheme 2015* noted the *State Planning Policy 2017* is integrated in the planning scheme. The State planning interests are therefore addressed as part of this assessment of the development against the *Rockhampton Region Planning Scheme 2015*.

Central Queensland Regional Plan 2013

The *Central Queensland Regional Plan 2013* is a statutory document which came into effect on 18 October 2013. The Regional Plan is identified as being appropriately integrated with the Planning Scheme and therefore an assessment against the Planning Scheme is taken to be an assessment against the *Central Queensland Regional Plan 2013*.

Rockhampton Region Planning Scheme 2015

Strategic framework

The subject site is situated within the Urban Area designation under the scheme's strategic framework map. The strategic framework themes and their strategic outcomes, as identified within Part 3 of the *Rockhampton Region Planning Scheme 2015* are applicable:

(i) **Settlement pattern**

- (1) *Urban and new urban areas are characterised by walkability between housing and activity nodes, such as a park, shop or bus stop. They offer a choice of housing types, including dwelling houses, semi-detached or dual occupancy housing, row or terrace houses, some multiple dwellings (in accordance with specific outcome (6) below) and small scale live/work buildings (i.e. home-based businesses). While dwelling houses are the most common use, many dwelling houses are on a range of smaller lots.*
- (2) *Urban and new urban areas allow for adaptable dwellings that provide intergenerational housing options catering to young people, families and support for ageing in place.*
- (3) *Urban and new urban areas have a feel of openness at the street level. Streets are characterised by street trees which provide shade and character, footpaths for walking trips, and streets shared by cars and bikes. New streets are generally laid out on a grid-based pattern in order to provide good connectivity and legibility and to reduce the need to drive.*
- (4) *The planning scheme has identified sufficient land supply for future greenfield development up to 2026. No further residential development is to occur beyond the areas designated as urban and new urban as shown on the strategic framework maps (SFM-1 to SFM-4) before 2026. Future urban areas will only be considered for future residential development when addressing the outcomes identified under section 3.3.9.*

Editor's note—The term "greenfield" refers to development areas that have not previously been used for urban purposes.

Editor's note—Residential growth is contained within urban and new urban areas through the low density residential zone and low-medium density residential zone.

Editor's note—Future urban areas have been generally identified by the emerging community zone.

- (5) *Urban development is contained within the urban and new urban areas to achieve the following outcomes:*
 - (a) *the impacts from natural hazards are avoided, including the potential future impacts resulting from climate change;*
 - (b) *environmental values and green breaks are maintained;*
 - (c) *rural, natural asset, landscape and environmental values are protected;*
 - (d) a coordinated sequence that ensures the efficient delivery of infrastructure and services;**
 - (e) *safe and efficient access to retail goods and services, community and recreational facilities and employment opportunities;*
 - (f) *a range of housing and lifestyle options consistent with the forecast changing demographic characteristics and expectations;*
 - (g) *the opportunity for increasingly sustainable and healthy lifestyles, including a reduced dependence on motor vehicles by providing convenient access to public transport, walking and cycling; and*
 - (h) *infill and intensification is focussed around centres and transport facilities.*

(6) *Housing other than dwelling houses are located on lots with particular attributes, like corner lots, lots with rear lane access, and lots located on higher order roads and with convenient walking distance to centres, parks and major community facilities or public transport.*

(7) *A variety of residential lot sizes and designs is provided to cater for diverse and changing housing needs within the community. The scale of buildings is appropriate to the size of the lot and to the character of the neighbourhood.*

Editor's note—A variety of lot sizes is achieved through implementing the provisions of the reconfiguring a lot code.

(8) *Urban and new urban areas (excluding neighbourhood centres) contain existing land uses that provide for a localised service function such as small-scale food and drink outlets, community uses and services. These land uses can continue; however, the expansion of these uses or the establishment of new uses must function to service the needs of the immediate local residential community, not conflict with sensitive land use(s), not compromise the role and function of designated centres and be consistent with the relevant zone code.*

(9) *No expansion of existing centres or industrial areas will occur into residential zoned areas (unless otherwise identified within the planning scheme). This will:*

- (a) maintain the viability and sustainability of existing centres and industrial areas;*
- (b) provide certainty to the owners and occupants;*
- (c) encourage the reinvestment and redevelopment of existing centres and industrial areas; and*
- (d) prevent the spread of 'ribbon' development along state controlled road and major roads.*

(10) *Neighbourhood centres do not expand to service a wider local centre catchment.*

(11) *Greenfield urban and new urban areas in Rockhampton and Gracemere will provide at least fifteen (15) dwellings per hectare of land (net developable area). On larger sites, a structure plan must be provided in accordance with the relevant zone code and planning scheme policies.*

Editor's note—The term "greenfield" refers to development areas that have not previously been used for urban purposes.

Editor's note—Residential growth is contained within urban and new urban areas through the low density residential zone and low-medium density residential zone.

(12) *These new communities are well planned and demonstrate the following:*

- (a) subdivision occurs in a sequenced manner and coordinated with surrounding land;*
- (b) development creates attractive streets that are well-connected to parks, community facilities and centres to support sustainable lifestyles including pedestrian and cycle transport;*
- (c) the land retains significant environmental or ecological values, including but not limited to areas of environmental significance, wildlife and environmental corridors and waterways and wetlands;*
- (d) the physical characteristics of the land are suitable for development. New development does not expand into land that is subject to adverse impacts from natural hazards;***
- (e) development will protect significant landscape features and areas of high scenic value;*
- (f) future social and economic needs and characteristics are catered for;***

- (g) *development does not cause or exacerbate existing land use conflicts with respect to major industrial uses (including the Gracemere and Parkhurst industrial areas) or other land uses such as existing intensive rural land uses or extractive industry;*
- (h) *development provides for a variety of residential lot sizes and designs;*
- (i) *the balance of land or future stages of large greenfield sites are retained in large parcels;*
- (j) ***development is sequenced and coordinated in a way that provides for the most efficient connection and maintenance of existing and future infrastructure and services; and***
- (k) *development is consistent with the strategic framework maps (SFM-1 to SFM-4).*

Editor's note—The biodiversity overlay identifies areas of environmental value and new development may be required to submit an environmental report demonstrating that no environmental values exist, or impacts are minimised, avoidance is not feasible, and an environmental offset is provided.

Editor's note—A variety of lot sizes and the preferred subdivision design is achieved through implementing the provisions of the reconfiguring a lot code.

- (13) *Greenfield urban and new urban areas may provide higher residential densities (generally in accordance with the urban infill and intensification section) when adjoining a new centre that is designated within this strategic framework.*
- (14) *Until planned and developed, urban and new urban areas are maintained in large parcels to prevent fragmentation which will compromise the future coordination of urban development.*

Complies.

The Telecommunications Facility does not compromise the strategic outcomes for the settlement pattern theme. Specifically, the development is essential infrastructure that supports both population growth and growth in use of mobile data by existing users. No expansion of existing centres or industrial areas will occur into the residential zoned area as a result of the development. The physical characteristics of the subject land are suitable for the development ensuring the efficient delivery of telecommunication services whilst preserving the urban residential amenity through appropriate setbacks and screening from existing dense vegetation.

(ii) Natural environment and hazards

- (1) *The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area's biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.*
- (2) *Development does not create unsustainable impacts on:*
 - (a) *the natural functioning of floodplains;*
 - (b) *environmentally significant areas, including areas of state and locally significant vegetation, which provide fauna habitat and support biodiversity; and*
 - (c) *the quality of water entering waterways, wetlands and local catchments.*
- (3) *Development does not increase the risk to human life and property in areas that are affected, or potentially affected, by storm-surge, erosion, sea-level rise or other coastal processes, flooding, bushfire, or landslide. This occurs through the avoidance of natural hazards in new development areas, particularly greenfield areas and the mitigation of risks in existing built up areas.*

- (4) *Strategic and iconic scenic and landscape values are protected from potential adverse impacts of development.*

Complies.

Whilst the subject site is affected by Creek Catchment Flooding, Planning Areas 1 and 2 the Telecommunications Facility will not increase the risk to human life or property as it is located outside of the flood hazard and does not require frequent visitation by people.

(iii) **Community identity and diversity**

- (1) *The quality of life of residents is enhanced through equitable access to social infrastructure, community services and facilities necessary to support community health and well-being.*
- (2) *The community is self-sufficient and does not rely on services and facilities located in other regions. Development contributes to the provision of new social infrastructure, including land.*
- (3) *Cultural heritage including character housing and heritage buildings are conserved and enhanced.*
- (4) *Public places are safe, functional, characterised by good urban design, and include a range of facilities to encourage healthy and active lifestyles.*

Complies.

Telecommunication towers are infrastructure needed to support new and existing communities, while also helping regions respond to change, such as working from home and technological advancement. These changes have resulted in how people use mobile data and telecommunication providers have experienced exponential growth in data usage as a consequence.

This proposed Telecommunications Facility is located in an area of Rockhampton not currently well serviced by wireless telecommunications and distant from existing facilities in the area. The facility will accommodate both 4G and 5G services and will be purposely designed and constructed to allow for collocation of up to three (3) carriers to occur minimising the number of such structures in the council area.

The development will ensure increased efficiency and reliability in the delivery of telecommunication services and the surrounding community will benefit from these increased services, meeting the demands of a diverse population with changing needs.

(iv) **Access and mobility**

- (1) *Connectivity is achieved between residential uses, employment centres and services through the provision of active transport infrastructure integrated with efficient public transport services.*
- (2) *The trunk transport network (as shown on the strategic framework maps SFM-9 to SFM-12 and in plans for trunk infrastructure in the local government infrastructure plan) supports the settlement pattern and the local economy by facilitating the efficient and safe movement of people and goods both within the planning scheme area (especially between the main urban centres of Rockhampton and Gracemere), and to and from other locations.*
- (3) *The transport network encourages and supports active living in centres by providing for integrated walking, cycling, and public transport infrastructure to support a progressive reduction in car dependency.*
- (4) *The safety and efficiency of transport infrastructure, including the Bruce and Capricorn highways and other state and local roads, rail, airport and seaports, are not compromised by development.*

Not applicable.

(v) Infrastructure and services

- (1) *Infrastructure and services are planned and delivered in a logical and cost efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:*
 - (a) *efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;*
 - (b) *the long-term needs of the community, industry and business are met; and*
 - (c) *the desired standards of service in Part 4 — Local government infrastructure plan are achieved.*

Complies.

The proposed facility is part of a wider program of works across Queensland ranging from Cairns and Townsville, Mackay, Rockhampton and across the South-East which seeks to forward plan for future infrastructure requirements based on carriers existing coverage and anticipated future needs.

While telecommunication facilities are not captured by Council's Local Government Infrastructure Plan, they are considered to be an important component of the broader infrastructure network. New telecommunication facilities will ensure the long-term needs of the community, industry and businesses are met.

(vi) Natural resources and economic development

- (1) *The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.*
- (2) *The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).*
- (3) *The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.*
- (4) *Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including water courses, water bodies and groundwater.*
- (5) *Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.*

Not applicable.

The performance assessment of the proposal demonstrates that the development will not compromise the *Rockhampton Region Planning Scheme 2015* strategic outcomes.

Low Density Residential Zone

The subject site is situated within the Low Density Residential Zone under the *Rockhampton Region Planning Scheme 2015*. The purpose of the Low Density Residential Zone identifies that: -

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- (1) *The purpose of the low density residential zone code is to:*
- (a) *provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;*
 - (b) *provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;*
 - (c) *minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and*
 - (d) *ensure that development within the zone has appropriate standards of infrastructure and essential services.*
- (2) *The purposes of the zone will be achieved through the following overall outcomes:*
- (a) *development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally low-rise, 1-2 storey built form and low density character with small scale, detached buildings;*
 - (b) *residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);*
 - (c) *low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;*
 - (d) *short-term accommodations only occurs where it:*
 - (i) *is established in an existing dwelling;*
 - (ii) *does not adversely impact on the amenity of the surrounding residential area;*
 - (iii) *maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and*
 - (iv) *is limited in scale and duration;*

Note—Use of a dwelling for short-term accommodation in this context may take the form of short term rental, Airbnb or similar accommodation. Purpose built commercially run short-term accommodation facilities are not intended. Short-term accommodation does not include a party house, which is separately defined.

- (e) ***non-residential uses only occur within the zone where they:***
 - (i) ***do not compromise the residential character and existing amenity of the surrounding area;***
 - (ii) ***are small-scale and consistent with the surrounding urban form;***
 - (iii) ***primarily function to service the needs of the immediate local residential community;***
 - (iv) ***do not detract from the role and function of centres;***
 - (v) ***do not result in the expansion of a centre zone; and***
 - (vi) ***have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;***

- (f) *no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;*
- (g) *neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;*
- (h) *new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;*

Editor's note—To remove any doubt specialised centres are a centre zones category.

- (i) *development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;*
- (j) *development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;*
- (k) *new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;*
- (l) *new residential developments are located and integrated with existing neighbourhoods;*
- (m) *development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;*
- (n) *development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;*
- (o) *development is serviced by infrastructure that is commensurate with the needs of the use; and*
- (p) *the establishment of one (1) precinct within the zone where particular requirements are identified:*
 - (i) *Fitzroy River accommodation precinct; and*
 - (ii) *Residential stables precinct*

Complies

Whilst the development is a non-residential use within a residential zone, it is not anticipated to compromise the residential character or existing amenity of the surrounding area through appropriate setbacks and screening from existing dense vegetation. The closest residential property is approximately 140 metres to the north, and it is unlikely that any directly adjoining, or nearby residential property will have a clear view of the proposed facility. Any views available are more likely to be substantially obscured and could not be described as unreasonable or dominant. Furthermore, it has been conditioned that the monopole, headframe and antennas are to be painted and finished in a non-competing colour that will further minimise its visual impact.

The facility occupies a very small part of the Low Density Residential Zone and has been placed on an unused part of the subject site. The facility will not compromise the continuing use of the subject land or adjoining surrounding residential uses and the primary function is to service the needs of the immediate local community. Therefore, the application is consistent with the purpose of the Zone.

Rockhampton Regional Planning Scheme Codes

The following codes are applicable to this application:

- Low Density Residential Zone Code;
- Telecommunications Facilities and Utilities Code;
- Airport Environs Overlay Code;
- Access, Parking and Transport Code;
- Landscape Code;
- Stormwater Management Code;
- Waste Management Code; and
- Water and Sewer Code.

An assessment has been made against the requirements of the abovementioned codes and the proposed development generally complies with the relevant Performance Outcomes and Acceptable Outcomes. Where the application is in conflict with the Acceptable Outcomes and is not otherwise conditioned to comply, an assessment of the Performance Outcomes is outlined below:

Low Density Residential Zone Code	
Performance Outcomes	Officer’s Response
<p>PO1 Development does not adversely impact on the urban form of the surrounding low density residential area and significant scenic landscape features, having regard to the scale and height of buildings and site cover.</p>	<p>PO1</p> <p>The development does not comply with Acceptable Outcome 1.1 (a) as the height of the telecommunications facility exceeds two (2) storeys and 8.5 metres above ground level. The Telecommunications Facility is a detached freestanding structure with a height of 30 metres.</p> <p>Despite the height of the proposed development exceeding 8.5m above ground level, it is unlikely to adversely impact on the urban form or significant scenic landscape features of the area for the following reasons:</p> <ul style="list-style-type: none"> • The tower is of a monopole design, which is a narrow structure; • Significant setbacks assists in reducing its perceived height and bulk. Located approximately 145 metres (west) to Norman Road, 140 metres (north), 157 metres (south) and 166 metres (east) to the nearest dwelling houses; • The established dense tree cover surrounding the proposed tower, which is of a similar height to the monopole structure assists in screening the development and softening the built form; and • Telecommunication towers are integral parts of a community’s infrastructure

		<p>network and form part of a normal urban landscape.</p> <p>In the instance any conflicts are identified with PO1, regard to relevant matters relating to a planning need are considered to outweigh those conflicts.</p>
PO16	<p>Non-residential development may locate in the low density residential zone when the use can demonstrate the following:</p> <p>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood;</p> <p>(b) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(c) is small in scale;</p> <p>(d) is consistent with the surrounding built form and streetscape;</p> <p>(e) the use provides only a convenience function and does not compromise the role and function of existing centres;</p> <p>(f) does not adjoin an existing centre zone;</p> <p>(g) located in proximity to public transport facilities and public transport routes; and</p> <p>(h) minimises impacts on local amenity and the local street network.</p>	<p>The development may present low-level conflicts with (c), (d) and (h) of Performance Outcome 16, which relate to scale of non-residential development within the Zone and potential impacts on streetscape and local amenity.</p> <p>Once established, a telecommunications facility is a relatively passive land use. The facility is not anticipated to generate any noise, beyond what would normally be expected for a domestic air conditioning unit. The only part of the facility that generates noise is the cooling fans on the equipment located at ground level. The facility will not emit light, dust, heat, smoke or odour and in this sense is considered small scale. However, it is acknowledged the development is a detached freestanding structure with a height of 30 metres, which is in contrast to the prevailing built form in the surrounding area.</p> <p>Despite the height of the development, it is not considered to have adverse impacts on streetscape and local amenity for the reasons outlined in response to PO1 of the Low Density Residential Zone Code.</p> <p>Furthermore, the facility will not compromise the existing lawful use of the subject land or ability of the adjoining surrounding residential uses. The primary function is to service the needs of the immediate local community and ensures that existing and future development within the area has access to appropriate standards of infrastructure and essential services.</p> <p>Therefore, on balance the development is considered to comply with the intent and overall outcomes of the Zone Code.</p>

Telecommunications Facilities and Utilities Code		
Performance Outcomes		Officer's Response
PO1	<p>The location of a telecommunications facility does not adversely impact the amenity, health or visual character of a residential zone or other sensitive locations,</p>	<p>The development does not comply with Acceptable Outcome 1.1 as the telecommunications facility is located within a residential zone category.</p> <p>A site selection methodology was</p>

	<p>including national parks and surrounding ranges.</p>	<p>undertaken and determined the proposed facility needs to be close to where it is currently proposed to ensure the radio-frequency and network outcomes for the area can be achieved. Moving it well away from the residential area it is intending to serve is an unviable option and found the proposed site to be the most suitable.</p> <p>The subject site, whilst located in the Low Density Residential Zone provides the ability to minimise its impacts by way of acceptable setbacks, approximately 145 metres from Norman Road, west and 140 up to 166 metres to all residential uses to the north, east and south allotment boundaries.</p> <p>Existing dense vegetation on the subject site will provide further screening from all boundaries. Furthermore, as with all mobile telecommunications facilities in Australia, the proposed facility is required to comply at all times with the relevant Radiation Protection Standards.</p> <p>Therefore, it is not anticipated that the telecommunications facility will adversely impact on the amenity, health or visual character of a residential zone or other sensitive locations and the proposal generally complies with the Performance Outcome.</p> <p>In the instance any conflicts are identified with PO1, regard to relevant matters relating to a planning need are considered</p>
<p>PO2</p>	<p>Development is visually integrated with the surrounding area to ensure it does not visually dominate and is not visually obtrusive, having regard to:</p> <ul style="list-style-type: none"> (a) scale; (b) height; (c) bulk; (d) materials and colour; and (e) aesthetic appearance. 	<p>The development does not comply with Acceptable Outcome 2.1 as the height exceeds the height limits prescribed by the Airport Environs Overlay and is not collocated on an existing tower or building.</p> <p>To minimise its visual impact on the surrounding area the facility has been sited on a large lot, approximately 10 hectares in size. The facility looks to visually integrate with the surrounding dense vegetation on the subject site that is of a similar height and the monopole design which is a narrow structure will be finished with neutral, low contrast colours further minimising its visual impact.</p> <p>It is unlikely that any directly adjoining, or nearby residential property will have a clear view of the proposed facility. Any views available are more likely to be substantially obscured from existing dense vegetation and could not be described as</p>

		<p>unreasonable.</p> <p>In the instance any conflicts are identified with PO2, regard to relevant matters relating to a planning need are considered to outweigh those conflicts.</p>
PO5	<p>Tree and shrub planting must provide dense screening to reduce the visual impacts of the facility and to enhance the character of the local area.</p>	<p>The proposed development does not comply with Acceptable Outcome 5.1 as it does not provide a minimum three (3) metre wide earth mounded landscape strip with dense landscaping.</p> <p>The applicant has not proposed any landscaping as part of the proposal. However, the outcome is effectively achieved by the significant separation distance from any local area, approximately 145 metres from Norman Road, west and 140 up to 166 metres to all residential uses to the north, east and south allotment boundaries.</p> <p>Further, the existing vegetation on the subject site already provides for a natural buffer and will screen the development from all adjoining boundaries.</p> <p>Therefore, the proposal is considered to achieve the performance outcome.</p>
PO7	<p>Development does not adversely impact on existing or future residential premises, or other sensitive receiving environments.</p>	<p>The proposed development does not comply with Acceptable Outcome 7.1 (b) as it does not achieve a minimum 150 metre setback from a dual occupancy, dwelling house or multiple dwelling.</p> <p>The nearest detached dwelling to the proposed facility is approximately 140 metres to the north, fronting Parkside Place and 157 metres to the southeast, fronting Lancewood Close.</p> <p>The facility will accommodate both 4G and 5G services and will be purposely designed and constructed to allow for collocation of up to three (3) carriers to occur minimising the number of such structures in the council area.</p> <p>The telecommunications facility may be visible from existing residential premises and other sensitive receiving environments, as identified by non-compliance with other assessment benchmarks. It will not, however, adversely impact on the health or safety of nearby residents.</p> <p>As part of the development application the Applicant submitted an Environmental EME Report, which provides a summary of levels of radiofrequency (RF) EME. RF EME levels were calculated using methodology</p>

		<p>developed by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA). The maximum EME level calculated for the proposed development is 1.67% out of 100% of the public exposure limit that is deemed safe.</p> <p>Therefore, based on the reporting provided there is no known adverse health concerns that would result from the development and the proposal is considered to achieve the performance outcome.</p>
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Airport Environs Overlay Code		
	Performance Outcomes	Officer's Response
PO1	<p>Development does not involve permanent, temporary or transient physical obstruction (natural or man-made) of operational airspace.</p>	<p>The proposal does not comply with Acceptable Outcome 1.1 which does not allow structures as identified on overlay map OM-2A: to penetrate the airport's operational airspace.</p> <p>Despite this, consultation has been undertaken with the Rockhampton Airport and determined the proposed telecommunications structure with a maximum height of 30 metres above ground level will not impact upon any air service operations.</p> <p>Therefore, the proposal is considered to achieve the performance outcome.</p>

Landscape Code		
	Performance Outcomes	Officer's Response
PO1	<p>Landscaping is professionally designed and provides a suitably sized area to:</p> <ul style="list-style-type: none"> (a) create an attractive visual addition to a building or place; (b) soften the built form; (c) provide a space for on-site recreation; and (d) enable landscaping to establish and thrive under the local conditions. <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>The proposed development does not comply with Acceptable Outcome 1.1 as no landscaping is proposed as part of the development.</p> <p>The outcome is effectively achieved by the significant separation distance from any local area, approximately 145 metres from the west being Norman Road frontage, 140 metres from the north property boundary and over 157 metres from the east and south property boundaries.</p> <p>Further, the existing vegetation on the subject site already provides for a natural buffer and will screen the development from all adjoining boundaries.</p> <p>Therefore, the proposal is considered to achieve the performance outcome.</p>

Based on a performance assessment of the abovementioned codes, it is determined that the proposal is acceptable and generally complies with the relevant Performance Outcomes and where there is deviation from the codes, sufficient justification has been provided.

INFRASTRUCTURE CHARGES

Charges Resolution (No. 1) 2022 for non-residential development applies to the application. The proposed development is for a Minor Use and does not have access to Council's reticulated infrastructure services and will not result in an increased demand on Council's infrastructure networks, no infrastructure charges are payable, and an Infrastructure Charges Notice is not required for the development.

CONSULTATION

The proposal was the subject of public notification between 26 April 2022 and 18 May 2022, in accordance with the requirements of the *Planning Act 2016* and the Development Assessment Rules, and eighteen (18) properly made submissions were received.

The following is a summary of the submissions lodged, with Council officer comments:

Issue	Officer's Response
Health concerns	<p>Submitters raised concerns regarding the potential health impacts of such facilities on nearby residents, aged care facility and the church on the subject land, particularly because of 'electromagnetic radiation', also commonly referred to as 'electromagnetic energy' (EME).</p> <p>As part of a further advice request the applicant submitted an Environmental EME Report, which provided a summary of levels of radiofrequency (RF) and electromagnetic energy (EME) around the proposed base station at 652-664 Norman Road, Norman Gardens. The RF, EME levels were calculated using methodology developed by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA). The maximum EME level calculated for the proposed development is 1.67% out of 100% of the public exposure limit that is deemed safe.</p> <p>As with all mobile telecommunications facilities in Australia, the proposed facility is required to comply at all times with the relevant Radiation Protection Standard and once operational must have this compliance certified by an accredited person.</p> <p>Therefore, based on the reporting provided there is no known adverse health concerns that would result from the development.</p>
Devaluing of nearby properties	<p>Submitters raised concerns the proposal would devalue their properties. There is no evidence that the installation of these facilities has had any adverse and direct impact upon property values. Access to essential telecommunications services, particularly in developing areas, is</p>

Issue	Officer's Response
	<p>increasingly seen as not only beneficial but necessary. Furthermore, property value is not a matter Council may or must have regard to under the <i>Planning Act 2016</i> when assessing and deciding a development application.</p>
<p>Poor public consultation / notification</p>	<p>Submitters raised concerns about the lack of public awareness of the proposed development. Particularly, why residents in the surrounding area were not more widely consulted.</p> <p>The Applicant undertook public notification in accordance with the mandatory requirements of the <i>Planning Act 2016</i>. This included:</p> <ul style="list-style-type: none"> • Notifying adjoining landowners with a <u>common boundary</u> by post. • Placing a notice in newspaper circulating in the locality. • Two (2) notice signs were placed on the Norman Road frontage of the site for 15 business days. <p>Furthermore, a Council Officer attended the site following concerns that the public notification sign had fallen over along Norman Road on the thirteenth (13) day of notification. It was concluded the sign had been placed upright against a tree. As there were two (2) notice signs placed along the Norman Road frontage and only one (1) required, it was deemed to not adversely affect the public's awareness of the existence and nature of the application or restrict the public's opportunity to make properly made submissions about the application.</p> <p>There is no requirement for the Applicant or Assessment Manager (Council) to consult with or undertake public notification beyond that required by the <i>Planning Act 2016</i>.</p>
<p>Visual Impact</p>	<p>Submitters raised concerns regarding visual impacts to the subject site and surrounding area. Siting of the proposed facility allows for significant setbacks and screening by existing tree cover. The closest residential property is approximately 140 metres to the north, and it is unlikely that any directly adjoining, or nearby residential property will have a clear view of the proposed facility. Any views available are more likely to be substantially obscured and could not be described as unreasonable or dominant.</p>

Issue	Officer's Response
	<p>Furthermore, it has been conditioned that the monopole, headframe and antennas are to be painted and finished in a non-competing colour that will further minimise its visual impact.</p>
Wildlife	<p>Submitters raised concerns regarding the potential impacts on the surrounding habitat of existing wildlife. The subject site is not mapped as containing matters of state or local environmental significance. Existing studies by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA) on the effects of low-level RF EME exposure on plants and animals indicate that the exposure limits set within the Standard are adequate in providing protection to the environment. Furthermore, no vegetation is proposed to be removed as part of the development.</p>
Alternate Locations	<p>Submitters made comment to the relocation of the telecommunications tower on other potential sites, however provided no viable alternative suggestions.</p> <p>The need for the telecommunications facility has arisen as a result of increased demand on the network in the Norman Gardens area, particularly east of Yaamba Road. A site selection methodology was undertaken and first sought to assess the suitability of existing facilities for upgrade or colocation, before moving to new sites where existing facilities were not appropriate. The methodology took into account proximity to residential areas, impacts on visual amenity and benefit to the network.</p> <p>The investigations determined the proposed facility needs to be close to where it is currently proposed to ensure the radio-frequency and network outcomes for the area can be achieved. Moving it well away from the residential area it is intending to serve is an unviable option and found the proposed site to be the most suitable.</p> <p>The subject site, whilst located in the Low Density Residential Zone provides the ability to minimise its impacts by way of acceptable setbacks from allotment boundaries and screening available from existing dense vegetation.</p>

CONCLUSION

THAT the proposed development is not anticipated to compromise the Strategic Framework of *Rockhampton Region Planning Scheme 2015*. Furthermore, the proposal generally complies with the provisions included in the applicable codes. The proposal is therefore, recommended for approval in accordance with the approved plans and subject to the conditions outlined in the recommendation.

**D/34-2022 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A
TELECOMMUNICATIONS FACILITY**

Locality Plan

Meeting Date: 23 August 2022

Attachment No: 1



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**D/34-2022 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A
TELECOMMUNICATIONS FACILITY**

Revised Site Plan

Meeting Date: 23 August 2022

Attachment No: 2



SITE PLAN
SCALE 1:2000

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**D/34-2022 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A
TELECOMMUNICATIONS FACILITY**

Elevation Plan

Meeting Date: 23 August 2022

Attachment No: 3

**D/34-2022 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A
TELECOMMUNICATIONS FACILITY**

Revised EME Report

Meeting Date: 23 August 2022

Attachment No: 4

Environmental EME Report

Location	652 Norman Road, NORMAN GARDENS QLD 4701		
Date	25/07/2022	RFNSA No.	4701019

How does this report work?

This report provides a summary of levels of radiofrequency (RF) electromagnetic energy (EME) around the wireless base station at 652 Norman Road, NORMAN GARDENS QLD 4701. These levels have been calculated by WaveForm Global using methodology developed by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA). A document describing how to interpret this report is available at ARPANSA’s website:

[A Guide to the Environmental Report.](#)

A snapshot of calculated EME levels at this site

There are currently no existing radio systems for this site.

The maximum EME level calculated for the **proposed** changes at this site is

1.67%

out of 100% of the public exposure limit, 190 m from the location.



EME levels with the proposed changes	
Distance from the site	Percentage of the public exposure limit
0-50 m	0.85%
50-100 m	0.96%
100-200 m	1.67%
200-300 m	1.60%
300-400 m	0.86%
400-500 m	0.48%

For additional information please refer to the EME ARPANSA Report annexure for this site which can be found at <http://www.rfnsa.com.au/4701019>.

Radio systems at the site

This base station currently has equipment for transmitting the services listed under the existing configuration. The proposal would modify the base station to include all the services listed under the proposed configuration.

Carrier	Existing		Proposed	
	Systems	Configuration	Systems	Configuration
Mobile Network Operator			4G, 5G	LTE700 (proposed), LTE900 (proposed), LTE1800 (proposed), LTE2100 (proposed), LTE2600 (proposed), NR3500 (proposed)

An in-depth look at calculated EME levels at this site

This table provides calculations of RF EME at different distances from the base station for emissions from existing equipment alone and for emissions from existing equipment and proposed equipment combined. All EME levels are relative to 1.5 m above ground and all distances from the site are in 360° circular bands.

Distance from the site	Existing configuration			Proposed configuration		
	Electric field (V/m)	Power density (mW/m ²)	Percentage of the public exposure limit	Electric field (V/m)	Power density (mW/m ²)	Percentage of the public exposure limit
0-50m				4.71	58.74	0.85%
50-100m				5.72	86.73	0.96%
100-200m				6.49	111.81	1.67%
200-300m				6.38	107.95	1.60%
300-400m				4.71	58.89	0.86%
400-500m				3.52	32.84	0.48%

Calculated EME levels at other areas of interest

This table contains calculations of the maximum EME levels at selected areas of interest, identified through consultation requirements of the [Communications Alliance Ltd Deployment Code C564:2020](#) or other means. Calculations are performed over the indicated height range and include all existing and any proposed radio systems for this site.

Maximum cumulative EME level for the proposed configuration

Location	Height range	Electric field (V/m)	Power density (mW/m ²)	Percentage of the public exposure limit
Rockhampton Baptist Church	0-7 m	3.54	33.21	0.37%
Closest dwelling (5 Parkside Place)	0-4 m	1.98	10.37	0.12%
Dwelling - 12 Brigalow Avenue	0-4 m	1.99	10.55	0.13%
Dwelling - 6 Lancewood Close	0-4 m	1.27	4.25	0.05%
Genius Childcare Centre	0-4 m	2.95	23.01	0.30%
Nursing Home	0-6 m	2.23	13.18	0.18%

**D/34-2022 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A
TELECOMMUNICATIONS FACILITY**

Service Area Maps

Meeting Date: 23 August 2022

Attachment No: 5



SERVICE AREA – Proposed Telecommunications Facility
 652-664 Norman Road, Norman Gardens

Approved under Development Permit D/38-2021 for an additional Axicom monopole facility to be installed on proposed site (but not yet constructed) 307 Farm Street, Norman Gardens. Once erected a facility at this location would provide complementary coverage to the facility proposed at 652-664 Norman Road but would not negate the need for it. Figure 3 shows the expected coverage outcome if both facilities were installed.

As such, the coverage maps supplied clearly show both the deficit and improvements in coverage before and after the proposed facility’s installation.

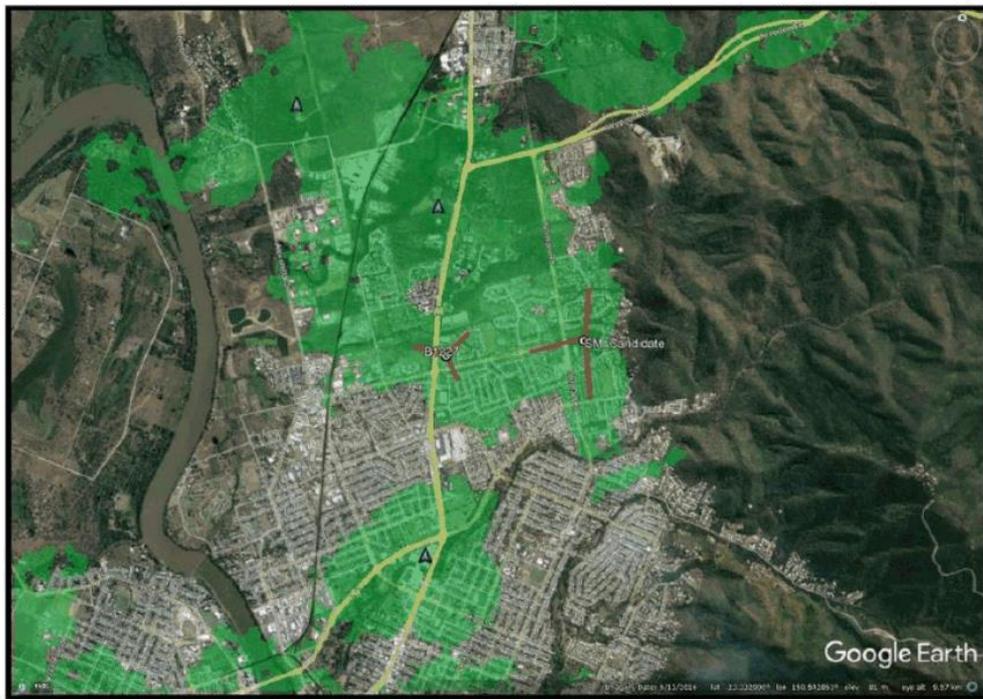


Figure 3 – Predicted LTE1800 coverage with Axicom site

10.2 D/167-2021 - DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE FOR A RESIDENTIAL CARE FACILITY (90 BEDROOMS)

File No: D/167-2021

Attachments:

1. [Locality Plan](#)
2. [Site Plan](#)
3. [Floor Plans](#)
4. [Elevations Plans](#)

Authorising Officer: Amanda O'Mara - Acting Coordinator Development Assessment
Doug Scott - Manager Planning and Regulatory Services
Alicia Cutler - General Manager Community Services

Author: Brendan Standen - Senior Planning Officer

SUMMARY

Development Application Number: D/167-2021

Applicant: Mercy Health and Aged Care Central Queensland Limited

Real Property Address: 75 Ward Street, The Range

Common Property Address: Lot 100 on SP225770

Area of Site: 26,710 square metres

Planning Scheme: Rockhampton Region Planning Scheme 2015 (v2.2)

Planning Scheme Zone: Low Density Residential Zone

Planning Scheme Overlays: Airport Environs Overlay; and Steep Land Overlay

Existing Development: Residential Care Facility

Approval Sought: Development Permit for a Material Change of Use for a Residential Care Facility (90 bedrooms)

Level of Assessment: Impact Assessable

Submissions: One (1) properly made submission

Referral Agency: State Development Infrastructure, Local Government and Planning (State Assessment and Referral Agency Department)

Infrastructure Charges Area: Charge Area 1

OFFICER'S RECOMMENDATION**RECOMMENDATION A**

THAT in relation to the application for a Development Permit for Material Change of Use for a Residential Care Facility (90 bedrooms), made by Mercy Health and Aged Care Central Queensland Limited, located at 75 Ward Street, The Range, described as Lot 100 on SP225770, Council resolves to provide the following reasons for its decision:

STATEMENT OF REASONS

Description of the development	Material Change of Use for a Residential Care Facility (90 bedrooms)	
Reasons for Decision	<p>a) Assessment of the development against the relevant zone purpose, planning scheme codes and planning scheme policies demonstrates that the proposed development will not cause significant adverse impacts on the surrounding natural environment, built environment and infrastructure, community facilities, or local character and amenity; and</p> <p>b) On balance, the application should be approved because the circumstances favour Council exercising its discretion to approve the application even though the development does not comply with an aspect of the assessment benchmarks.</p>	
Assessment Benchmarks	<p>The proposed development was assessed against the following assessment benchmarks:</p> <ul style="list-style-type: none"> • Strategic Framework; • Low Density Zone Code; • Access, Parking And Transport Code; • Landscape Code; • Stormwater Management Code; • Waste Management Code; • Water and Sewer Code; and • Airport Environs Overlay Code. 	
Compliance with assessment benchmarks	The development was assessed against all of the assessment benchmarks listed above and complies with all of these with the exceptions listed below.	
	Assessment Benchmark	Reasons for the approval despite non-compliance with benchmark
	Low Density Residential Zone Code	<p>PO1</p> <p>The development does not comply with AO1.1 as the development exceeds the maximum building height of 2 storeys and 8.5 metres. The maximum building height of the development is approximately 12.5 metres above ground level.</p> <p>Despite this, the building height of the development is a similar building height to that currently exhibited on the site. Therefore, the height of the development is considered be consistent with the built form known and expected on the site and immediately surrounding area. The site is also bound by 20 metre wide road reserve on all sides, which assists in reducing the scale and bulk of the building from nearby residences.</p> <p>On this basis, the development is not considered to adversely impact on the urban form of the surrounding low density residential area or significant scenic landscape features and complies with PO1.</p>

	Landscape Code	<p>PO11</p> <p>The development does not comply with AO11.1-11.6 as shade trees have not been provided in the new car parking areas, accessed from Ward Street, at the rates set out in the Planning Scheme.</p> <p>Despite this, some shade tree planting around the new car parking areas has been proposed and conditioned. The approved shade tree planting along with other landscaping proposed ensures that carparks and internal accesses are landscaped to provide shade, reduce glare and reduce heat stored on hard surfaces. On this basis, the development complies with PO11.</p>
	Airport Environs Overlay Code	<p>PO1</p> <p>The development does not comply with AO1.1 or PO1 as the proposed maximum building height exceeds the maximum height limit prescribed in the Zone Code.</p> <p>Despite this, written advice from Airport Services Australia confirmed the proposed development will not have any adverse impacts on the Rockhampton Airport operations. Therefore, the proposed development complies with the overall outcomes for the Airport Environs Overlay, which allows development to protrude into the Obstacle Limitation Surface where it does not compromise airport operations.</p>
Matters raised in submissions	Issue	How matter was dealt with
	Noise	<p>The submitter raised concerns about the potential for the development to exacerbate existing and introduce new noise impacts from the facility, including from workers, delivery trucks, fire alarms, emergency service vehicles, taxis and plant equipment. The submitter was concerned noise impacts would reduce residential amenity.</p> <p>The development is an expansion to a long standing residential care facility, which has been progressively developed and improved since the early 1960s. Therefore, the facility's presence in the surrounding area is well established and known. The expansion and improvement of the existing facility, including infrequent noise impacts from different noise sources, is considered to be within reasonable community expectations. In addition, an Environmental Noise Assessment submitted by the Applicant demonstrates the proposed development can achieve the acoustic quality objectives at all times, subject to compliance with recommendations. The Environmental Noise Assessment forms part of the approved documents.</p> <p>Notwithstanding, conditions of approval have been included that require the development to comply with the <i>Environmental Protection (Noise) Policy 2019</i>.</p>
	Traffic	The submitter raised concern the development would exacerbate existing traffic congestion issues in Ward Street because of the increase in on-site car parking

	<p>spaces gaining access from this road.</p> <p>Ward Street is categorised as a 'Minor Urban Collector' road, with anticipated traffic volumes of between 751 and 3,000 average annual daily traffic (AADT). However, considering the road characteristics, Ward Street can be classified as a 'Major Urban Collector' (3,001 – 6,000 AADT) and is therefore suited to higher vehicle volumes.</p> <p>Therefore, despite the increase in on-site car parking spaces gaining access from Ward Street, these vehicle movements are considered to be within the road's capacity.</p>
<p>Matters prescribed by regulation</p>	<ul style="list-style-type: none"> • The <i>Rockhampton Region Planning Scheme 2015 (2.2)</i>; and • The common material, being the material submitted with the application.

RECOMMENDATION B

THAT in relation to the application for a Development Permit for Material Change of Use for a Residential Care Facility (90 bedrooms), made by Mercy Health and Aged Care Central Queensland Limited, located at 75 Ward Street, The Range, described as Lot 100 on SP225770, Council resolves to Approve the application subject to the following conditions:

1.0 ADMINISTRATION

- 1.1 The Developer and their employee, agent, contractor or invitee is responsible for ensuring compliance with the conditions of this development approval.
- 1.2 Where these Conditions refer to "Council" in relation to requiring Council to approve or to be satisfied as to any matter, or conferring on the Council a function, power or discretion, that role may be fulfilled in whole or in part by a delegate appointed for that purpose by the Council.
- 1.3 All conditions, works, or requirements of this development approval must be undertaken, completed, and be accompanied by a Compliance Certificate for any operational works required by this development approval:
 - 1.3.1 to Council's satisfaction;
 - 1.3.2 at no cost to Council; and
 - 1.3.3 prior to the commencement of the use, unless otherwise stated.
- 1.4 Infrastructure requirements of this development approval must be contributed to the relevant authorities, where applicable, at no cost to Council, prior to the commencement of the use, unless otherwise stated.
- 1.5 The following further Development Permits must be obtained prior to the commencement of any works associated with their purposes:
 - 1.5.1 Operational Works:
 - (i) Access and Parking Works;
 - (ii) Sewerage Works;
 - (iii) Stormwater Works;
 - (iv) Roof and Allotment Drainage; and
 - (v) Site Works.
 - 1.5.2 Plumbing and Drainage Works; and
 - 1.5.3 Building Works:

- (i) Demolition Works; and
 - (ii) Building Works.
- 1.6 All Development Permits for Operational Works and Plumbing and Drainage Works must be obtained prior to the issue of a Development Permit for Building Works.
- 1.7 All works must be designed, constructed and maintained in accordance with the relevant Council policies, guidelines and standards, unless otherwise stated.
- 1.8 All engineering drawings/specifications, design and construction works must be in accordance with the requirements of the relevant *Australian Standards* and must be approved, supervised and certified by a Registered Professional Engineer of Queensland.
- 1.9 A maximum of 206 beds occupied by people who cannot live independently and require regular nursing or personal care is permitted across 100 on SP225770 at any given time.

2.0 **APPROVED PLANS AND DOCUMENTS**

- 2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by any condition of this development approval:

<u>Plan/Document Name</u>	<u>Prepared by</u>	<u>Date</u>	<u>Reference No.</u>	<u>Version/ Issue</u>
Site Plan and Development Summary	Thomson adsett	30 June 2022	A-1.02	3
Site Plan - Staging	Thomson adsett	30 June 2022	A-1.03	3
Site Section	Thomson adsett	30 June 2022	A-1.10	3
RACF Ground Floor Plan	Thomson adsett	30 June 2022	A-2.02	4
RACF Level 1	Thomson adsett	30 June 2022	A-2.03	2
RACF Level 2	Thomson adsett	30 June 2022	A-2.04	2
RACF Roof Plan	Thomson adsett	30 June 2022	A-2.05	2
Kitchen Plan	Thomson adsett	3 December 2021	A-2.11	2
Kitchen Roof Plan	Thomson adsett	3 December 2021	A-2.12	1
Ward Street Car Parking	Thomson adsett	30 June 2022	A-2.20	2
Elevations – RACF	Thomson adsett	30 June 2022	A-3.01	3
Elevations – RACF	Thomson adsett	30 June 2022	A-3.02	3
Kitchen Elevations	Thomson adsett	3 December 2021	A-3.11	2
Sections – RACF	Thomson adsett	30 June 2022	A-4.01	2
Sections – Street Scape	Thomson adsett	3 December 2021	A-4.02	1
Sections – Kitchen	Thomson adsett	3 December	A-4.11	1

		2021		
Environmental Noise Assessment	RoadPro Acoustics	16 December 2021	1338R1-R0	0
Traffic Impact Assessment	McMurtrie Consulting	14 December 2021	0402122	A
Technical Memorandum	McMurtrie Consulting	7 December 2021	040-21-22	-
Landscape Concept Plan 1: Key Plan	Alderson + Associates Landscape Architects	3 December 2021	964-LCP01	A
Landscape Concept Plan 2: Stage 1 – Additional Parking	Alderson + Associates Landscape Architects	3 December 2021	964-LCP02	A
Landscape Concept Plan 3: Stage 2 – 90 Bed RACF	Alderson + Associates Landscape Architects	3 December 2021	964-LCP03	A
Landscape Concept Plan 4: Stage 2 – 90 Bed RACF	Alderson + Associates Landscape Architects	3 December 2021	964-LCP04	A
Landscape concept Plan 6: Stage2/3-90 Bed RACF + Kitchen	Alderson + Associates Landscape Architects	14 February 2022	964-LCP06	B
Landscape Concept Plan 5: Stage 2- 90 Bed RACF	Landscape Concept Plan 5: Stage 2- 90 Bed RACF	14 February 2022	964-LCP05	B
Landscape Concept Plan 7: Lower Car Park	Landscape Concept Plan 5: Stage 2- 90 Bed RACF	4 July 2022	964-LCP07	A
Technical Letter – Traffic and Stormwater	JS ² Structures	6 July 2022	21145	-

2.2 Where there is any conflict between the conditions of this development approval and the details shown on the approved plans and documents, the conditions of this development approval must prevail.

3.0 STAGED DEVELOPMENT

3.1 This development approval is for a development to be undertaken in two discrete stages, namely:

3.1.1 Residential Care Facility and On-site Car Parking (Stage One); and

3.1.2 Kitchen Facility, Loading Dock and Refuse Storage (Stage Two),

in accordance with the approved plan (refer to condition 2.1).

The stages are required to be undertaken in chronological order.

- 3.2 Unless otherwise expressly stated, the conditions must be read as being applicable to all stages.

4.0 ACCESS AND PARKING WORKS

- 4.1 A Development Permit for Operational Works (access and parking works) must be obtained prior to the commencement of any access and parking works on the development site.

- 4.2 All access and parking works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines, Australian Standard AS2890 "Parking facilities"* and the provisions of a Development Permit for Operational Works (access and parking works).

- 4.3 All access, parking and vehicle manoeuvring areas must be paved or sealed to Council's satisfaction. Design and construction must be in accordance with the provisions of a Development Permit for Operational Works (access and parking works).

- 4.4 Any redundant vehicular crossovers must be replaced by Council standard kerb and channel.

- 4.5 A minimum of fifty five (55) new parking spaces must be provided on-site.

Note: Existing twenty five (25) car parking spaces will be removed as a part of this development.

- 4.6 Universal access parking spaces must be provided on-site in accordance with *Australian Standard AS2890.6 "Parking facilities - Off-street parking for people with disabilities"*.

- 4.7 Parking spaces must be line-marked in accordance with the approved Site Plan (refer to condition 2.1) and in accordance with the *Australian Standard AS2890 "Parking facilities"* and the provisions of a Development Permit for Operational Works (access and parking works).

- 4.8 Any application for a Development Permit for Operational Works (access and parking works) must be accompanied by detailed and scaled plans, which demonstrate the turning movements/swept paths of the largest vehicle to access the development site including refuse collection vehicles.

- 4.9 All vehicle operations associated with the development must be directed by suitable directional, informative, regulatory or warning signs in accordance with *Australian Standard AS1742.1 "Manual of uniform traffic control devices"* and *Australian Standard AS2890.1 "Parking facilities – Off-street car parking"*.

- 4.10 All vehicle operation areas must be illuminated in accordance with the requirements of *Australian Standard AS1158 "Lighting for roads and public spaces"*.

- 4.11 All internal pedestrian pathways must be designed and constructed in accordance with *Australian Standard AS1428 "Design for access and mobility"*.

5.0 SEWERAGE WORKS

- 5.1 A Development Permit for Operational Works (sewerage works) must be obtained prior to the commencement of any sewerage works on the development site.

- 5.2 All sewerage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines, Water Supply (Safety and Reliability) Act 2008, Plumbing and Drainage Act 2018* and the provisions of a Development Permit for Operational Works (sewerage works).

- 5.3 The development must be connected to Council's reticulated sewerage network.

- 5.4 The existing sewerage connection point(s) must be retained and upgraded, if necessary, to service the development.

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- 5.5 The finished sewerage access chamber surface must be at a sufficient level to avoid ponding of stormwater above the top of the chamber. A heavy duty trafficable lid must be provided in the trafficable area.
- 5.6 Sewer connections located within trafficable areas must be raised or lowered to suit the finished surface levels and must be provided with heavy duty trafficable lids.
- 5.7 The existing 150mm diameter sewerage infrastructure that traverses the development site must be re-aligned in accordance with approved technical memorandum (refer to condition 2.1). The section of redundant sewerage infrastructure must be removed from the development site.
- 5.8 All works must be undertaken in accordance with *Queensland Development Code, Mandatory Part 1.4 "Building over or near relevant infrastructure."*
- 5.9 Sewerage trade waste permits must be obtained for the discharge of any non-domestic waste into Council's reticulated sewerage network. Arrestor traps must be provided where commercial or non-domestic waste is proposed to be discharged into the sewer system.
- 6.0 PLUMBING AND DRAINAGE WORKS
- 6.1 A Development Permit for Plumbing and Drainage Works must be obtained for the removal and/or demolition of any existing structure on the development site.
- 6.2 All internal plumbing and drainage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines, Water Supply (Safety and Reliability) Act 2008, Plumbing and Drainage Act 2018*, Council's Plumbing and Drainage Policies and the provisions of a Development Permit for Plumbing and Drainage Works.
- 6.3 The development must be connected to Council's reticulated water network. An hydraulic engineer or other suitably qualified person must determine the size of connection required.
- 6.4 The existing water connection point must be retained, and upgraded if necessary, to service the development.
- 6.5 Adequate domestic and fire-fighting protection must be provided to the development, and must be certified by an hydraulic engineer or other suitably qualified person.
- 6.6 Water meter boxes located within trafficable areas must be raised or lowered to suit the finished surface levels and must be provided with heavy duty trafficable lids.
- 6.7 Alteration, disconnection or relocation of internal plumbing and sanitary drainage works associated with the existing building must be in accordance with regulated work under the *Plumbing and Drainage Act 2018* and Council's Plumbing and Drainage Policies.
- 6.8 Fixtures installed in the basement or other locations, where surcharge could damage the premises and contents, must be connected to the reticulated sewerage system by means of a pumping installation complying with *Australian Standard AS3500 "Sanitary plumbing and drainage"*.
- 7.0 STORMWATER WORKS
- 7.1 A Development Permit for Operational Works (stormwater works) must be obtained prior to the commencement of any stormwater works required by this development approval.
- 7.2 All stormwater drainage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines*, sound engineering practice and the provisions of a Development Permit for Operational Works (stormwater works).
- 7.3 All stormwater must drain to a lawful point of discharge and must not adversely affect surrounding land or infrastructure in comparison to the pre-development conditions,
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- including but not limited to blocking, altering or diverting existing stormwater runoff patterns or having the potential to cause damage, nuisance or worsening to surrounding land or infrastructures.
- 7.4 The development must not increase peak stormwater runoff for a selected range of storm events up to and including a one per cent (1%) Annual exceedance probability storm event, for the post-development conditions.
- 7.5 Any application for a Development Permit for Operational Works (stormwater works) must be accompanied by an updated Stormwater Management Plan report, prepared and certified by a Registered Professional Engineer of Queensland that as a minimum includes:
- 7.5.1 details around the implementation and design of the adopted stormwater management strategy;
- Note: Should the underground tank strategy be adopted, details regarding the pump setup and pressure main must be provided and should comply with *Australian Standard AS3500 "Sanitary plumbing and drainage"*.
- 7.5.2 details of the low / high flow outlets;
- 7.5.3 demonstration of how the major design storm flows are conveyed to a lawful point of discharge in accordance with the *Queensland Urban Drainage Manual* and the *Capricorn Municipal Development Guidelines*;
- 7.5.4 identification and conceptual design of all new drainage systems, and modifications to existing drainage systems required to appropriately and adequately manage stormwater collection and discharge from the proposed development;
- 7.5.5 identification of the area of development site inundated as a consequence of the major design storm event for post-development scenario; and
- 7.5.6 details of all calculations, assumptions and data files (where applicable).
- 7.6 All proprietary stormwater quality treatment devices must be routinely checked, serviced and cleaned in accordance with the manufacturer's recommendations. Records of all maintenance activities undertaken must be kept and made available to Council upon request. Where replacement cartridges or other necessary components for the system become unavailable, an alternative system approved by Council, is required to be retrofitted into the development to achieve an equivalent pollutant reduction outcome. All maintenance cost must be borne by the site owner / operator.
- 8.0 ROOF AND ALLOTMENT DRAINAGE WORKS
- 8.1 A Development Permit for Operational Works (roof and allotment drainage works) must be obtained prior to the commencement of any drainage works on the development site.
- 8.2 All roof and allotment drainage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Queensland Urban Drainage Manual*, *Capricorn Municipal Development Guidelines*, sound engineering practice and the provisions of a Development Permit for Operational Works (roof and allotment drainage works).
- 8.3 All roof and allotment runoff from the development must be directed to a lawful point of discharge and must not restrict, impair or change the natural flow of runoff water or cause a nuisance or worsening to surrounding land or infrastructure.
- 9.0 SITE WORKS
- 9.1 A Development Permit for Operational Works (site works) must be obtained prior to the commencement of any site works on the development site.
- 9.2 Any application for a Development Permit for Operational Works (site works) must be accompanied by earthworks plan that clearly identifies the following:

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- 9.2.1 the location of cut and/or fill;
 - 9.2.2 the type of fill to be used and the manner in which it is to be compacted;
 - 9.2.3 the quantum of fill to be deposited or removed and finished cut and/or fill levels;
 - 9.2.4 details of any proposed access routes that are intended to be used to transport fill to or from the development site; and
 - 9.2.5 the maintenance of access roads to and from the development site so that they are free of all cut and/or fill material and cleaned as necessary.
- 9.3 All earthworks must be undertaken in accordance with *Australian Standard AS3798 "Guidelines on earthworks for commercial and residential developments"*.
- 9.4 Site works must be constructed such that they do not, at any time, in any way restrict, impair or change the natural flow of runoff water, or cause a nuisance or worsening to surrounding land or infrastructure.
- 9.5 Retaining structures above one (1) metre in height that are not incidental works to a Development Permit for Building Works, must not be constructed unless separately and specifically certified by a Registered Professional Engineer of Queensland and must be approved as part of a Development Permit for Operational Works (site works).
- 10.0 LANDSCAPING
- 10.1 Landscaping must be constructed and/or established prior to the commencement of the use in all areas shown on the approved plans (refer to condition 2.1).
- 10.2 Landscaping must be designed in accordance with the requirements of *Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility*.
- 10.3 At least fifty (50) per cent of all new plantings within the landscaping areas (refer to condition 2.1) must be locally native species with low water dependency and must comply with the following requirements:
- 10.3.1 Plant species are chosen from sources recommended in *Planning Scheme Policy SC6.12 – Landscape Design and Street Trees Planning Scheme Policy*; and
 - 10.3.2 Plant species must not include undesirable species identified in *Planning Scheme Policy SC6.12 – Landscape Design and Street Trees Planning Scheme Policy*.
- 10.4 Shade trees within car parking areas are to be provided and planted within a deep natural ground/structured soil garden bed/island/bay and are protected by wheel stops or bollards as required.
- 10.5 Each shade tree must have a clean trunk with a minimum height of two (2) metres and each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.
- 10.6 Shade trees must comply with the following requirements:
- 10.6.1 Be planted clear of services and utilities;
 - 10.6.2 Be planted clear of park furniture and embellishments;
 - 10.6.3 Not obstruct pedestrian or bicycle traffic; and
 - 10.6.4 Comply with crime prevention through environmental design principles.
- 10.7 Root control barriers must be installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.
- 1.1 Landscaping, or any part thereof, upon reaching full maturity, must not:
- (i) obstruct sight visibility zones as defined in the *Austrroads 'Guide to Traffic*
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Engineering Practice’ series of publications;

- (ii) adversely affect any road lighting or public space lighting; or
- (iii) adversely affect any Council infrastructure, or public utility plant.

11.0 BUILDING WORKS

- 11.1 A Development Permit for Building Works must be obtained for the removal and/or demolition of any existing structure on the development site.
- 11.2 All building works must be undertaken in accordance with *Queensland Development Code, Mandatory Part 1.4 “Building over or near relevant infrastructure.”*
- 11.3 Impervious paved waste storage area/s must be provided in accordance with the approved plans (refer to condition 2.1) and the *Environmental Protection Regulation 2019* and must be:
 - 11.3.1 designed and located so as not to cause a nuisance to neighbouring properties;
 - 11.3.2 surrounded by at least a 1.8 metre high screen fence that obstructs from view the contents of the waste storage area by any member of the public from any public place;
 - 11.3.3 of a sufficient size to accommodate commercial type bins that will be serviced by a commercial contractor plus clearances around the bins for manoeuvring and cleaning;
 - 11.3.4 setback a minimum of two (2) metres from any road frontage; and
 - 11.3.5 provided with a suitable hosecock and hoses at the refuse container area, and washdown must be drained to the sewer and fitted with an approved stormwater diversion valve arrangement in accordance with the Sewerage Trade Waste provisions and the *Plumbing and Drainage Act 2018*.

As an alternative to a washdown facility, a fully contained commercial bin cleaning service is acceptable provided no wastewater is discharged from the site to the sewer.

- 11.4 The finished floor level for habitable areas (refer to condition 2.1) must be a minimum of 500 millimetres above a one per cent (1%) Annual Exceedance Probability defined storm inundation level.
- 11.5 All non-habitable areas subjected to flood inundation during a one per cent (1%) Annual Exceedance Probability storm event, must be designed and constructed using suitable flood resilient materials.
- 11.6 All electrical and telecommunication services and utilities connected to the property, including electrical outlets, must be designed and installed at such a height that they are a minimum of 500 millimetres above a one per cent (1%) Annual Exceedance Probability defined storm inundation level.

12.0 ELECTRICITY

- 12.1 Underground electricity services must be provided to the development in accordance with the standards and requirements of the relevant service provider.

13.0 TELECOMMUNICATIONS

- 13.1 Telecommunications services must be provided to the development in accordance with the standards and requirements of the relevant service provider.

14.0 ASSET MANAGEMENT

- 14.1 Any alteration necessary to electricity, telephone, water mains, sewerage mains, and/or public utility installations resulting from the development or in connection with the development, must be undertaken and completed at no cost to Council.

- 14.2 Any damage to existing stormwater, water supply and sewerage infrastructure, kerb and channel, pathway or roadway (including removal of concrete slurry from public land and Council infrastructure), that occurs while any works are being carried out in association with this development approval must be repaired at full cost to the developer. This includes the reinstatement of any existing traffic signs or pavement markings that may have been removed or damaged.
- 14.3 'As Constructed' information pertaining to assets to be handed over to Council and those which may have an impact on Council's existing and future assets must be provided prior to the commencement of the use. This information must be provided in accordance with the *Asset Design and As Constructed Manual (ADAC)*.
- 15.0 ENVIRONMENTAL
- 15.1 The Erosion Control and Stormwater Control Management Plan prepared by a Registered Professional Engineer of Queensland in accordance with the *Capricorn Municipal Design Guidelines*, must be:
- 15.1.1 implemented, monitored and maintained for the duration of the works, and until all exposed soil areas are permanently stabilised (for example, turfed, hydromulched, concreted, landscaped); and
- 15.1.2 available on-site for inspection by Council Officers whilst all works are being carried out.
- 16.0 OPERATING PROCEDURES
- 16.1 All construction materials, waste, waste skips, machinery and contractors' vehicles must be located and stored or parked within the development site. Storage of materials or parking of construction machinery or contractors' vehicles must not occur within Spencer Street, Jessie Street, Agnes Street or Ward Street.
- 16.2 All waste must be stored within a waste storage area (for example, general waste, recyclable waste, pallets, empty drums etcetera) in accordance with the approved plans (refer to condition 2.1). The owner of the land must ensure that:
- 16.2.1 the area is kept in a clean and tidy condition;
- 16.2.2 fences and screens are maintained;
- 16.2.3 no waste material is stored external to the waste storage area/s;
- 16.2.4 the area is maintained in accordance with *Environmental Protection Regulation 2019*.
- 16.3 Building plant or air conditioning equipment must be screened from view of the street and adjoining properties.
- 17.0 ENVIRONMENTAL HEALTH
- 17.1 Any lighting devices associated with the development, such as sensory lighting, must be positioned on the development site and shielded so as not to cause glare or other nuisance to nearby residents and motorists. Night lighting must be designed, constructed and operated in accordance with *Australian Standard AS4282 "Control of the obtrusive effects of outdoor lighting"*.
- 17.2 Noise emitted from the activity must not cause an environmental nuisance.
- 17.3 Operations on the site must have no significant impact on the amenity of adjoining premises or the surrounding area due to the emission of light, noise or dust.
- 17.4 When requested by Council, noise monitoring must be undertaken and recorded within three (3) months, to investigate any genuine complaint of nuisance caused by noise. The monitoring data, an analysis of the data and a report, including noise mitigation measures, must be provided Council within fourteen (14) days of the completion of the investigation. Council may require any noise mitigation measures identified in the assessment to be implemented within appropriate timeframes. Noise measurements

must be compared with the acoustic quality objectives specified in the most recent edition of the *Environmental Protection (Noise) Policy*. Airconditioning units must be located so as not to cause a noise nuisance and maintained in appropriate working order at all times. Installation is to be as per manufacturer's directions to ensure the efficiency of the equipment.

ADVISORY NOTES

NOTE 1. Aboriginal Cultural Heritage

It is advised that under section 23 of the *Aboriginal Cultural Heritage Act 2003*, a person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage (the "cultural heritage duty of care"). Maximum penalties for breaching the duty of care are listed in the Aboriginal cultural heritage legislation. The information on Aboriginal cultural heritage is available on the Department of Aboriginal and Torres Strait Islander Partnerships website www.dsdsatsip.qld.gov.au

NOTE 2. Asbestos Removal

Any demolition and/or removal works involving asbestos materials must be undertaken in accordance with the requirements of the *Work Health and Safety Act 2011* and *Public Health Act 2005*.

NOTE 3. General Environmental Duty

General environmental duty under the *Environmental Protection Act 1994* prohibits unlawful environmental nuisance caused by noise, aerosols, particles, dust, ash, fumes, light, odour or smoke beyond the boundaries of the development site during all stages of the development including earthworks, construction and operation.

NOTE 4. Licensable Activities

Should an activity licensable by Rockhampton Regional Council be proposed for the development site, Council's Environment and Public Health Unit must be consulted to determine whether any approvals are required. Such activities may include food preparation, storage of dangerous goods or environmentally relevant activities. Approval for such activities is required before 'fit out' and operation.

NOTE 5. General Safety Of Public During Construction

The *Work Health and Safety Act 2011* and *Manual of Uniform Traffic Control Devices* must be complied with in carrying out any construction works, and to ensure safe traffic control and safe public access in respect of works being constructed on a road.

NOTE 6. Infrastructure Charges Notice

This application is subject to infrastructure charges in accordance with Council policies. The charges are presented on an Infrastructure Charges Notice.

Total Contributions Payable = \$587,953.50

RECOMMENDATION C

THAT in relation to the application for a Development Permit for a Material Change of Use for a Residential Care Facility (90 bedrooms), made by Mercy Health and Aged Care Central Queensland Limited, located at 75 Ward Street, The Range, described as Lot 100 on SP225770, Council resolves to apply the *Adopted Infrastructure Charges Resolution (No. 5) 2015* rather than the *Charges Resolution No.1 of 2022*, and issue an Infrastructure Charges Notice for the amount of \$587,953.50.

BACKGROUND

PROPOSAL IN DETAIL

The proposed development is a two (2) staged expansion to an existing residential care facility (Bethany Health and Aged Care). Specifically, the proposal is to construct a new residential care building with 90 beds, on-site car parking, an ancillary kitchen and service areas. The proposed development will result in a total of 206 across the whole site.

Stage 1

Stage 1 of the proposal includes the construction of the main residential care facility building in the south-western corner of the site and additional on-site car parking to cater for an increase in number of staff and residents.

The new residential care facility building will be a maximum of three (3) storeys and have a building height of approximately 12.5 metres above ground level. Gross Floor Area (GFA) will be 4,575m².

The proposed building includes a variation of materials, colours and textures. Construction materials include but are not limited to timber, bricks, aluminium, concrete and glass. The proposed building will also provide variation in built form, incorporating changes in roof form and pitch, articulation in building facades with window hoods and balconies, which will assist in creating visual interest and reducing the perceived bulk and scale of the development from the street.

An additional 30 on-site car parking spaces is proposed to what is currently existing. While 55 new car parking spaces are proposed, 25 existing car parking spaces in the south-western corner of the site will be removed to accommodate the new building, resulting in a net increase of 30 additional car parking spaces as part of the proposed development.

Stage 2

Stage 2 of the proposal includes the construction of the detached kitchen facility, loading dock and refuge storage area immediately north of the proposed new main building.

The kitchen facility will be a maximum of 5.47m above ground level. GFA will be 131m². Similar to the new main building, a variety of construction materials and techniques will be utilised to improve the kitchen facility's presentation to the street and integrate with the development on-site and surrounding area.

Landscaping, Services and Waste

Landscaping is proposed along Spencer Street, Agnes Street and Ward Street frontages where new development is proposed. This includes a combination of ground covering plants, shrubs and shade trees. The Applicant submitted a landscape concept plan, which forms part of the documents recommended for approval.

The proposed development will be connected to all urban services. Development Engineering has identified there is sufficient capacity in the existing reticulated water and sewerage network to cater for the proposed development. A section of the existing non-trunk sewerage main within the site will need to be relocated and conditions of approval have been recommended to this effect.

The Applicant submitted a Stormwater Management Plan (SWMP); however, elements of the SWMP have not been supported by Development Engineering. Therefore, the SWMP is not recommended for approval and conditions of approval requiring an updated SWMP to be provided as part of a subsequent Operational Works application have been recommended in place.

A new waste storage area is proposed adjoining the new kitchen building. The waste storage area will be accessed from Agnes Street. Swept path diagrams have been provided by the Applicant showing there is sufficient manoeuvring area for a waste collection vehicle to enter and exit the site in a forward gear.

SITE AND LOCALITY

The subject site is located at 75 Ward Street, The Range, formally described as Lot 100 on SP225770. The subject site is a rectangular configuration with a site area of 26,710m². The site is improved by an existing residential care facility that has been progressively developed and improved since the early 1960s to currently include a combination of both low and high care accommodation options across several buildings. There is an area of land in the south-western corner of the site that is vacant, which is where the proposed development is to primarily occur.

The site is bound by Ward Street to the north and Spencer Street to the south (~210m frontages), and Jessie Street to the east and Anges Street to the west (~115m frontages). The area to the north, south and west is characterised by single detached dwellings. The area immediately to the east, on the opposite side of Jessie Street, is Mater Private Hospital and beyond this St Peter's Catholic Primary School. On-site car parking is provided around the site and wider area to accommodate for the non-residential uses occurring.

PLANNING ASSESSMENT

MATTERS FOR CONSIDERATION

This application has been assessed by relevant Council planning, engineering, environmental health, and other technical officers as required. The assessment has been in accordance with the assessment process provisions of the Development Assessment Rules, based on consideration of the relevant State Planning Policy; State Government guidelines; the Council's Town Planning Scheme, Planning Policies and other general policies and procedures, as well as other documents as considered relevant.

Development Engineering Comments

Support, subject to conditions.

Public and Environmental Health Comments

Support, subject to conditions.

Other Staff Technical Comments

Not applicable as the application was not referred to any other technical staff.

TOWN PLANNING COMMENTS

State Planning Policy 2017

Section 2.1 of *Rockhampton Region Planning Scheme 2015* noted the *State Planning Policy 2017* is integrated in the planning scheme. The State planning interests are therefore addressed as part of this assessment of the development against the *Rockhampton Region Planning Scheme 2015*.

Central Queensland Regional Plan 2013

The *Central Queensland Regional Plan 2013* is a statutory document which came into effect on 18 October 2013. The Regional Plan is identified as being appropriately integrated with the Planning Scheme and therefore an assessment against the Planning Scheme is taken to be an assessment against the *Central Queensland Regional Plan 2013*.

Rockhampton Region Planning Scheme 2015

Strategic framework

The subject site is situated within the Urban Area designation under the scheme's strategic framework map. The strategic framework themes and their strategic outcomes, as identified within Part 3 of the *Rockhampton Region Planning Scheme 2015* are applicable:

(i) ***Settlement pattern***

- (1) *The pattern of settlement is reinforced in accordance with the Strategic framework – settlement pattern maps (SFM-1 to SFM-4) and as defined in Table 3.3.2.2 – Strategic map designations and descriptions. Sufficient land has been allocated for residential, commercial, industrial and community uses to meet the needs of the region for at least twenty (20) years.*

- (2) Residential development within Rockhampton and Gracemere will occur in urban areas, urban infill and intensification areas and new urban areas (greenfield areas). These areas are shown on the strategic framework maps SFM-2 to SFM-3.
- (3) Urban development in Mount Morgan will only occur within the urban area and local centre as shown on strategic framework map SFM-4.
- (4) Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.
- (5) Sufficient land for employment growth has been identified in industrial areas, new industrial areas and centres (including proposed centres) at locations that can be most efficiently serviced with infrastructure and facilities.
- (6) Future urban areas and future industrial areas are the preferred location for greenfield development beyond 2026.
- (7) The settlement pattern provides for a diverse range of housing to meet changing demographic needs, and creates opportunities for more affordable living close to services and facilities. These housing options will help stimulate centres and community focal points, and assist in making the most efficient use of infrastructure and other public investment.
- (8) Higher density development is focussed around centres and public transport nodes and corridors. Increased residential densities will be encouraged in the urban infill and intensification areas in a range of dwelling types that are located to make public transport, walking and cycling more convenient, safe and viable.
- (9) The design of the built environment (including buildings, streets and public spaces) is consistent with the existing or desired character of the area and buildings are oriented to the street and public places. Development is undertaken in accordance with urban design principles.
- (10) Centres provide for employment, retail, accommodation, entertainment and community services that meet the needs of residential communities that are well connected by the public transport network.
- (11) Centres are based on a hierarchy that ensures the scale and form of development is appropriate to the location, and that the centres' roles and functions are appropriate within the wider planning scheme area.
- (12) Centres are consolidated within designated areas, and expansion does not occur into adjoining residential areas.
- (13) An integrated and high quality public open space network caters for the needs of residents, particularly in and around centres and higher density areas.
- (14) The continuing viability of areas that provide for economic development such as industrial and specific use areas is protected from incompatible land uses.
- (15) Limited rural residential areas provide for semi-rural living; however, these areas do not expand beyond the areas designated.
- (16) The productive capacity of all rural land is protected.
- (17) Rural lands and natural areas are maintained for their rural and landscape values.
- (18) The scenic and environmental values of areas identified as nature conservation or natural corridor link are protected.
- (19) The cultural heritage of Rockhampton is conserved for present and future communities.
- (20) Development responds to natural hazards (flooding, bushfire, steep land, storm tide inundation and coastal erosion) by avoiding, mitigating, adapting and building resilience to natural hazards in areas mapped as being susceptible.

Complies – The proposed development advances and does not compromise the strategic outcomes for the Settlement Pattern theme. Specifically, the proposed

development provides a mix of accommodation options in an established low density residential area, which will allow the elderly to “age in place”.

(ii) **Natural environment and hazards**

- (1) *The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area’s biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.*
- (2) *Development does not create unsustainable impacts on:*
 - (a) *the natural functioning of floodplains;*
 - (b) *environmentally significant areas, including areas of state and locally significant vegetation, which provide fauna habitat and support biodiversity; and*
 - (c) *the quality of water entering waterways, wetlands and local catchments.*
- (3) *Development does not increase the risk to human life and property in areas that are affected, or potentially affected, by storm-surge, erosion, sea-level rise or other coastal processes, flooding, bushfire, or landslide. This occurs through the avoidance of natural hazards in new development areas, particularly greenfield areas and the mitigation of risks in existing built up areas.*
- (4) *Strategic and iconic scenic and landscape values are protected from potential adverse impacts of development.*

Not Applicable – The proposed development advances and does not compromise the strategic outcomes for the Natural Environment and Hazards theme. The subject site is not mapped as being affected by any natural hazards under the Planning Scheme, nor will it result in any increased risk to off-site properties.

(iii) **Community identity and diversity**

- (1) *The quality of life of residents is enhanced through equitable access to social infrastructure, community services and facilities necessary to support community health and well-being.*
- (2) *The community is self-sufficient and does not rely on services and facilities located in other regions. Development contributes to the provision of new social infrastructure, including land.*
- (3) *Cultural heritage including character housing and heritage buildings are conserved and enhanced.*
- (4) *Public places are safe, functional, characterised by good urban design, and include a range of facilities to encourage healthy and active lifestyles.*
- (5) *Crime prevention through environmental design is achieved in urban areas including public spaces to improve public safety.*

Complies – The proposed development advances and does not compromise the strategic outcomes for the Community Identity and Diversity theme. The proposed development will improve the accommodation offering for elderly people in Rockhampton, thereby ensuring there is equitable access to facilities necessary to support community health and well-being.

(iv) **Access and mobility**

- (1) *Connectivity is achieved between residential uses, employment centres and services through the provision of active transport infrastructure integrated with efficient public transport services.*
- (2) *The trunk transport network (as shown on the strategic framework maps SFM-9 to SFM-12 and in plans for trunk infrastructure in the local government infrastructure plan) supports the settlement pattern and the local economy by facilitating the efficient and safe movement of people and goods both within the planning scheme area (especially between the main urban centres of Rockhampton and Gracemere), and to and from other locations.*
- (3) *The transport network encourages and supports active living in centres by providing for integrated walking, cycling, and public transport infrastructure to support a progressive reduction in car dependency.*

- (4) *The safety and efficiency of transport infrastructure, including the Bruce and Capricorn highways and other state and local roads, rail, airport and seaports, are not compromised by development.*

Complies - The proposed development advances and does not compromise the strategic outcomes for the Access and Mobility theme. The increase in vehicle movements to and from the subject site as a result of the proposed development are within the capacity of the local road network. On this basis, it is deemed the development will not compromise the safety or efficiency of the road network.

(v) **Infrastructure and services**

- (1) *Infrastructure and services are planned and delivered in a logical and cost efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:*

- (a) *efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;*
 (b) *the long-term needs of the community, industry and business are met;*
 and
 (c) *the desired standards of service in Part 4 — Local government infrastructure plan are achieved.*

Complies - The proposed development advances and does not compromise the strategic outcomes for the Infrastructure and Services theme. The proposed development can be connected to existing infrastructure and services without compromising the network.

(vi) **Natural resources and economic development**

- (1) *The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.*
- (2) *The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).*
- (3) *The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.*
- (4) *Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including watercourses, water bodies and groundwater.*
- (5) *Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.*

Not Applicable.

The performance assessment of the proposal demonstrates that the development will not compromise the *Rockhampton Region Planning Scheme 2015* strategic outcomes.

Low Density Residential Zone

The subject site is situated within the Low Density Residential Zone under the *Rockhampton Region Planning Scheme 2015*. The relevant parts from the purpose of the Low Density Residential Zone identifies that: -

- (1) *The purpose of the low density residential zone code is to:*

- (a) provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;
 - (b) provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;
 - (c) minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and
 - (d) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
- (a) development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally low-rise, 1-2 storey built form and low density character with small scale, detached buildings;
 - (b) residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);**
 - (c) low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;
 - (d) short-term accommodations only occurs where it:
 - (i) is established in an existing dwelling;
 - (ii) does not adversely impact on the amenity of the surrounding residential area;
 - (iii) maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and
 - (iv) is limited in scale and duration;

Note—Use of a dwelling for short-term accommodation in this context may take the form of short term rental, Airbnb or similar accommodation. Purpose built commercially run short-term accommodation facilities are not intended. Short-term accommodation does not include a party house, which is separately defined.

- (e) non-residential uses only occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres;
 - (v) do not result in the expansion of a centre zone; and
 - (vi) have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;
- (f) no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;
- (g) neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;
- (h) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;

- (i) *development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;*
- (j) *development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;*
- (k) *new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;*
- (l) *new residential developments are located and integrated with existing neighbourhoods;*
- (m) *development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;*
- (n) *development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;*
- (o) *development is serviced by infrastructure that is commensurate with the needs of the use; and*
- (p) *the establishment of one (1) precinct within the zone where particular requirements are identified:*
 - (i) [Fitzroy River accommodation precinct](#); and
 - (ii) [Residential stables precinct](#).

Complies - This application is consistent with the purpose of the Zone. Specifically, it is for a residential care facility that will provide for long-term accommodation, without compromising the ability of the remainder of the zone to accommodate low density residential development. Regard to building height, noise, traffic movements and services have been addressed elsewhere in this report.

Rockhampton Regional Planning Scheme Codes

The following codes are applicable to this application:

- Low Density Residential Zone Code;
- Access, Parking And Transport Code;
- Landscape Code;
- Stormwater Management Code;
- Waste Management Code;
- Water and Sewer Code; and
- Airport Environs Overlay Code.

An assessment has been made against the requirements of the abovementioned codes and the proposed development generally complies with the relevant Performance Outcomes and Acceptable Outcomes or has otherwise been conditioned to comply. Where the application is in conflict with the Acceptable Outcomes and is not otherwise conditioned to comply, an assessment of the Performance Outcomes has been undertaken. Refer to the Statement of Reasons contained in **Recommendation A** for an assessment.

Based on a performance assessment of the abovementioned codes, it is determined that the proposal is acceptable and generally complies with the relevant Performance Outcomes and where there is deviation from the codes, sufficient justification has been provided.

INFRASTRUCTURE CHARGES

As per Recommendation C of this report, it is recommended the *Adopted Charges Resolution (No. 5) 2015* be applied instead of the *Charges Resolution No. 1 2022*. The reason for this is because the development application would have been decided prior to the new resolution coming into effect, except it was realised late in the assessment process that advice provided by the Rockhampton Airport to the Applicant prior to the development application being lodged was inconsistent with that provided later in the assessment process.

Specifically, the Applicant sought early advice from the Rockhampton Airport about the maximum permissible height for buildings and structures given the site is mapped under the Planning Scheme as being affected by the Airport Environs Overlay (Airport Obstacle – Height Limit 8.5m) and the proposed buildings exceeded the Obstacle Limitation Surface (OLS). It is understood the Rockhampton Airport indicated the proposed maximum building height would be acceptable, however, was later found this may not be the case and further advice was required from Airport Services Australia. Airport Services Australia took approximately nine (9) weeks to provide a response.

On this basis, the below calculation is based on *Adopted Infrastructure Charges Resolution (No. 5) 2015* for non-residential development. The site falls within Charge Area 1. The Infrastructure Charges are as follows:

Column 1 Use Schedule		Column 2 Charge Area	Column 3 Adopted Infrastructure Charge		Column 4 Adopted Infrastructure Charge for stormwater network		Calculated Charge
			(\$)	Unit	(\$)	Unit	
Essential Services	All uses as per AICN 5/14 Table 2.2.1	Areas 1 and 2	119	per m ² of GFA	8.50	per m ² of impervio us area	\$587,953.50
Total							\$587,953.50
Less Credit							Nil
TOTAL CHARGE							\$587,953.50

This is based on the following calculations:

- (a) A charge of \$560,014.00 for Gross Floor Area being 4,706 square metres;
- (b) A charge of \$27,939.50 for Impervious Area being 3,287.00 square metres (roof area, hardstand areas, access, and parking areas); and
- (c) No Infrastructure Credit being applicable.

Therefore, a total charge of \$587,953.50 is payable and will be reflected in an Infrastructure Charges Notice for the development.

As the proposed development is staged, Infrastructure Charges will need to appear for each stage as follows:

Stage	GFA (m ²)	Impervious Area (m ²)	Charge (\$)		Total (\$)
			GFA	Impervious	
1	4,575	3,086	544,425.00	26,231.00	570,656.00
2	131	201	15,589.00	1,708.50	17,297.50

CONSULTATION

The proposal was the subject of public notification between 2 March and 23 March 2022 in accordance with the requirements of the *Planning Act 2016* and the Development Assessment Rules, and one (1) properly made submission was received.

The following is a summary of the submissions lodged, with Council officer comments:

Issue	Officer's Response
Noise	<p>The submitter raised concerns about the potential for the development to exacerbate existing and introduce new noise impacts from the facility, including from workers, delivery trucks, fire alarms, emergency service vehicles, taxis and plant equipment. The submitter was concerned noise impacts would reduce residential amenity.</p> <p>The development is an expansion to a long standing residential care facility, which has been progressively developed and improved since the early 1960s. Therefore, the facility's presence in the surrounding area is well established and known. The expansion and improvement of the existing facility, including infrequent noise impacts from different noise sources, is considered to be within reasonable community expectations. In addition, an Environmental Noise Assessment submitted by the Applicant demonstrates the proposed development can achieve the acoustic quality objectives at all times, subject to compliance with recommendations. The Environmental Noise Assessment forms part of the approved documents.</p> <p>Notwithstanding, conditions of approval have been included that require the development to comply with the <i>Environmental Protection (Noise) Policy 2019</i>.</p>
Traffic	<p>The submitter raised concern the development would exacerbate existing traffic congestion issues in Ward Street because of the increase in on-site car parking spaces gaining access from this road.</p> <p>Ward Street is categorised as a 'Minor Urban Collector' road, with anticipated traffic volumes of between 751 and 3,000 average annual daily traffic (AADT). However, considering the road characteristics, Ward Street can be classified as a 'Major Urban Collector' (3,001 – 6,000 AADT) and is therefore suited to higher vehicle volumes.</p> <p>Therefore, despite the increase in on-site car parking spaces gaining access from Ward Street, these vehicle movements are considered to be within the road's capacity.</p>

CONCLUSION

THAT the proposed development is not anticipated to compromise the Strategic Framework of *Rockhampton Region Planning Scheme 2015*. Furthermore, the proposal generally complies with the provisions included in the applicable codes. The proposal is therefore, recommended for approval in accordance with the approved plans and subject to the conditions outlined in the recommendation.

**D/167-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A RESIDENTIAL
CARE FACILITY (90 BEDROOMS)**

Locality Plan

Meeting Date: 23 August 2022

Attachment No: 1

D/167-2021 - Locality Plan



A4 Page scale at 1: 2,084.70
Printed from GeoCortex on 11/08/2022



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**D/167-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A RESIDENTIAL
CARE FACILITY (90 BEDROOMS)**

Site Plan

Meeting Date: 23 August 2022

Attachment No: 2



DEVELOPMENT SUMMARY

NUMBER OF BEDS RACF	
GROUND FLOOR	30
LEVEL 1	30
LEVEL 2	30
TOTAL	90
CAR PARKING	
NEW BAYS OFF WARD ST	12
NEW BAYS OFF SPENCER ST	34
REMOVED EXISTING BAYS OFF SPENCER ST	-16
TOTAL ADDITIONAL CAR PARKS	30
SITE COVERAGE	
SITE AREA:	26711.85 m ²
BUILDING COVER	6593.2 m ²
EXISTING BUILDINGS	1743.8 m ²
90 BED RACF	291.2 m ²
KITCHEN	
TOTAL	8628.2 m²
SITE PERCENTAGE	32.3%
GROSS FLOOR AREA RACF GFA	
GROUND FLOOR	1513 m ²
LEVEL 1	1577 m ²
LEVEL 2	1484 m ²
Grand total	4574 m²
KITCHEN GFA	
KITCHEN GROUND	131 m ²
TOTAL DEVELOPMENT GFA	4705 m²
LANDSCAPED AREA PERCENTAGE	9818 m² 36.7%

SITE PLAN - 1:1000

DEVELOPMENT APPLICATION



MERCY CARE RACF - ROCKHAMPTON

75 WARD STREET,
THE RANGE, QLD 4700

MERCY HEALTH & AGED CARE CENTRAL QUEENSLAND LIMITED

TAK 21.0013.17



SITE PLAN & DEVELOPMENT SUMMARY

@ A3
A-1.01

30/06/2022
rev. 3

**D/167-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A RESIDENTIAL
CARE FACILITY (90 BEDROOMS)**

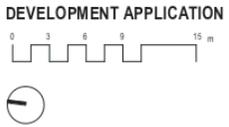
Floor Plans

Meeting Date: 23 August 2022

Attachment No: 3



- ROOM TYPES
- BACK OF HOUSE
 - BACK OF HOUSE & SERVICES
 - BED
 - COMMON AREA
 - OUTDOOR SPACE
 - PLANT
 - 30 BEDS



MERCY CARE RACF - ROCKHAMPTON
 75 WARD STREET,
 THE RANGE, QLD 4700
 MERCY HEALTH & AGED CARE CENTRAL QUEENSLAND LIMITED

TA# 21.0013.17

thomson
adsett

RACF GROUND FLOOR PLAN
 1 : 300 @ A3
A-2.02
 30/06/2022
 rev. 4



1 DA - LEVEL 1 - FLOOR PLANS
1:10 1: 300

DEVELOPMENT APPLICATION



MERCY CARE RACF - ROCKHAMPTON

75 WARD STREET,
THE RANGE, QLD 4700

MERCY HEALTH & AGED CARE CENTRAL QUEENSLAND LIMITED

TAF 21.0013.17

thomson
adsett

RACF LEVEL 1

1: 300 @ A3
A-2.03

30/06/2022
rev. 2



DEVELOPMENT APPLICATION



MERCY CARE RACF - ROCKHAMPTON

75 WARD STREET,
THE RANGE, QLD 4700

MERCY HEALTH & AGED CARE CENTRAL QUEENSLAND LIMITED

T&P 21.0013.17

thomson
adsett

RACF LEVEL 2

1: 300 @ A3
A-2.04

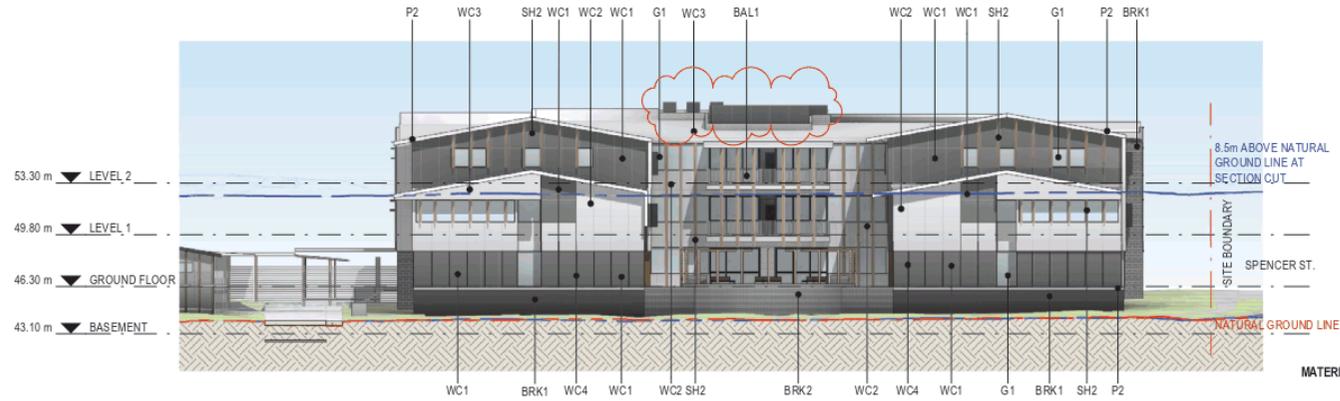
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rev. 2

**D/167-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR A RESIDENTIAL
CARE FACILITY (90 BEDROOMS)**

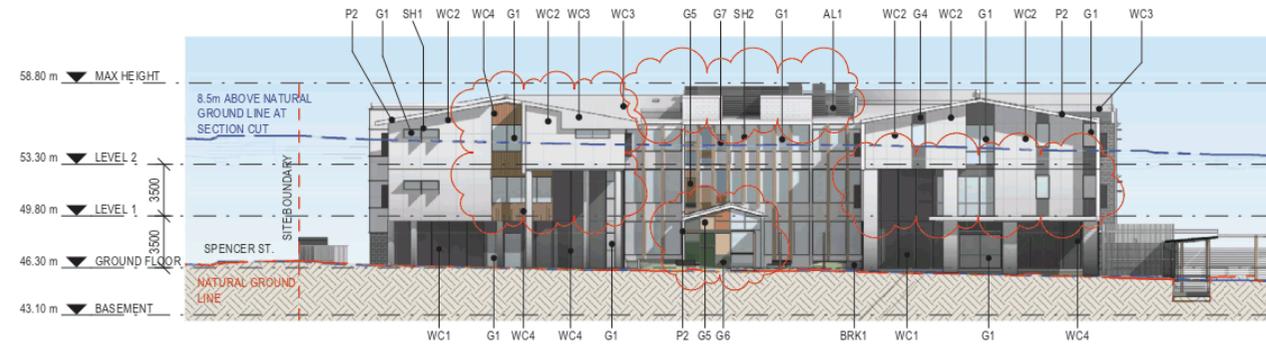
Elevations Plans

Meeting Date: 23 August 2022

Attachment No: 4



A RACF - WEST ELEVATION - AGNES ST
2.02
1:250



B RACF - EAST ELEVATION
2.02
1:250

MATERIALS LEGEND

- AL1 ANNOXIDISED ALUMINIUM LOUVRE SCREEN
- BAL1 ALUMINIUM OFF WHITE BALUSTRADE
- BRK1 MASONRY DARK
- BRK2 MASONRY LIGHT
- G1 FIXED GREY GLASS
- G4 COLOURBACK GREY GLASS
- G5 FIXED GLAZING YELLOW GLASS
- G6 FIXED GLAZING GREEN GLASS
- G7 FIXED GLAZING BLUE GLASS
- P2 OFF WHITE TRIMS AND PAINT
- SH1 SUN HOOD
- SH2 VERTICAL SUN BLADES
- WC1 DARK GREY BATTEN AND TEXTURED BOARD
- WC2 OFF WHITE TEXTURED BOARD
- WC3 OFF WHITE VERTICAL METAL CLADDING
- WC4 TIMBER LOOK VERTICAL JOINT CLADDING

NOTE - TREES OMITTED FOR CLARITY

DEVELOPMENT APPLICATION



MERCY CARE RACF - ROCKHAMPTON

75 WARD STREET,
THE RANGE, QLD 4700

MERCY HEALTH & AGED CARE CENTRAL QUEENSLAND LIMITED

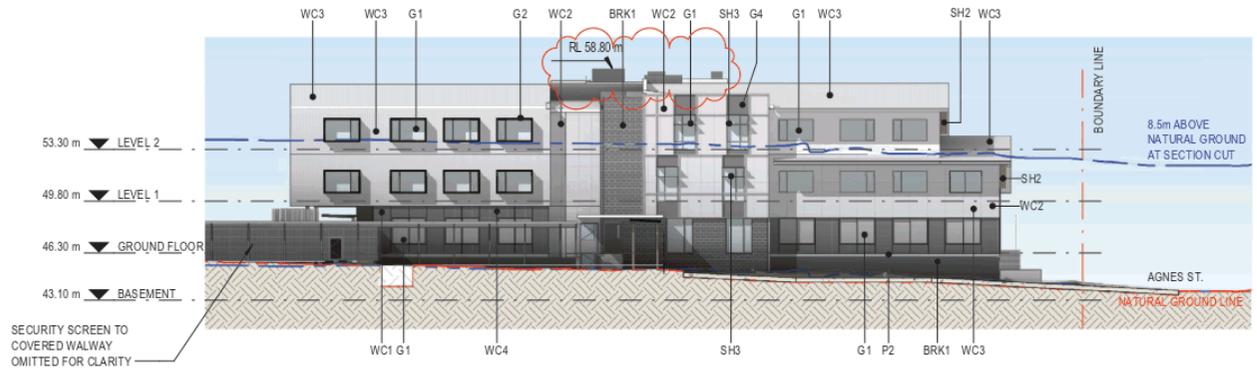
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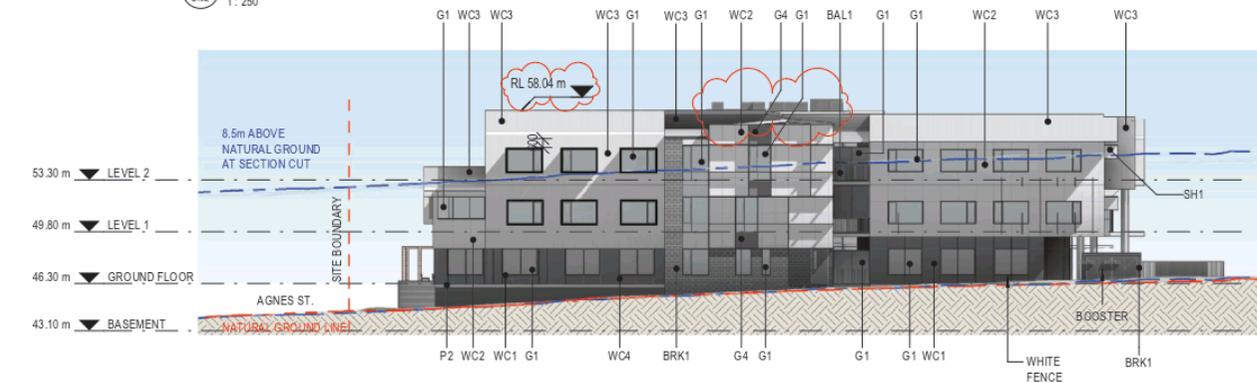
ELEVATIONS - RACF

1:250 @ A3
A-3.01

30/06/2022
rev. 3



C RACF - NORTH ELEVATION
2.02
1:250



D RACF - SOUTH ELEVATION - SPENCER ST
2.02
1:250

- MATERIALS LEGEND**
- BAL1 ALUMINIUM OFF WHITE BALUSTRADE
 - BRK1 MASONARY DARK
 - G1 FIXED GREY GLASS
 - G2 ALUMINIUM FRAMED WINDOW BOX
 - G4 COLOURBACK GREY GLASS
 - P2 OFF WHITE TRIMS AND PAINT
 - SH1 SUN HOOD
 - SH2 VERTICAL SUN BLADES
 - SH3 HORIZONTAL SUN BLADES
 - WC1 DARK GREY BATTEN AND TEXTURED BOARD
 - WC2 OFF WHITE TEXTURED BOARD
 - WC3 OFF WHITE VERTICAL METAL CLADDING
 - WC4 TIMBER LOOK VERTICAL JOINT CLADDING

NOTE - TREES OMITTED FOR CLARITY



MERCY CARE RACF - ROCKHAMPTON

75 WARD STREET,
THE RANGE, QLD 4700

MERCY HEALTH & AGED CARE CENTRAL QUEENSLAND LIMITED

T/A# 21.0013.17

thomson adsett ELEVATIONS - RACF

1:250 @ A3 30/06/2022
A-3.02 rev. 3

10.3 D/171-2021 - DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE FOR HEALTH CARE SERVICES AND SHOP (PHARMACY) AND OPERATIONAL WORKS FOR ADVERTISING DEVICE

File No: D/171-2021

Attachments:

1. [Locality Plan](#)
2. [Site Plan and Floor Plan](#)
3. [Elevation Plan](#)

Authorising Officer: Amanda O'Mara - Acting Coordinator Development Assessment
Doug Scott - Manager Planning and Regulatory Services
Alicia Cutler - General Manager Community Services

Author: Brendan Standen - Senior Planning Officer

SUMMARY

Development Application Number: D/171-2021

Applicant: S6 Grace Medical Pty Limited

Real Property Address: Lot 1-3 on RP605736

Common Property Address: 90 and 94 High Street, Berserker

Area of Site: 2,763 square metres

Planning Scheme: Rockhampton Region Planning Scheme 2015 (version 2.2)

Planning Scheme Zone: Low Density Residential Zone

Planning Scheme Overlays: Acid Sulfate Soils Overlay; and Airport Environs Overlay.

Existing Development: Dwelling Houses and Vacant Land

Approval Sought: Development Permit for Material Change of Use for Health Care Services and Shop (Pharmacy) and Operational Works for Advertising Devices

Category of Assessment: Assessable (Impact Assessment)

Submissions: Nil

Referral Agency: N/A

OFFICER'S RECOMMENDATION

In relation to the application for a Development Permit for Material Change of Use for Health Care Services and Shop (Pharmacy) and Operational Works for Advertising Devices, made by S6 Grace Medical Pty Limited, located at 90 and 94 High Street, Berserker, described as Lot 1-3 on RP605736, Council resolves to provide the following reasons for its decision:

STATEMENT OF REASONS

Description of the development	Material Change of Use for Health Care Services and Shop (Pharmacy) and Operational Works for Advertising Devices
Reasons for Decision	a) Assessment of the development against the relevant zone purpose, planning scheme codes and planning scheme policies demonstrates that the proposed development will not cause significant adverse impacts on the surrounding natural

	<p>environment, built environment and infrastructure, community facilities, or local character and amenity; and</p> <p>b) On balance, the application should be approved because the circumstances favour Council exercising its discretion to approve the application even though the development does not comply with an aspect of the assessment benchmarks.</p>					
<p>Assessment Benchmarks</p>	<p>The proposed development was assessed against the following assessment benchmarks:</p> <ul style="list-style-type: none"> • Strategic Framework • Low Density Residential Zone Code • Access, Parking and Transport Code • Landscape Code • Stormwater Management Code • Waste Management Code • Water and Sewer Code • Advertising Devices Code • Airport Environs Overlay Code 					
<p>Compliance with assessment benchmarks</p>	<p>The development was assessed against all of the assessment benchmarks listed above and complies with all of these with the exceptions listed below.</p> <table border="1" data-bbox="531 1048 1428 2089"> <thead> <tr> <th data-bbox="531 1048 874 1133">Assessment Benchmark</th> <th data-bbox="874 1048 1428 1133">Reasons for the approval despite non-compliance with benchmark</th> </tr> </thead> <tbody> <tr> <td data-bbox="531 1133 874 2089"> <p>Low Density Residential Zone Code</p> </td> <td data-bbox="874 1133 1428 2089"> <p>PO13</p> <p>The development does not comply with AO13.3 as the eastern exterior wall of the building exceeds 12 metres (m) in length, being 48.95m.</p> <p>Despite this, the combination of building height below that contemplated for the zone, the wall presenting to a side boundary rather than directly to the street, adequate side boundary setbacks and provision made for landscaping to soften the bulk of the wall to the adjoining properties all assist in ensuring compliance with PO13. Specifically:</p> <ul style="list-style-type: none"> • Maximum height for the exterior wall exceeding 12m in length is approximately 3.9m, which is below the 8.5m maximum height limit prescribed for the Zone. • The wall presents towards the eastern adjoining lots, being used for residential purposes, rather than the street so has less of an impact on streetscape amenity. </td> </tr> </tbody> </table>		Assessment Benchmark	Reasons for the approval despite non-compliance with benchmark	<p>Low Density Residential Zone Code</p>	<p>PO13</p> <p>The development does not comply with AO13.3 as the eastern exterior wall of the building exceeds 12 metres (m) in length, being 48.95m.</p> <p>Despite this, the combination of building height below that contemplated for the zone, the wall presenting to a side boundary rather than directly to the street, adequate side boundary setbacks and provision made for landscaping to soften the bulk of the wall to the adjoining properties all assist in ensuring compliance with PO13. Specifically:</p> <ul style="list-style-type: none"> • Maximum height for the exterior wall exceeding 12m in length is approximately 3.9m, which is below the 8.5m maximum height limit prescribed for the Zone. • The wall presents towards the eastern adjoining lots, being used for residential purposes, rather than the street so has less of an impact on streetscape amenity.
Assessment Benchmark	Reasons for the approval despite non-compliance with benchmark					
<p>Low Density Residential Zone Code</p>	<p>PO13</p> <p>The development does not comply with AO13.3 as the eastern exterior wall of the building exceeds 12 metres (m) in length, being 48.95m.</p> <p>Despite this, the combination of building height below that contemplated for the zone, the wall presenting to a side boundary rather than directly to the street, adequate side boundary setbacks and provision made for landscaping to soften the bulk of the wall to the adjoining properties all assist in ensuring compliance with PO13. Specifically:</p> <ul style="list-style-type: none"> • Maximum height for the exterior wall exceeding 12m in length is approximately 3.9m, which is below the 8.5m maximum height limit prescribed for the Zone. • The wall presents towards the eastern adjoining lots, being used for residential purposes, rather than the street so has less of an impact on streetscape amenity. 					

		<ul style="list-style-type: none"> • The side boundary setback is 2.4m, which exceeds the 1.5m setback normally required for a building or structure with the same building height. • Conditions of approval have been included requiring landscape screening along part of the eastern boundary to soften the bulk of the exterior wall. <p>Therefore, the development is considered to comply with PO13.</p> <p>PO16</p> <p>The development does not comply with aspects of PO16, including it is not small scale in terms of what is generally contemplated for the Zone and does not service the day-to-day needs of residents of the local neighbourhood or is not a community or emergency facility.</p> <p>Despite this, the development complies with the remaining outcomes sought for PO16. Specifically:</p> <ul style="list-style-type: none"> • The existing character and level of amenity for the area is characterised by a combination of both residential and non-residential development. • The built form is generally consistent with that exhibited along High Street, particularly west of the site. A range of commercial activities in buildings with a non-residential appearance extend west of the site on both the northern and southern side of High Street. • The site does not adjoin an existing centre zone and an Economic Impact Assessment demonstrates the development is unlikely to compromise the role or function of existing centres. • The site is located on a higher order road and has a bus stop within 20m that provides bus services that connect it with other areas in Rockhampton. • A Traffic Impact Assessment
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		<p>demonstrates the development will not compromise the safety or efficiency of the local road network, subject to some minor road works.</p> <p>Therefore, on balance the development is considered to comply with PO16. To the extent any conflicts are identified with PO16 regard to relevant matters are considered to outweigh those conflicts.</p>
	<p>Access, Parking and Transport Code</p>	<p>PO5</p> <p>The development does not comply with AO5.1.1 as 42 on-site car parking spaces are required where 34 are provided.</p> <p>Despite this, adequate provision has been made for on-site car parking commensurate with likely demand generated by the development such that on-street car parking should not be required. The car parking rate for AO5.1.1 has been calculated for the two individual uses (Health Care Service and Shop) operating independently. However, there are synergies between these uses that will mean customers will likely use both at the same time, requiring fewer on-site car parking spaces.</p> <p>Therefore, the development is considered to comply with PO5.</p> <p>PO14</p> <p>The development does not comply with AO14.2 as direct access to the property is from High Street, which is classified as an Urban Sub-Arterial road.</p> <p>Despite this, a Traffic Impact Assessment has been provided by the Applicant and conditioned, which demonstrates access to High Street can be provided without compromising the safety or efficiency of the local road network, subject to some minor upgrades. The minor upgrade includes an auxiliary left turn lane. It is also noted the site has no other road frontage.</p> <p>Therefore, the development is considered to comply with PO14.</p>
	<p>Landscape Code</p>	<p>PO6</p> <p>The development does not comply with AO6.5 as landscaping has not been</p>

		<p>provided to create a ‘three-tier’ landscape treatment in all areas indicated on the approved plans for landscaping.</p> <p>Despite this, adequate area and locations for landscaping have been shown on the approved plans and conditions of approval have been included requiring landscaping that achieves compliances with PO6. Specifically, this includes:</p> <ul style="list-style-type: none"> • Groundcover and shrubs along the front property boundary and at the perimeter of the car parking area. • Shade tree planting within the car parking area. • Screen planting along part of the eastern property boundary to reduce the bulk of the building to the eastern adjoining properties and soften the hard surface of the 48.95m long exterior wall. • The requirement for at least fifty (50) percent of all new plantings to be locally native species with low water dependency. <p>Therefore, the development is considered to comply with PO6.</p>
	<p>Waste Management Code</p>	<p>PO3</p> <p>The development does not comply with AO3.1 as the waste storage area is located immediately adjoining the northern side boundary, rather than being setback a minimum of two (2) metres.</p> <p>Despite this, a 1.8m high screening fence has been conditioned around the waste storage area, along with requirements to ensure it can be appropriately cleaned and drained. Further, the northern adjoining property is developed with offices rather than residential uses, which are considered to be a less sensitive use. On this basis, the waste storage area minimises adverse impacts on adjoining properties.</p> <p>Therefore, the development is considered to comply with PO3.</p>
	<p>Advertising Devices Code</p>	<p>PO1</p>

		<p>The free standing sign does not comply with AO1.2 as it is located in the Low Density Residential Zone and setback less than three (3) metres from a property boundary.</p> <p>Despite this, in the context of the main building, which will be the predominant built form on the site, and existence of other commercial uses on High Street to the west that include free standing signs, the free-standing sign is not considered to adversely impact on streetscape amenity, impede vehicle or pedestrian movements or result in the proliferation of advertising devices.</p> <p>Therefore, the free-standing sign is considered to comply with PO1.</p>
Relevant Matters	<p>The proposed development was assessed against the following relevant matters:</p> <ul style="list-style-type: none"> • An Economic Impact Assessment demonstrates there is an overriding planning need for the development. There is a significant demand for health care and pharmaceutical services, driven by high rates of illness, chronic disease and mental health issues, particularly in the surrounding suburbs and Rockhampton more broadly. • There is a growing demand and expectation by consumers for convenience health care services that are consolidated at a single location. Therefore, given the level of demand for health care services in the region and consumer expectations, the development is considered to be of a reasonable and appropriate size. • An Economic Impact Assessment demonstrates the development will not have an undue level of impact on the role or function of centres but would generate positive economic and community benefits for local residents. • An Economic Impact Assessment demonstrates there are no or very limited appropriately zoned sites of a size that could reasonably accommodate health care and pharmaceutical services at a scale expected or required by consumers. The site is also located proximate to existing non-residential activities and a Major Centre Zone. 	
Matters raised in submissions	Issue	How matter was dealt with
	Nil	N/A
Matters prescribed by regulation	<ul style="list-style-type: none"> • The <i>Rockhampton Region Planning Scheme 2015</i> (version 2.2); and • The common material, being the material submitted with the application. 	

RECOMMENDATION B

THAT in relation to the application for a Development Permit for Material Change of Use for Health Care Services and Shop (Pharmacy) and Operational Works for Advertising Devices,

made by S6 Grace Medical Pty Limited, located at 90 and 94 High Street, Berserker, described as Lot 1-3 on RP605736, Council resolves to Approve the application subject to the following conditions:

MATERIAL CHANGE OF USE (HEALTH CARE SERVICES AND SHOP)

1.0 ADMINISTRATION

- 1.1 The Developer and their employee, agent, contractor or invitee is responsible for ensuring compliance with the conditions of this development approval.
 - 1.2 Where these Conditions refer to “Council” in relation to requiring Council to approve or to be satisfied as to any matter, or conferring on the Council a function, power or discretion, that role may be fulfilled in whole or in part by a delegate appointed for that purpose by the Council.
 - 1.3 All conditions, works, or requirements of this development approval must be undertaken, completed, and be accompanied by a Compliance Certificate for any operational works required by this development approval:
 - 1.3.1 to Council’s satisfaction;
 - 1.3.2 at no cost to Council; and
 - 1.3.3 prior to the commencement of the use, unless otherwise stated.
 - 1.4 Infrastructure requirements of this development approval must be contributed to the relevant authorities, where applicable, at no cost to Council, prior to the commencement of the use, unless otherwise stated.
 - 1.5 The following further Development Permits must be obtained prior to the commencement of any works associated with their purposes:
 - 1.5.1 Operational Works:
 - (i) Road Works;
 - (ii) Access and Parking Works;
 - (iii) Sewerage Works; and
 - (iv) Roof and Allotment Drainage.
 - 1.5.2 Plumbing and Drainage Works; and
 - 1.5.3 Building Works:
 - (i) Demolition Works; and
 - (ii) Building Works.
 - 1.6 All Development Permits for Operational Works and Plumbing and Drainage Works must be obtained prior to the issue of a Development Permit for Building Works.
 - 1.7 All works must be designed, constructed and maintained in accordance with the relevant Council policies, guidelines and standards, unless otherwise stated.
 - 1.8 All engineering drawings/specifications, design and construction works must be in accordance with the requirements of the relevant *Australian Standards* and must be approved, supervised and certified by a Registered Professional Engineer of Queensland.
 - 1.9 Lots 1, 2 and 3 on RP605736 must be amalgamated and registered as one lot prior to the commencement of the use.
- #### **2.0 APPROVED PLANS AND DOCUMENTS**
- 2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by any

condition of this development approval:

<u>Plan/Document Name</u>	<u>Prepared by</u>	<u>Date</u>	<u>Reference No.</u>	<u>Version/Issue</u>
Site and Ground Floor Plan	Dileigh Civil/Structural Design & Project Management	20 July 2022	D21.546-SK01	2
Concept Level 1 Plan	Dileigh Civil/Structural Design & Project Management	12 May 2022	D21.546-SK02	1
Concept Elevations	Dileigh Civil/Structural Design & Project Management	12 May 2022	D21.546-SK03	-
Concept Pylon Signage	Dileigh Civil/Structural Design & Project Management	12 May 2022	D21.546-SK04	
Vehicle Swept Path Refuse Truck	Dileigh Civil/Structural Design & Project Management	20 July 2022	D21.546-01	B
Stormwater Management Report	Dileigh Civil/Structural Design & Project Management	13 May 2022	D21.546-RP01(B) SWMP	B

2.2 Where there is any conflict between the conditions of this development approval and the details shown on the approved plans and documents, the conditions of this development approval must prevail.

3.0 ROAD WORKS

3.1 A Development Permit for Operational Works (road works) must be obtained prior to the commencement of any road works required by this development approval.

3.2 All road works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines*, relevant *Australian Standards* and *Austroroads Guidelines* and the provisions of a Development Permit for Operational Works (road works).

3.3 Traffic signs and pavement markings must be provided in accordance with the *Manual of Uniform Traffic Control Devices – Queensland*. Where necessary, existing traffic signs and pavement markings must be modified in accordance with the *Manual of Uniform Traffic Control Devices – Queensland*.

3.4 An Auxiliary Left Turn (short) lane is required for the entry access point to the development.

3.5 Drawing D21.546-SK06 submitted with the Traffic Impact Assessment (dated 10/05/2022) prepared by Dileigh Civil / Structural Design & Project Management is to be revised to reflect the approved access arrangement and submitted for approval with an application for a Development Permit for Operational Works.

4.0 ACCESS AND PARKING WORKS

4.1 A Development Permit for Operational Works (access and parking works) must be obtained prior to the commencement of any access and parking works on the

- development site.
- 4.2 All access and parking works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines, Australian Standard AS2890 "Parking facilities"* and the provisions of a Development Permit for Operational Works (access and parking works).
 - 4.3 All car parking and access areas must be paved or sealed to Council's satisfaction. Design and construction must be in accordance with the provisions of a Development Permit for Operational Works (access and parking works).
 - 4.4 Two (2) new access points to the development must be provided from High Street. The eastern access is to provide for left-in ingress only and the western access is to provide for left-out egress only.
 - 4.5 Any redundant vehicular crossovers must be replaced by Council standard kerb and channel.
 - 4.6 All vehicles must ingress and egress the development in a forward gear.
 - 4.7 Adequate sight distances must be provided for all ingress and egress movements at the access driveways in accordance with *Australian Standard AS2890.2 "Parking facilities - Off street commercial vehicle facilities"*.
 - 4.8 A minimum of thirty-four (34) parking spaces must be provided on-site.
 - 4.9 Universal access parking spaces must be provided on-site in accordance with *Australian Standard AS2890.6 "Parking facilities - Off-street parking for people with disabilities"*.
 - 4.10 Parking spaces must be line-marked in accordance with the approved Site Plan (refer to condition 2.1) and in accordance with the *Australian Standard AS2890 "Parking facilities"* and the provisions of a Development Permit for Operational Works (access and parking works).
 - 4.11 All vehicle operations associated with the development must be directed by suitable directional, informative, regulatory or warning signs in accordance with *Australian Standard AS1742.1 "Manual of uniform traffic control devices"* and *Australian Standard AS2890.1 "Parking facilities – Off-street car parking"*.
 - 4.12 Road signage and pavement markings must be installed in accordance with *Australian Standard AS1742.1 "Manual of uniform traffic control devices"*.
 - 4.13 All internal pedestrian pathways must be designed and constructed in accordance with *Australian Standard AS1428 "Design for access and mobility"*.
- 5.0 **SEWERAGE WORKS**
- 5.1 A Development Permit for Operational Works (sewerage works) must be obtained prior to the commencement of any sewerage works on the development site.
 - 5.2 All sewerage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines, Water Supply (Safety and Reliability) Act 2008, Plumbing and Drainage Act 2018* and the provisions of a Development Permit for Operational Works (sewerage works).
 - 5.3 The development must be connected to Council's reticulated sewerage network.
 - 5.4 The existing sewerage connection points for Lots 1, 2 and 3 must be disconnected.
 - 5.5 A new sewerage connection point must be provided for the development.
 - 5.6 The finished sewerage access chamber surface must be at a sufficient level to avoid ponding of stormwater above the top of the chamber. A heavy duty trafficable lid must be provided in the trafficable area.
 - 5.7 Sewer connections located within trafficable areas must be raised or lowered to suit the

finished surface levels and must be provided with heavy duty trafficable lids.

- 5.8 All works must be undertaken in accordance with *Queensland Development Code, Mandatory Part 1.4 "Building over or near relevant infrastructure."*
- 5.9 The development must comply with Council's Building Over/Adjacent to Local Government Sewerage Infrastructure Policy. Any permit associated with the Building Over/Adjacent to Local Government Sewerage Infrastructure Policy must be obtained prior to the issue of a Development Permit for Building Works.
- 5.10 Large trees must not be planted within one (1) metre of the centreline of any sewerage and/or water infrastructure; small shrubs and groundcover are acceptable.

6.0 PLUMBING AND DRAINAGE WORKS

- 6.1 A Development Permit for Plumbing and Drainage Works must be obtained for the removal and/or demolition of any existing structure on the development site.
- 6.2 A Development Permit for Plumbing and Drainage Works must be obtained for the construction of new structures on the development site.
- 6.3 All internal plumbing and drainage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Capricorn Municipal Development Guidelines, Water Supply (Safety and Reliability) Act 2008, Plumbing and Drainage Act 2018*, Council's Plumbing and Drainage Policies and the provisions of a Development Permit for Plumbing and Drainage Works.
- 6.4 The development must be connected to Council's reticulated water network.
- 6.5 The existing water connection points for Lot 1 and 2 on RP605736 must be disconnected. The existing water connection point for Lot 3 on RP605736 must remain to service the development. A hydraulic engineer or other suitably qualified person must determine whether the size of the existing connection is adequate.
- 6.6 The proposed development must be provided with a master meter at the development site boundary and sub-meters for each sole occupancy building in accordance with the *Queensland Plumbing and Drainage Code* and Council's Sub-metering Policy.
- 6.7 All internal plumbing and sanitary drainage works must be completely independent for each unit/tenancy.
- 6.8 Sewer connections and water meter boxes located within trafficable areas must be raised or lowered to suit the finished surface levels and must be provided with heavy duty trafficable lids.
- 6.9 Alteration, disconnection or relocation of internal plumbing and sanitary drainage works associated with the existing buildings must be in accordance with regulated work under the *Plumbing and Drainage Act 2018* and Council's Plumbing and Drainage Policies.
- 6.10 The development must comply with *Queensland Development Code, Mandatory Part 1.4 "Building over or near relevant infrastructure."* Any permit associated with the Building Over/Adjacent to Local Government Sewerage Infrastructure Policy must be obtained prior to the issue of a Development Permit for Building Works.

7.0 ROOF AND ALLOTMENT DRAINAGE WORKS

- 7.1 A Development Permit for Operational Works (roof and allotment drainage works) must be obtained prior to the commencement of any drainage works on the development site.
- 7.2 All roof and allotment drainage works must be designed and constructed in accordance with the approved plans (refer to condition 2.1), *Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines*, sound engineering practice and the provisions of a Development Permit for Operational Works (roof and allotment drainage works).
- 7.3 All roof and allotment runoff from the development must be directed to a lawful point of

discharge and must not restrict, impair or change the natural flow of runoff water or cause a nuisance to surrounding land or infrastructure.

- 7.4 The development must not increase peak stormwater runoff for a selected range of storm events up to and including a one per cent (1%) Annual exceedance probability storm event, for the post-development conditions.
- 7.5 All the roof drainage system (downpipes and gutters) for the proposed development (buildings) must be designed to accommodate the twenty percent (20%) Annual Exceedance Probability defined storm event from the roof area.
- 7.6 All the roof drainage pipes (downpipes) from the proposed development (buildings) must be connected to rainwater tanks which are used as the detention system.

8.0 SITE WORKS

- 8.1 All earthworks must be undertaken in accordance with *Australian Standard AS3798 "Guidelines on earthworks for commercial and residential developments"*.
- 8.2 Site works must be constructed such that they do not, at any time, in any way restrict, impair or change the natural flow of runoff water, or cause a nuisance or worsening to surrounding land or infrastructure.

9.0 BUILDING WORKS

- 9.1 The two (2) existing residential dwellings on the subject land must be demolished and/or removed and a Development Permit for Building Works (demolition) must be obtained prior to the commencement of demolition works on the development site.
- 9.2 A Development Permit for Building Works assessable under the Building Assessment Provisions must be obtained prior to the commencement of construction of any new structures on the development site.
- 9.3 All building works for Class 2 to Class 9 buildings must be undertaken in accordance with *Queensland Development Code, Mandatory Part 1.4 "Building over or near relevant infrastructure."*
- 9.4 All building works must be undertaken in accordance with Council's *Building Over/Adjacent to Local Government Sewerage Infrastructure Policy* and any permit obtained in respect of this policy.
- 9.5 Access to and use of the land the subject of this application must comply with the provisions of the *Disability Discrimination Act 1992* and/or the *Anti-Discrimination Act 1991*. If either of those statutes require the provision of access or facilities in a way that is inconsistent with this development approval, those facilities must be provided.
- 9.6 Impervious paved waste storage area/s must be provided in accordance with the approved plans (refer to condition 2.1) and the *Environmental Protection Regulation 2019* and must be:
- 9.6.1 designed and located so as not to cause a nuisance to neighbouring properties;
 - 9.6.2 surrounded by at least a 1.8 metre high screen fence that obstructs from view the contents of the waste storage area by any member of the public from any public place;
 - 9.6.3 of a sufficient size to accommodate commercial type bins that will be serviced by a commercial contractor plus clearances around the bins for manoeuvring and cleaning;
 - 9.6.4 setback a minimum of two (2) metres from any road frontage; and
 - 9.6.5 provided with a suitable hosecock and hoses at the refuse container area, and washdown must be drained to the sewer in accordance with the Sewerage Trade Waste provisions and the *Plumbing and Drainage Act 2018*.

As an alternative to a washdown facility, a fully contained commercial bin

cleaning service is acceptable provided no wastewater is discharged from the site to the sewer.

- 9.7 A minimum 1.8-metre-high screen fence must be erected between the subject development site and adjacent residential properties south and east of the development.
- 10.0 LANDSCAPING WORKS
- 10.1 Landscaping must be constructed and/or established prior to the commencement of the use in all areas shown on the approved plans (refer to condition 2.1).
- 10.2 The landscaped areas must be subject to:
- 10.2.1 a watering and maintenance plan during the establishment moment; and
 - 10.2.2 an ongoing maintenance and replanting programme.
- 10.3 Landscaping must be designed in accordance with the requirements of *Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility*.
- 10.4 At least fifty (50) per cent of all new plantings within the landscaping areas (refer to condition 2.1) must be locally native species with low water dependency and must comply with the following requirements:
- 10.4.1 Plant species are chosen from sources recommended in *Planning Scheme Policy SC6.12 – Landscape Design and Street Trees Planning Scheme Policy*; and
 - 10.4.2 Plant species must not include undesirable species identified in *Planning Scheme Policy SC6.12 – Landscape Design and Street Trees Planning Scheme Policy*.
- 10.5 Landscaping screening must be established and maintained along the eastern side boundary, extending from the alignment of the northern exterior wall of the 'Allied Health' tenancy south for a minimum of thirty (30) metres and:
- 10.5.1 Include plant species that have a minimum mature height of three (3) metres; and
 - 10.5.2 Provides a minimum porosity of fifty (50) percent between 1.8 metres and three (3) metres in height for that part of the eastern exterior wall where landscape screening is required.
- 10.6 Shade trees within car parking areas are to be provided and planted within a deep natural ground/structured soil garden bed/island/bay and are protected by wheel stops or bollards as required.
- 10.7 Each shade tree(s) has/have a clean trunk with a minimum height of two (2) metres and must be provided within the car park at the following rates:
- 10.7.1 One (1) tree per three (3) car parks;
 - 10.7.2 One (1) tree per six (6) car parks; and
 - 10.7.3 Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.
- 10.8 Root control barriers must be installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.
- 10.9 Landscaping, or any part thereof, upon reaching full maturity, must not:
- (i) obstruct sight visibility zones as defined in the *Austrroads 'Guide to Traffic Engineering Practice'* series of publications;
 - (ii) adversely affect any road lighting or public space lighting; or
 - (iii) adversely affect any Council infrastructure, or public utility plant.

10.10 Root control barriers must be installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.

11.0 ELECTRICITY

11.1 Electricity services must be provided to the development in accordance with the standards and requirements of the relevant service provider.

12.0 TELECOMMUNICATIONS

12.1 Telecommunications services must be provided to the development in accordance with the standards and requirements of the relevant service provider. Unless otherwise stipulated by telecommunications legislation at the time of installation, this includes all necessary pits and pipes, and conduits that provide a connection to the telecommunications network.

13.0 ASSET MANAGEMENT

13.1 Any alteration necessary to electricity, telephone, water mains, sewerage mains, and/or public utility installations resulting from the development or in connection with the development, must be undertaken and completed at no cost to Council.

13.2 Any damage to existing stormwater, water supply and sewerage infrastructure, kerb and channel, pathway or roadway (including removal of concrete slurry from public land and Council infrastructure), that occurs while any works are being carried out in association with this development approval must be repaired at full cost to the developer. This includes the reinstatement of any existing traffic signs or pavement markings that may have been removed or damaged.

13.3 'As Constructed' information pertaining to assets to be handed over to Council and those which may have an impact on Council's existing and future assets must be provided prior to the commencement of the use. This information must be provided in accordance with the *Asset Design and As Constructed Manual (ADAC)*.

14.0 ENVIRONMENTAL

14.1 Any application for a Development Permit for Operational Works must be accompanied by an Erosion and Sediment Control Plan that addresses, but is not limited to, the following:

- (i) objectives;
- (ii) site location and topography;
- (iii) vegetation;
- (iv) site drainage;
- (v) soils;
- (vi) erosion susceptibility;
- (vii) erosion risk;
- (viii) concept;
- (ix) design; and
- (x) implementation,

for the construction and post-construction phases of work.

14.2 The Erosion Control and Stormwater Control Management Plan prepared by a Registered Professional Engineer of Queensland in accordance with the *Capricorn Municipal Design Guidelines*, must be implemented, monitored and maintained for the duration of the development works, and until all exposed soil areas are permanently stabilised (for example, turfed, hydromulched, concreted, landscaped). The plan must be available on-site for inspection by Council Officers whilst all works are being carried out.

15.0 ENVIRONMENTAL HEALTH

- 15.1 Any lighting devices associated with the development, such as sensory lighting, must be positioned on the development site and shielded so as not to cause glare or other nuisance to nearby residents and motorists. Night lighting must be designed, constructed and operated in accordance with *Australian Standard AS4282 "Control of the obtrusive effects of outdoor lighting"*.
- 15.2 Noise emitted from the activity must not cause an environmental nuisance.
- 15.3 Operations on the site must have no significant impact on the amenity of adjoining premises or the surrounding area due to the emission of light, noise or dust.
- 15.4 Airconditioning units must be located so as not to cause a noise nuisance and maintained in a proper working order at all times. Installation is to be as per manufacturer's directions to ensure the efficiency of the equipment. Any external plant equipment e.g., Airconditioning units will have to be located and screened appropriately so as not to impact negatively on the amenity of the surrounding residential properties.

16.0 OPERATING PROCEDURES

- 16.1 All construction materials, waste, waste skips, machinery and contractors' vehicles must be located and stored or parked within the development site. Storage of materials or parking of construction machinery or contractors' vehicles must not occur within High Street.
- 16.2 The hours of operations for the development site must be limited to:
- (i) 0800 hours to 1700 hours on Monday to Saturday,
with no operations on Sundays or Public Holidays.
- 16.3 The loading and/or unloading of delivery and waste collection vehicles is limited between the hours of 0700 and 1900 Monday to Saturday and between the hours of 0800 and 1500 on Sundays. No heavy vehicles must enter the development site outside these times to wait for unloading/loading.
- 16.4 All waste must be stored within a waste storage area (for example, general waste, recyclable waste, pallets, empty drums etcetera) in accordance with the approved plans (refer to condition 2.1). The owner of the land must ensure that:
- 16.4.1 the area is kept in a clean and tidy condition;
 - 16.4.2 fences and screens are maintained;
 - 16.4.3 no waste material is stored external to the waste storage area/s;
 - 16.4.4 the area is maintained in accordance with *Environmental Protection Regulation 2019*.
- 16.5 The approved 'Shop' use is restricted to that tenancy shown as 'Pharmacy' on the approved plans (refer to Condition 2.1). The Shop use is restricted to the sale of pharmaceutical goods.

ADVISORY NOTES**NOTE 1. Aboriginal Cultural Heritage**

It is advised that under section 23 of the *Aboriginal Cultural Heritage Act 2003*, a person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage (the "cultural heritage duty of care"). Maximum penalties for breaching the duty of care are listed in the Aboriginal cultural heritage legislation. The information on Aboriginal cultural heritage is available on the Department of Aboriginal and Torres Strait Islander Partnerships website www.dsdsatsip.qld.gov.au

NOTE 2. Asbestos Removal

Any demolition and/or removal works involving asbestos materials must be undertaken in accordance with the requirements of the *Work Health and Safety Act 2011* and *Public Health Act 2005*.

NOTE 3. General Environmental Duty

General environmental duty under the *Environmental Protection Act 1994* prohibits unlawful environmental nuisance caused by noise, aerosols, particles, dust, ash, fumes, light, odour or smoke beyond the boundaries of the development site during all stages of the development including earthworks, construction and operation.

NOTE 4. General Safety of Public During Construction

The *Work Health and Safety Act 2011* and *Manual of Uniform Traffic Control Devices* must be complied with in carrying out any construction works, and to ensure safe traffic control and safe public access in respect of works being constructed on a road.

NOTE 5. Infrastructure Charges Notice

This application is subject to infrastructure charges in accordance with Council policies. The charges are presented on an Infrastructure Charges Notice.

OPERATIONAL WORKS (ADVERTISING DEVICES)

1.0 ADMINISTRATION

1.1 The Developer is responsible for ensuring compliance with the Conditions of the approval by an employee, agent, contractor or invitee of the Developer.

1.2 Where these Conditions refer to "Council" in relation to requiring Council to approve or to be satisfied as to any matter, or conferring on the Council a function, power or discretion, that role of the Council may be fulfilled in whole or in part by a delegate appointed for that purpose by the Council.

1.3 All conditions of this approval must be undertaken and completed to the satisfaction of Council, at no cost to Council.

1.4 The following further development permits are required prior to the commencement of any works on the site:

1.4.1 Building Works.

1.5 Unless otherwise stated, all works must be designed, constructed and maintained in accordance with the relevant Council policies, guidelines and standards.

2.0 APPROVED PLANS AND DOCUMENTS

2.1 The approved advertising device must be completed and maintained generally in accordance with the approved drawings and documents, except where amended by the conditions of this permit.

<u>Plan/Document Name</u>	<u>Prepared by</u>	<u>Date</u>	<u>Reference No.</u>	<u>Version/Issue</u>
Site and Ground Floor Plan	Dileigh Civil/Structural Design & Project Management	20 July 2022	D21.546-SK01	2
Concept Elevations	Dileigh Civil/Structural Design & Project Management	12 May 2022	D21.546-SK03	-
Concept Pylon Signage	Dileigh Civil/Structural	12 May 2022	D21.546-SK04	-

	Design & Project Management			
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- 2.2 A set of the above approved plans are returned to you as the Consultant. The Consultant is to supply one (1) Approved set to the contractor to be retained on site at all times during construction.
- 2.3 Where there is any conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval must prevail.
- 3.0 OPERATING PROCEDURE
- 3.1 All advertising devices must only display or advertise a matter associated with the primary purpose for which the premises are used, or the purpose stated in this approval.
- 3.2 All text and images displayed on the approved advertising device:
- 3.2.1 must be static;
- 3.2.2 must not imitate a traffic control device, move contrary to any traffic control device or include traffic instructions (for example 'stop'); and
- 3.2.3 must not involve moving parts or flashing lights.
- 3.3 Any lighting devices associated with the advertising device, such as sensory lighting, must be positioned on the site and shielded so as not to cause glare or other nuisance to nearby residents or motorists. Night lighting must be designed, constructed and operated in accordance with 'Australian Standard AS4282 – Control of the obtrusive effects of outdoor lighting' and 'Civil Aviation Safety Authority (CASA) Guidelines: Lighting in the vicinity of aerodromes: Advice to lighting designers'.
- 4.0 ASSET MANAGEMENT
- 4.1 Any damage to, or alterations necessary, to electricity, telephone, water mains, sewerage mains, stormwater drains, and/or public utility installations resulting from the development or in connection with the development, must be undertaken immediately, at no cost to Council, and completed within the following timeframes:
- 4.1.1 where damage causes a hazard to pedestrian/traffic safety or interrupts a community service, immediately; or
- 4.1.2 as soon as reasonably possible as agreed with Council.
- 5.0 ADVERTISING DEVICE CONSTRUCTION AND MAINTENANCE
- 5.1 Council reserves the right for uninterrupted access to the site at all times during construction.
- 5.2 All Construction work and other associated activities are permitted only between 0630 hours and 1800 hours Monday to Saturday. No work is permitted on Sundays or public holidays. All requirements of the *Environmental Protection Act 1994* and the *Environmental Protection Regulation 2019* must be observed at all times.
- 5.3 All construction materials, waste, waste skips, machinery and contractors' vehicles must be located and stored or parked within the site.
- 5.4 Any proposed works within the vicinity (or zone of influence) of existing Council infrastructure will not adversely affect the integrity of the infrastructure. Any restoration works required on existing Council infrastructure as a result of proposed works will be at the developer's expense.
- 5.5 All conduits, wiring, switches or other control apparatus installed on an Advertising Device must be concealed from general view, with control apparatus secured in a manner to prevent unauthorised entry and display setting tampering.
- 5.6 All electrical services and systems must comply with *Australian and New Zealand Standard AS/NZS 3000:2007* – "Electrical Installations".

- 5.7 All advertising devices must be maintained at all times on the premises by the owner of the premises to the same standard as it was when it was installed, and be maintained in a safe, clean, condition that does not adversely impact the visual amenity of the site.

ADVISORY NOTES

NOTE 1. Aboriginal Cultural Heritage Act, 2003

It is advised that under section 23 of the *Aboriginal Cultural Heritage Act 2003*, a person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage (the “cultural heritage duty of care”). Maximum penalties for breaching the duty of care are listed in the Aboriginal cultural heritage legislation. The information on Aboriginal cultural heritage is available on the Department of Aboriginal and Torres Strait Islander Partnerships website www.dsdsatsip.qld.gov.au

NOTE 2. General Environmental Duty

General environmental duty under the *Environmental Protection Act 1994* prohibits unlawful environmental nuisance caused by noise, aerosols, particles, dust, ash, fumes, light, odour or smoke beyond the boundaries of the development site during all stages of the development including earthworks, construction and operation.

NOTE 3. General Safety of Public During Construction

The *Work Health and Safety Act 2011* and *Manual of Uniform Traffic Control Devices* must be complied with in carrying out any construction works, and to ensure safe traffic control and safe public access in respect of works being constructed on a road.

RECOMMENDATION C

THAT in relation to the application for a Development Permit for Material Change of Use for Health Care Services and Shop (Pharmacy) and Operational Works for Advertising Devices, made by S6 Grace Medical Pty Ltd, located at 90 and 94 High Street, Berserker, described as Lot 1-3 on RP60573, Council resolves to issue an Infrastructure Charges Notice for the amount of \$79,032.10.

BACKGROUND

PROPOSAL IN DETAIL

The Applicant seeks a Development Permit for Material Change of Use for Health Care Services and Shop and Operational Works for Advertising Devices over land at 90 -94 High Street, Berserker. Specifically, the proposal is for a new medical centre that includes allied health and pharmaceutical services, and associated advertising devices including a free-standing sign and awning fascia signs.

The proposal involves the construction of a new two (2) storey medical centre in a contemporary “L” shaped configuration. The building consists of four (4) tenancies orientated toward an on-site carpark providing 34 spaces. An overview of the development parameters is included below:

OVERVIEW OF DEVELOPMENT PARAMETERS

DEVELOPMENT PARAMETER		PROPOSED
Maximum Building Height		7.05 metres
Setbacks	Front	Six (6) metres
	Side	2.4 metres
	Rear	5.25 metres
Gross Floor Area –	Physiotherapy	144m ²

Ground Floor	Medical Consultant	264.95m ²
	Lobby	19.11m ²
	Pharmacy	257.39m ²
	Allied Health	99.19m ²
Gross Floor Area – Ground Floor	Training Room	149.12m ²
	Lunchroom	58.13m ²
Impervious Area		2,044.7m ²
Landscaping Area		501.1m ²
On-site Car Parking		34

The proposed building will include a variety of colours, materials and textures. Building materials include aluminium ‘timber’ slats, rendered blockwork, Lysaght Longline, colourbond roof sheeting and timber slat privacy fencing.

Landscaped garden beds are proposed along the front property boundary and around the car parking area. Shade trees are proposed within the car parking areas. A turfed landscaped area is proposed along the rear and eastern side boundary; however, conditions of approval have been recommended requiring screen planting along part of the eastern side boundary given the uninterrupted length of the exterior wall.

SITE AND LOCALITY

The subject site comprises three (3) lots, with two (2) of these improved by detached dwellings and the remaining lot being vacant. The dwelling houses will be demolished to allow for the proposed development to occur. The site is a regular configuration with an approximate 46 metre frontage to High Street and total site area of 2,793m². The land is level. The site is bound by High Street to the north, residential development to the east and south and a commercial office to the west.

The wider area is characterised by a combination of low-density residential development and commercial development. Generally, the land west of the site through to its intersection with Musgrave Street and North Side Plaza includes predominantly long-standing commercial development, including medical centres, officers, shops and a childcare centre. The area north, east and south of the site is characterised by established low-density residential development

High Street is categorised as an Urban Sub-Arterial road, funnelling traffic from the north-eastern residential areas of Rockhampton toward Musgrave Street and by extension the Principal Centre Zone, Major Centre Zone and remainder of Rockhampton. Therefore, High Street represents a significant road corridor (amongst Elphinstone Street and Lakes Creek Road) for the north-eastern catchment.

PLANNING ASSESSMENT

This application has been assessed by relevant Council planning, engineering, environmental health, and other technical officers as required. The assessment has been in accordance with the assessment process provisions of the Development Assessment Rules, based on consideration of the relevant State Planning Policy; State Government guidelines; the Council's Town Planning Scheme, Planning Policies and other general policies and procedures, as well as other documents as considered relevant.

Development Engineering Comments

Support, subject to conditions.

Public and Environmental Health Comments

Support, subject to conditions.

Other Staff Technical Comments

Not applicable as the application was not referred to any other technical staff.

TOWN PLANNING COMMENTS

State Planning Policy 2017

Section 2.1 of *Rockhampton Region Planning Scheme 2015* noted the *State Planning Policy 2017* is integrated in the planning scheme. The State planning interests are therefore addressed as part of this assessment of the development against the *Rockhampton Region Planning Scheme 2015*.

Central Queensland Regional Plan 2013

The *Central Queensland Regional Plan 2013* is a statutory document which came into effect on 18 October 2013. The Regional Plan is identified as being appropriately integrated with the Planning Scheme and therefore an assessment against the Planning Scheme is taken to be an assessment against the *Central Queensland Regional Plan 2013*.

Rockhampton Region Planning Scheme 2015

Strategic framework

The subject site is situated within the Urban Area designation under the scheme's strategic framework map. The strategic framework themes and their strategic outcomes, as identified within Part 3 of the *Rockhampton Region Planning Scheme 2015* are applicable:

(i) Settlement pattern

- (1) *The pattern of settlement is reinforced in accordance with the Strategic framework – settlement pattern maps (SFM-1 to SFM-4) and as defined in Table 3.3.2.2 – Strategic map designations and descriptions. Sufficient land has been allocated for residential, commercial, industrial and community uses to meet the needs of the region for at least twenty (20) years.*
- (2) *Residential development within Rockhampton and Gracemere will occur in urban areas, urban infill and intensification areas and new urban areas (greenfield areas). These areas are shown on the strategic framework maps SFM-2 to SFM-3.*
- (3) *Urban development in Mount Morgan will only occur within the urban area and local centre as shown on strategic framework map SFM-4.*
- (4) *Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.*
- (5) *Sufficient land for employment growth has been identified in industrial areas, new industrial areas and centres (including proposed centres) at locations that can be most efficiently serviced with infrastructure and facilities.*
- (6) *Future urban areas and future industrial areas are the preferred location for greenfield development beyond 2026.*
- (7) *The settlement pattern provides for a diverse range of housing to meet changing demographic needs, and creates opportunities for more affordable living close to services and facilities. These housing options will help stimulate centres and community focal points, and assist in making the most efficient use of infrastructure and other public investment.*
- (8) *Higher density development is focussed around centres and public transport nodes and corridors. Increased residential densities will be encouraged in the*

urban infill and intensification areas in a range of dwelling types that are located to make public transport, walking and cycling more convenient, safe and viable.

- (9) *The design of the built environment (including buildings, streets and public spaces) is consistent with the existing or desired character of the area and buildings are oriented to the street and public places. Development is undertaken in accordance with urban design principles.*
- (10) *Centres provide for employment, retail, accommodation, entertainment and community services that meet the needs of residential communities that are well connected by the public transport network.*
- (11) *Centres are based on a hierarchy that ensures the scale and form of development is appropriate to the location, and that the centres' roles and functions are appropriate within the wider planning scheme area.*
- (12) *Centres are consolidated within designated areas, and expansion does not occur into adjoining residential areas.*
- (13) *An integrated and high quality public open space network caters for the needs of residents, particularly in and around centres and higher density areas.*
- (14) *The continuing viability of areas that provide for economic development such as industrial and specific use areas is protected from incompatible land uses.*
- (15) *Limited rural residential areas provide for semi-rural living; however, these areas do not expand beyond the areas designated.*
- (16) *The productive capacity of all rural land is protected.*
- (17) *Rural lands and natural areas are maintained for their rural and landscape values.*
- (18) *The scenic and environmental values of areas identified as nature conservation or natural corridor link are protected.*
- (19) *The cultural heritage of Rockhampton is conserved for present and future communities.*
- (20) *Development responds to natural hazards (flooding, bushfire, steep land, storm tide inundation and coastal erosion) by avoiding, mitigating, adapting and building resilience to natural hazards in areas mapped as being susceptible.*

Does not comply – The proposed development, while being located in the Urban Area where development is contemplated, presents conflicts with several of the strategic outcomes sought for the Settlement Pattern theme. The proposed development represents the encroachment of centre activities into a residential area. A recent centres study commissioned by Council did not identify the need for any additional centre zoned land on the southern side of High Street; however, did recommend the extension of the centre zone to existing commercial development along part of the northern side of High Street. Despite these high-level conflicts, regard to relevant matters identified in the Statement of Reasons is considered to outweigh the conflicts.

(ii) **Natural environment and hazards**

- (1) *The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area's biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.*
- (2) *Development does not create unsustainable impacts on:*
 - (a) *the natural functioning of floodplains;*

Complies – The proposed development advances and does not compromise the strategic outcomes for the Access and Mobility theme. A Traffic Impact Assessment submitted by the Applicant and an assessment by Council's development engineering unit demonstrates the proposed development will not compromise the safety or efficiency of the local road network, subject to compliance with recommended conditions of approval.

(v) **Infrastructure and services**

(1) *Infrastructure and services are planned and delivered in a logical and cost efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:*

(a) *efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;*

(b) *the long-term needs of the community, industry and business are met; and*

(c) *the desired standards of service in Part 4 — Local government infrastructure plan are achieved.*

Complies – The proposed development advances and does not compromise the strategic outcomes sought for the Infrastructure and Services theme.

(vi) **Natural resources and economic development**

(1) *The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.*

(2) *The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).*

(3) *The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.*

(4) *Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including watercourses, water bodies and groundwater.*

(5) *Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.*

Complies – The proposed development advances and does not compromise the strategic outcomes sought for the Natural Resources and Economic Development theme. The Applicant has demonstrated the proposed development will not undermine the role and function of existing centres.

The performance assessment of the proposal demonstrates that the development will in part compromise the *Rockhampton Region Planning Scheme 2015* strategic outcomes in relation to the Settlement Pattern theme; however, regard to the relevant matters outlined in the Statement of Reasons contained in Recommendation A of this report is considered to outweigh those conflicts.

Low Density Residential Zone

The subject site is situated within the Low Density Residential Zone under the *Rockhampton Region Planning Scheme 2015*. The purpose of the Low Density Residential Zone identifies that: -

1. *The purpose of the low density residential zone code is to:*
 - (a) *Provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;*
 - (b) *Provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;*
 - (c) *Minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and*
 - (d) *Ensure that development within the zone has appropriate standards of infrastructure and essential services.*
2. *The purposes of the zone will be achieved through the following overall outcomes:*
 - (a) *Development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally low-rise, 1-2 storey built form and low density character with small scale, detached buildings;*
 - (b) *Residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);*
 - (c) *Low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;*
 - (d) *Short-term accommodations only occurs where it:*
 - i. *Is established in an existing dwelling;*
 - ii. *Does not adversely impact on the amenity of the surrounding residential area;*
 - iii. *Maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and*
 - iv. *Is limited in scale and duration;*

Note—Use of a dwelling for short-term accommodation in this context may take the form of short term rental, Airbnb or similar accommodation. Purpose built commercially run short-term accommodation facilities are not intended. Short-term accommodation does not include a party house, which is separately defined.

- (e) *Non-residential uses only occur within the zone where they:*
 - i. *Do not compromise the residential character and existing amenity of the surrounding area;*
 - ii. *Are small-scale and consistent with the surrounding urban form;*
 - iii. *Primarily function to service the needs of the immediate local residential community;*
 - iv. *Do not detract from the role and function of centres;*
 - v. *Do not result in the expansion of a centre zone; and*

- vi. Have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;*
- (f) No expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;*
- (g) Neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;*
- (h) New proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;*

Editor's note—To remove any doubt specialised centres are a centre zones category.

- (i) Development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;*
- (j) Development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;*
- (k) New residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;*
- (l) New residential developments are located and integrated with existing neighbourhoods;*
- (m) Development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;*
- (n) Development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;*
- (o) Development is serviced by infrastructure that is commensurate with the needs of the use; and*
- (p) The establishment of one (1) precinct within the zone where particular requirements are identified:*
- (i) Fitzroy River accommodation precinct; and*
- (ii) Residential stables precinct.*

This application is not consistent with the purpose of the Zone given conflicts with aspects of overall outcome (e). Overall outcome (e) is generally reflected in Performance Outcome 16 of the Code, which has been separately addressed in the Statement of Reasons in Recommendation A of this report. Despite the conflicts with the purpose of the Zone Code, regard to relevant matters is considered to outweigh this conflict.

Rockhampton Regional Planning Scheme Codes

The following codes are applicable to this application:

- Low Density Residential Zone Code
- Access, Parking and Transport Code
- Landscape code
- Stormwater Management Code
- Water and Sewer Code

- Waste Management Code
- Advertising Devices Code
- Airport Environs Overlay Code

An assessment has been made against the requirements of the abovementioned codes and the proposed development generally complies with the relevant Performance Outcomes and Acceptable Outcomes. Where the application is in conflict with the Acceptable Outcomes and is not otherwise conditioned to comply, an assessment of the Performance Outcomes has been undertaken. Refer to the Statement of Reasons contained in **Recommendation A** for an assessment.

Based on a performance assessment of the abovementioned codes, it is determined that the proposal is acceptable and generally complies with the relevant Performance Outcomes and where there is deviation from the codes, weight given to relevant matters favours Council to exercise its discretion and approve the proposed development.

INFRASTRUCTURE CHARGES

Charges Resolution (No. 1) of 2022 for non-residential development applies to the application. The Infrastructure Charges are as follows:

Column 1 Use Schedule	Column 1A Use	Column 2 Adopted Infrastructure Charge for non-residential development (\$)		Column 3 Calculated Charge
		(a) per m ² of Gross Floor Area (GFA)	(b) per m ² Impervious to Stormwater	
Commercial (retail)	Shop	197.20	10.95	\$50,757.30 (excluding impervious area charge)
Essential Services	Health Care Service	153.40	10.95	\$134,254.55 (including impervious area charge for whole developmen t)
Total				\$185,011.85
Less Credit				\$92,032.95
TOTAL CHARGE				\$ 92,978.90

This is based on the following calculations:

- A charge of \$50,757.30 for Gross Floor Area for the 'Shop' being 257.39 square metres (pharmacy) and charge of \$109,740.80 for Gross Floor Area for the 'Health Care Services' (physiotherapy, medical consultant, allied health, training room and lunchroom) being 715.39 square metres;
- A charge of \$24,513.75 for Impervious Area being 2,238.7 square metres (roof area, hardstand areas, access, and parking areas); and
- An Infrastructure Credit of \$92,032.95 applicable for the existing three (3) lots.

In accordance with Development Incentives Policy, section 3.5 of the Charges Resolution (No. 1) of 2022, the levied charge will be 85 per cent of the amount calculated.

Therefore, a total charge of \$79,032.10 is payable and will be reflected in an Infrastructure Charges Notice for the development.

CONSULTATION

The proposal was the subject of public notification between 7 July and 28 July 2022 in accordance with the requirements of the *Planning Act 2016* and the Development Assessment Rules, and no submissions were received.

CONCLUSION

While the proposed development presents conflicts with elements of the Zone Code and Strategic Framework, regard to relevant matters outlined in this report favours Council exercising its discretion and supporting the proposed development. Furthermore, the proposal generally complies with the remainder of the provisions included in the applicable codes. The proposal is therefore, recommended for approval in accordance with the approved plans and subject to the conditions outlined in the recommendation.

**D/171-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR HEALTH CARE
SERVICES AND SHOP (PHARMACY)
AND OPERATIONAL WORKS FOR
ADVERTISING DEVICE**

Locality Plan

Meeting Date: 23 August 2022

Attachment No: 1

D/171-2021 - Locality Plan



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**D/171-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR HEALTH CARE
SERVICES AND SHOP (PHARMACY)
AND OPERATIONAL WORKS FOR
ADVERTISING DEVICE**

Site Plan and Floor Plan

Meeting Date: 23 August 2022

Attachment No: 2

**D/171-2021 - DEVELOPMENT
APPLICATION FOR A MATERIAL
CHANGE OF USE FOR HEALTH CARE
SERVICES AND SHOP (PHARMACY)
AND OPERATIONAL WORKS FOR
ADVERTISING DEVICE**

Elevation Plan

Meeting Date: 23 August 2022

Attachment No: 3

10.4 PROPOSED ANIMAL INSPECTION PROGRAM

File No:	11741
Attachments:	Nil
Authorising Officer:	Doug Scott - Manager Planning and Regulatory Services Alicia Cutler - General Manager Community Services
Author:	Jon Buckenham - Coordinator Local Laws

SUMMARY

This report presents an Animal Inspection Program for consideration by Council. Before Rockhampton Regional Council Officers undertake an inspection program, to monitor compliance with the Animal Management (Cats and Dogs) Act 2008, Rockhampton Regional Council Local Law 1 (Administration) 2011, and Rockhampton Regional Council Local Law 2 (Animal Management) 2011 the program must be approved by Council.

OFFICER'S RECOMMENDATION

THAT in accordance with the *Animal Management (Cats and Dogs) Act 2008* and *Local Government Act 2009*, Council approves a Selective Inspection Program for all properties within the Rockhampton Regional Council where a dog/s had been registered up to 31 August 2022 and Council has not received a renewal for that registration, to be undertaken between 3 October 2022 and 9 December 2022.

COMMENTARY

The *Animal Management (Cats and Dogs) Act 2008* ('The Act') places a mandatory requirement throughout Queensland for all dogs over the age of twelve weeks to be registered with the Local Authority in which the dog(s) reside.

Dog registration identifies the animal owner and their key contact information together with a description of the registered dog on the corporate animal management system. In the event the dog escapes, gets lost or wanders, identification (registration tag and microchip) is vital to ensuring prompt reunification with the owner. Registration also assists to identify the number and type of dogs residing within the Rockhampton Regional Council and their demographic location.

Under Section 113 of the *Act* and Section 134 of the *Local Government Act 2009*, Council may, by resolution approve a program (an approved inspection program) under which an authorised person may enter a place to monitor compliance with, or aspect of, the *Act* and local government acts.

It is proposed to undertake a selective inspection program of all properties within the Rockhampton Regional Council area where a dog/s had been registered up to 31 August 2022, and Council has not received a renewal for that registration. The program is to be undertaken between 3 October 2022 and 9 December 2022 by visiting, and if necessary entering yards of premises to monitor compliance with the *Act* with regards to registration and microchipping requirements, *Rockhampton Regional Council Local Law 1 (Administration) 2011*, and *Rockhampton Regional Council Local Law 2 (Animal Management) 2011* concerning the keeping of animals (dogs) requirements including the number of animals kept.

Notice is required to be given of the proposed inspection program at least 14 days, but no more than 28 days before an inspection program commences. Notice of the program must be published in a newspaper circulating generally in the local government's area and must be placed on Council's website.

If non-compliances are identified, compliance notices and/or infringement notices may be issued.

BACKGROUND

Council regularly undertakes animal inspection programs to ensure compliance with the *Animal Management (Cats and Dogs) Act 2008*, *Rockhampton Regional Council Local Law 1 (Administration) 2011*, and *Rockhampton Regional Council Local Law 2 (Animal Management) 2011*.

PREVIOUS DECISIONS

On 10 August 2021, Council resolved to undertake a selective inspection program for animals registration not renewed in the 2021/2022 period.

BUDGET IMPLICATIONS

The program has been accounted for in the 2022/2023 Local Laws operational budget.

LEGISLATIVE CONTEXT

The Local Government is responsible for the administration of the *Animal Management (Cats and Dogs) Act 2008* (the Act) and Council's Local Laws.

LEGAL IMPLICATIONS

There are no legal implications for Council should a selective inspection program be approved as it is a legislative power held by Council.

STAFFING IMPLICATIONS

Local Laws will utilise current staff to undertake the program.

RISK ASSESSMENT

The risk of undertaking the program for the community and staff is low although the risk of not undertaking the program is moderate as Council is not administering the *Animal Management (Cats and Dogs) Act 2008* (the Act) and Council's Local Laws to the extend of community expectations.

CORPORATE/OPERATIONAL PLAN

The selective inspection programs supports Goal 2.2 of the Operational Plan, "We support our communities through our activities and programs".

CONCLUSION

This report presents to Council a Selective Inspection Program for consideration and approval. The implementation of this Selective Inspection Program assists Council to fulfill its responsibilities under the *Animal Management (Cats and Dogs) Act 2008* and *Local Government Act 2009* by allowing the Council to monitor compliance with the requirements of the *Animal Management (Cats and Dogs) Act 2008*, *Rockhampton Regional Council Local Law 1 (Administration) 2011*, and *Rockhampton Regional Council Local Law 2 (Animal Management) 2011*.

10.5 5TH AUSTRALIAN OPEN (JUNIOR GOLF) CHAMPIONSHIP

File No:	12535
Attachments:	Nil
Authorising Officer:	Alicia Cutler - General Manager Community Services
Author:	Kerri Dorman - Administration Supervisor
Previous Items:	10.2 - 5th Australian Open (Junior Golf) Championship - Ordinary Council - 09 Aug 2022 9:00am

SUMMARY

The Rockhampton Golf Club will be venue host to the 5th Australian Open to be held on 27th and 28th September 2022.

OFFICER'S RECOMMENDATION

THAT Council provide support to the Rockhampton Golf Club (Junior Club Sub-Committee) towards the 5th Australian Open (Junior Golf) Championship in the amount of \$10,000.

COMMENTARY

The Rockhampton Golf Club (Junior Club Sub-Committee) will be the venue host to the 5th Australian Open (Junior Golf) organised by the US Kids Golf Foundation to be held 27th to 28th September 2022.

The Club will be responsible for the preparation and presentation of the venue and course.

The event is expected to attract at least 100 Junior Golfers with approximately 80% of players and their families requiring accommodation during the 2 day event.

The Community Assistance Program has been under review and the final policy development is due to be presented to Communities committee mid August. This application due to timing could not wait for the first round of applications to be called.

The maximum of \$10,000 recommended fits with the proposed Regional Event Category.

BACKGROUND

The US Kids Golf Foundation have run events over many years and provides an opportunity just not for young local golfers but also golfers throughout the State, Interstate and if COVID permits, International players.

There are no other events similar to this that provides an opportunity for young golfers to compete in a multi-day championship event and qualify for US Kids Golf Priority Status. By earning different levels of Priority Status, players can qualify for other US Kids Golf Major Championships including Regional, International, World and World Teen Championships.

PREVIOUS DECISIONS

At Council Meeting held on 9th August 2022 it was resolved to lay the matter on the table pending further information being brought back to a future meeting.

Since 2013/14 financial year, the Club have been successful in securing sponsorship totaling \$23,750.

BUDGET IMPLICATIONS

The Club are seeking financial assistance to the value of \$21,269 from their \$34,369 event budget. However, should Council not be able to meet the full request, the Club have identified the main support they require is with the preparation and presentation of the golf course at an elite level.

It is noted the Club have identified course preparation costs is at a cost of \$10,212.

LEGISLATIVE CONTEXT

Nil

LEGAL IMPLICATIONS

Nil

STAFFING IMPLICATIONS

Nil

RISK ASSESSMENT

Nil

CONCLUSION

Council consider providing support to Rockhampton Golf Club (Junior Club Sub-Committee) for the 5th Annual Australian Open (Junior Golf) Championship in the amount of \$10,000.

10.6 SPONSORSHIP OF 2022 LAND FORCES AUSTRALIA INDO ASIA PACIFIC INTERNATIONAL LAND DEFENCE EXPOSITION

File No:	11715
Attachments:	1. Land Forces 2022 Letter of Offer ↓
Authorising Officer:	Greg Bowden - Executive Manager Advance Rockhampton
Author:	Sue O'Meara - PA to Executive Manager Advance Rockhampton

SUMMARY

A request for sponsorship for the 2022 Land Forces Exposition, Official VIP Luncheon Event and Showcase Pod is presented to Council for consideration.

OFFICER'S RECOMMENDATION

THAT Council approves the allocation of \$8,000 (inclusive of GST) in funding for sponsorship of the 2022 Land Forces Exposition.

COMMENTARY

The 2022 International Land Forces exposition is supported by the Queensland Government and held yearly in Brisbane. Queensland has Australia's largest concentration of defence facilities and personnel, with a world-class industry supply chain – supported by top global suppliers and innovative local small-to-medium enterprises.

With a strong defence industry base and capabilities in a range of areas, from heavy vehicle manufacturing and upgrades, through to autonomous systems, hypersonics and cyber security, Queensland is positioned at the front line of the defence industry in Australia and we are a growing centre for innovative science and technology.

The expo will help to showcase what Rockhampton and Central Queensland has to offer for readiness in providing a real alternative for the ADF to position troops, increase training, increase industry capability and source supplies from Central Queensland in the future.

Historically, LAND FORCES 2021 statistics included:

- 12,766 attendances from industry, government and defence over its three days
- 718 participating exhibitor companies
- 26 conferences, symposia and seminars

The opportunity to showcase Rockhampton as part of this exposition is an important step in keeping Rockhampton on the Defence radar of all levels of government, the ADF and from Defence supply and capability perspectives.

BACKGROUND

Following on from the preparation and delivery of two key documents in 2021 and 2022, this sponsorship provides a platform to further market and communicate these concepts to key decision makers:

- Australian Defence Force – Storage and Maintenance Opportunities Central Queensland (Advance Rockhampton 2021)
- Central Queensland's Role in Enabling the ADF to Shape, Deter and Respond (CQROC 2022)

PREVIOUS DECISIONS

There are no previous decisions of Council relevant to the recommendation under consideration.

BUDGET IMPLICATIONS

Council has approved allocation of the financial component of sponsorship of this event in its 2022/23 Operational Budget (Advance Rockhampton).

LEGISLATIVE CONTEXT

There are no legislative implications relevant to this matter.

LEGAL IMPLICATIONS

There are no relevant legal implications for consideration.

STAFFING IMPLICATIONS

There will be no implications to Council current resourcing levels if Council adopts the proposed recommendation.

RISK ASSESSMENT

There are no significant risks identified relevant to the recommendation under consideration.

CORPORATE/OPERATIONAL PLAN

Corporate Plan 2022-2027

Goal 3.2 Our work attracts business and industry to our region.

Operational Plan 2022-2023

3.2.1 We support projects that strengthen the region's economic development.

3.2.3 We advocate for the region with all levels of government and support non-council projects that benefit the region.

CONCLUSION

On assessment of the request for sponsorship it is recommended Council approve the allocation for sponsorship outlined in the report.

**SPONSORSHIP OF 2022 LAND
FORCES AUSTRALIA INDO ASIA
PACIFIC INTERNATIONAL LAND
DEFENCE EXPOSITION**

Land Forces 2022 Letter of Offer

Meeting Date: 23 August 2022

Attachment No: 1



15 August 2022

CITY OF ROCKHAMPTON - ADVANCE ROCKHAMPTON

Greg Bowden
Executive Manager Advance Rockhampton
220 Quay Street
PO Box 1860
ROCKHAMPTON QLD 4700
Australia

Dear Greg,

LAND FORCES 2022 – OFFICIAL VIP LUNCHEON (DAY 2)

This letter is to confirm details of the **LAND FORCES 2022 Official VIP Luncheon Sponsorship Package (Day 2 – Wednesday 5th October)** offered to **ADVANCE ROCKHAMPTON**.

The Sponsor package contains the following sponsorship benefits:

1. Acknowledged as sponsor of the LAND FORCES 2022 Official VIP Luncheon
2. Sponsor signage (A4 folded to A5) on serving tables during the sponsored session.
3. Invitation for three guests to the Luncheon
4. One SME Showcase Pod 2.5m x 1.5m (3.75 square metres).
 - All SME Showcase Pods include standard colour carpet, back and side walls, counter with lockable cupboard, two stools, brochure stand, lighting, one 10 amp power outlet and a fascia displaying the exhibiting company name.
5. The sponsorship will be acknowledged in the Official Event Program.
6. The sponsorship will be acknowledged in the Official Event Guide.
7. Company logo and hyperlink will be placed on the Event website.
8. Company logo to be displayed on the sponsors' board to be placed in various locations within the exhibition halls.

The sponsorship fee payable by each Industry Sponsor for the **LAND FORCES 2022 Official VIP Luncheon Sponsorship Package (Wednesday 5th October)** is eight thousand dollars (\$8,000.00) including GST. This sponsorship fee is payable to AMDA Foundation Limited within 30 days of invoice and is non-refundable and non-cancellable.



PO Box 4095 Geelong Victoria 3220 Australia Telephone +61 (0) 3 5282 0500 Email expo@amda.com.au Website www.landforces.com.au

Australian Business Number: 65 091 147 787

Appointment as a Sponsor and acceptance of this Sponsorship package is subject to the General Conditions of Exhibition noted on your original *LAND FORCES 2022* order form attached hereto, and for this purpose the term "Exhibitor" therein shall be deemed to include **ADVANCE ROCKHAMPTON**. If in the unfortunate event that LAND FORCES 2022 was cancelled your sponsorship benefits would be carried through to the next edition.

To signify your agreement to, and acceptance of, this offer on the foregoing terms and conditions, please sign the attached copy of this letter and retain one copy for your records.

We look forward to having you on board as a Sponsor and to working with you to maximise your benefit from your investment.

Yours sincerely



Jason Thomas
Sales Manager
AMDA Foundation Limited
PO Box 4095
GEELONG VIC 3220
(03) 5282 0500

ADVANCE ROCKHAMPTON hereby accepts the foregoing Sponsorship package offer, agrees to pay the said sponsorship fee of \$8,000.00 (including GST) to AMDA Foundation Limited within 30 days of invoice and agrees to the terms and conditions set out above.

----- Signature

----- Name (printed)

----- Position

----- Date



PO Box 4095 Geelong Victoria 3220 Australia Telephone +61 (0) 3 5282 0500 Email expo@amda.com.au Website www.landforces.com.au
Australian Business Number 63 091 147 267

10.7 SPONSORSHIP OPPORTUNITY - INNOVATION AND ENTREPRENEURSHIP COMMUNITY

File No:	12472
Attachments:	1. Innovation and Entrepreneurship Community - Sponsorship Proposal (confidential)
Authorising Officer:	Ross Cheesman - Deputy Chief Executive Officer
Author:	Megan Younger - Manager Corporate and Technology Services

SUMMARY

Previous members of the SmartHub are proposing to establish a not-for-profit group to support start-ups and foster innovation in the Rockhampton Region. The group have requested support in the form of in-kind sponsorship by provision of the SmartHub's intellectual property, marketing collateral and technology and other equipment.

OFFICER'S RECOMMENDATION

1. THAT Council approves the in-kind sponsorship request (excluding members contact information & the SmartHub mailing list database) subject to the establishment of a not-for profit legal entity.
2. THAT Council authorises the Chief Executive Officer (Manager Corporate & Technology Services) to negotiate a Deed of Transfer (including sub-licencing requirements for the intellectual property) between the parties with the Deed to be executed by Council's delegated officer.

COMMENTARY

A previous member of the SmartHub has recently established a boutique coworking space. From this coworking space they are proposing to establish a not-for-profit group focused on supporting startups and fostering innovation in the Rockhampton Region. The group will be formed by previous SmartHub members and mentors who have both benefitted from the SmartHub and also been involved in the successful delivery of programs.

A proposal has been submitted on behalf of the group seeking support in the form of in-kind sponsorship by provision of the SmartHub's intellectual property (including the name and logo), marketing collateral and technology and other equipment. A copy of the proposal is included in attachment 1.

The SmartHub has several established Social Media pages, the pages to be transferred include Facebook, Instagram, Twitter and YouTube.

The request includes membership contact details and mailing list information, however as this includes personal information Council would not provide this information to a third party without consent, instead we would offer to distribute information regarding the not-for-profit group to the existing SmartHub mailing list.

PREVIOUS DECISIONS

At the Council meeting held on the 14 June, Council resolved to cease the operations of the SmartHub on Friday, 5 August 2022.

BUDGET IMPLICATIONS

There are no budget implications as these items were purchased/funded for the SmartHub operations.

LEGISLATIVE CONTEXT

The disposal of non-current assets will be consistent with the requirements of the Local Government Regulation and Council's Asset Disposal Policy.

LEGAL IMPLICATIONS

A formal Deed of Transfer will be prepared, with advice sought from Council's in-house legal to address matters relating to the transfer of materials and equipment, and the sub-licensing of intellectual property.

STAFFING IMPLICATIONS

Nil

RISK ASSESSMENT

There is potential for public confusion and/or reputational risk to Council due to the previous association of the SmartHub with Council. This would be managed (where possible) through the Deed of Transfer.

CORPORATE/OPERATIONAL PLAN

Corporate Plan Goal 1.2 – We are respected and recognised for our engagement with the community and our contributions to the Region.

CONCLUSION

Supporting this sponsorship proposal will provide the not-for-profit group with necessary resources to establish and deliver mentoring programs to start-ups and foster innovation in the Rockhampton region.

10.8 COUNCIL DECISION MAKING STRUCTURE REVIEW

File No:	10072
Attachments:	1. Schedule of Meetings - August to December 2022 ↓
Authorising Officer:	Ross Cheesman - Acting Chief Executive Officer
Author:	Ross Cheesman - Acting Chief Executive Officer

SUMMARY

This report is presented as resolved by Council on 1 February 2022 to review the implementation of its revised Decision Making Framework.

OFFICER'S RECOMMENDATION

THAT Council

- i. Continue with the current Committee Structure; and
- ii. Adopt the attached meeting schedule for 2022.

COMMENTARY

At its meeting on the 1 February 2022 Council resolved to apply a revised format to conduct its decision making. This involved moving to a two Committee structure with all Councillors as members, chaired by the Mayor. Both Committees have full delegation. It was further resolved that Council review progress of this new structure in July 2022

Based on feedback received this report provides a recommendation for the current Decision Making Structure to continue with a slight change to the meeting schedule as attached.

It is proposed that time will be set aside in a Briefing Session to allow an in-depth review of the monthly Corporate Performance data.

PREVIOUS DECISIONS

At a Special Meeting on 1 February 2022 Council resolved to adopt a new Committee structure as detailed in this report with a review in July 2022.

BUDGET IMPLICATIONS

Nil if resolved as recommended.

LEGISLATIVE CONTEXT

The *Local Government Regulation 2012* stipulates the requirements of Council meetings and Committees. The current practice and this recommendation comply with this legislation.

LEGAL IMPLICATIONS

Nil

STAFFING IMPLICATIONS

Nil

RISK ASSESSMENT

Nil

CORPORATE/OPERATIONAL PLAN

Operational Plan 1.1.3. We have effective governance with accountable decision-making practices

CONCLUSION

It is recommended that Council continue with the current Decision Making Structure including the Committee format.

COUNCIL DECISION MAKING STRUCTURE REVIEW

Schedule of Meetings – August to December 2022

Meeting Date: 23 August 2022

Attachment No: 1



Councillor Meeting Schedule

Aug 2022

Monday	Tuesday	Wednesday	Thursday	Friday
1	2 9am – 3pm BRIEFING SESSION	3	4	5
8	9 9am COUNCIL MEETING	10	11	12
15	16 9am – 3pm COMMITTEE MEETINGS Infrastructure Communities	17	18	19
22	23 9am - 3pm COUNCIL MEETING + Briefing Session	24	25	26
29	30 9am – 3pm BRIEFING SESSION	31		

As at 1 June 2022



Councillor Meeting Schedule

Sep 2022

Monday	Tuesday	Wednesday	Thursday	Friday
			1	2
5	9am – 3pm INFRASTRUCTURE Committee Meeting + Briefing Session	7	8	9
12	9am - 3pm COUNCIL MEETING + Briefing Session	14	15	16
19	9am – 3pm COMMUNITIES Committee Meeting + Briefing Session	21	22	23
26	9am - 3pm COUNCIL MEETING + Briefing Session	28	29	30

As at 1 June 2022



Councillor Meeting Schedule

Oct 2022

Monday	Tuesday	Wednesday	Thursday	Friday
3 QUEEN'S BIRTHDAY PUBLIC HOLIDAY	4 9am – 3pm INFRASTRUCTURE Committee Meeting + Briefing Session	5	6	7
10	11 9am - 3pm COUNCIL MEETING + Briefing Session	12	13	14
17	18 9am – 3pm COMMUNITIES Committee Meeting + Briefing Session	19	20	21
24	25 9am - 3pm COUNCIL MEETING + Briefing Session	26	27	28
31				

As at 1 June 2022



Councillor Meeting Schedule

Nov 2022

Monday	Tuesday	Wednesday	Thursday	Friday
	1 9am – 3pm INFRASTRUCTURE Committee Meeting + Briefing Session	2	3	4
7	8 9am - 3pm COUNCIL MEETING + Briefing Session	9	10	11
14	15 9am – 3pm COMMUNITIES Committee Meeting + Briefing Session	16	17	18
21	22 9am - 3pm COUNCIL MEETING + Briefing Session	23	24	25
28	29	30		

As at 1 June 2022



Councillor Meeting Schedule

Dec 2022

Monday	Tuesday	Wednesday	Thursday	Friday
			1	2
5	6 9am – 3pm INFRASTRUCTURE Committee Meeting + Briefing Session	7	8	9
12	13 9am - 3pm COUNCIL MEETING + Briefing Session	14	15	16
19	20	21	22	23
26 BOXING DAY PUBLIC HOLIDAY	27 PUBLIC HOLIDAY for CHRISTMAS DAY	28	29	30

As at 1 June 2022

10.9 MOUNT MORGAN WATER PIPELINE PROJECT

File No: 14781
Attachments: 1. [MMWSSP Alignment Drawings](#)
Authorising Officer: Peter Kofod - General Manager Regional Services
Author: Andrew Collins - Manager Project Delivery

SUMMARY

The Business Case has been completed and planning and design has commenced for the construction of a potable water pipe from Gracemere to Mount Morgan. The alignment of the pipeline has been reassessed and a more efficient route has been determined to minimise the required approvals and improve constructability.

OFFICER'S RECOMMENDATION

THAT Council receives the revised alignment for the Mount Morgan Water Pipeline Project.

COMMENTARY

A business case was completed on the Mount Morgan Water Supply Security, which supported a potable water pipeline from Gracemere to Mount Morgan. The State Government has committed to provide \$40.4M funding toward the project construction. A further \$3.5M has been committed by the Federal Government. The Business Case identified an alignment utilising the existing rail trail up the Razor Back section of the route and partly through Mount Morgan.

Detailed design development has now commenced referencing this refined alignment.

The original alignment proposed through the rail corridor has now been further assessed and a number of construction concerns identified as follows:

1. Council do not own the corridor and there are some private holdings that we have to pass through.
2. Construction and in service road access would be problematic
3. There is a significant environment overlay on the Razor Back section
4. Sections of cuttings in the rail corridor are very narrow
5. Major Telstra infrastructure is laid on the same alignment.

A refined alignment has been assessed and confirmed which will basically use the existing road reserve from the Poison Creek intersection up the Razor Back Road and into Mount Morgan via Creek and Baree Street, under the Burnett Highway, up East Street extended, across the Dee River, into Black street and then finishing at the South Reservoir.

This route has the following advantages over the original proposal.

1. It is in Road reserve with a very small section of unallocated state land (USL) so approvals should be minimal.
2. It is a more direct route and saves about 1.5Kms in pipeline / construction.
3. It will allow a take off and the ability to directly charge the North Reservoir.
4. It will not require new construction and service access roads.

Further minor adjustments to the alignment will occur during construction to accommodate local constraints and services, constructability and safety priorities.

BACKGROUND

The Mount Morgan community is supplied potable water via an existing water treatment plant which sources its raw water from the No. 7 Dam located on the Dee River. The No. 7

dam is also used for recreational purposes for both local community members and visitors to the region.

A Regional Water Supply Security Assessment completed by the State in collaboration with Council in 2016 demonstrated that the Mount Morgan community receives a lower level of service in comparison to Rockhampton, The assessment concluded that the number 7 dam is inadequate in catchment area and capacity and this coupled with rainfall variability leads to critical drops in water storage levels. The assessment concluded that alternative sources should be investigated to enable water security for the township to be improved.

Emergency water supply conditions have been frequently experienced over the past 20 years. Since March 2021, the community has been in Level 6 (emergency supply) restrictions and are relying on a carted water supply from Gracemere. Council is currently supplying in the order of 0.6 ML/day through the carting arrangements. The Mount Morgan community's typical usage is in the order of 1.0 ML/day.

The cost to cart water up to Mount Morgan is approximately \$15,000 per day and to date has cost Council over \$5,000,000. This is considered an unsustainable burden for the ratepayers of Rockhampton Regional Council.

The Preliminary Evaluation and Final Business Case have confirmed a potable water pipeline from Gracemere to Mt Morgan is the most efficient and viable solution.

Both the State and Federal Governments have supported this and are providing funding assistance for a pipeline construction.

PREVIOUS DECISIONS

INFRASTRUCTURE COMMITTEE RESOLUTION 17 May 2022

THAT Council:

1. Receives the completed Business Case on the Mount Morgan Water Supply Security;
2. Actively seeks 100% funding support so the greater Mount Morgan Water Supply Security project can be completed; and
3. Resolves to commence the Mount Morgan Water Supply Security project by endorsing the design and construction of a 3.75ML New Reservoir and Pump Station at Lucas Street, Gracemere to be funded by Council.

Moved by: Mayor Williams

Seconded by: Councillor Kirkland

MOTION CARRIED UNANIMOUSLY

BUDGET IMPLICATIONS

The planned alignment should have a positive impact of the projects budget, with a more efficient and direct route.

LEGISLATIVE CONTEXT

Council is a registered water service provider under the *Water Supply (Safety and Reliability) Act* and has the overall responsibility for providing a safe and reliable supply of drinking water to the Mount Morgan community

LEGAL IMPLICATIONS

NA

STAFFING IMPLICATIONS

A Project Control Group has been established to provide strong project governance ensuring the Project is appropriately managed and delivered.

RISK ASSESSMENT

Risk based assessments will be carried out by the PCG at critical milestones associated with the project, to ensure all identified risks are appropriately managed.

CORPORATE/OPERATIONAL PLAN

The measures reference in this report clearly aligns and support the objectives outlined in the Rockhampton Regional Councils Corporate Plan 2022-2027 and detailed below:

“OBJECTIVES”

FRW will enhance the community's quality of life providing sustainable water, sewerage and environmental services, through innovation, technical expertise, business efficiency, excellence in customer service and commitment to the environment.

CONCLUSION

This report puts forward the planned Mount Morgan water pipeline alignment, which will allow the most cost-effective and efficient construction of the Mt Morgan Water Pipeline.

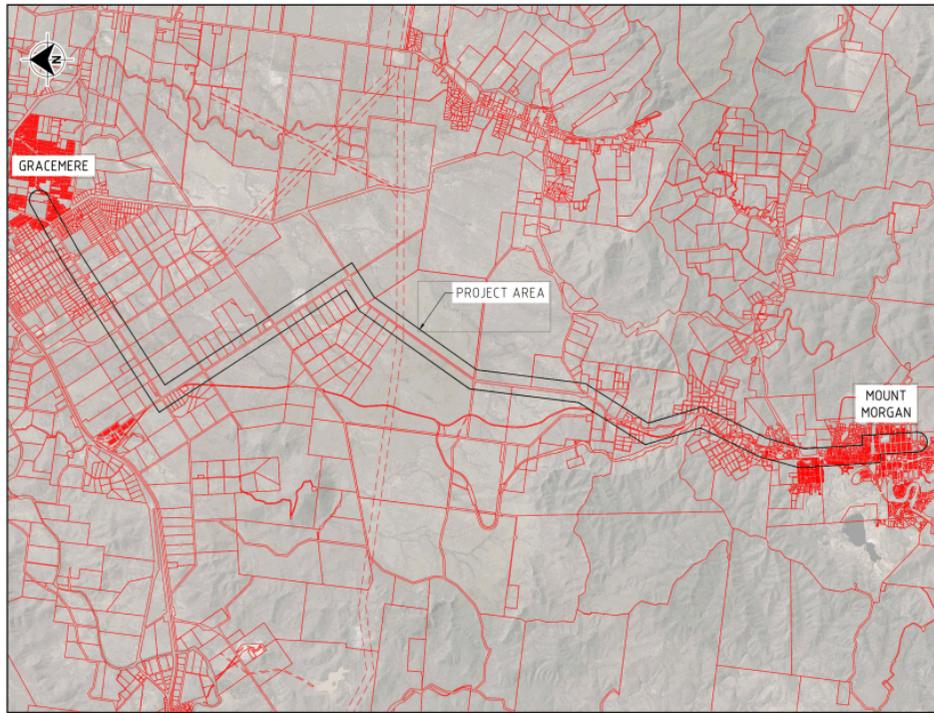
MOUNT MORGAN WATER PIPELINE PROJECT

MMWSSP Alignment Drawings

Meeting Date: 23 August 2022

Attachment No: 1

MOUNT MORGAN WATER SUPPLY SECURITY PROJECT POTABLE WATER PIPELINE AECOM JOB NO. 60671011



LOCALITY PLAN

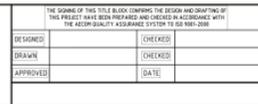
DRAWING INDEX

DRAWING NUMBER	REVISION	DATE	DRAWING DESCRIPTION
60671011-SHT-20-1000-C-0001	B	22/07/22	DRAWING INDEX AND LOCALITY PLAN
60671011-SHT-20-1000-C-0002	B	22/07/22	GENERAL ARRANGEMENT
60671011-SHT-20-1000-C-0003	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 1 OF 9)
60671011-SHT-20-1000-C-0004	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 2 OF 9)
60671011-SHT-20-1000-C-0005	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 3 OF 9)
60671011-SHT-20-1000-C-0006	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 4 OF 9)
60671011-SHT-20-1000-C-0007	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 5 OF 9)
60671011-SHT-20-1000-C-0008	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 6 OF 9)
60671011-SHT-20-1000-C-0009	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 7 OF 9)
60671011-SHT-20-1000-C-0010	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 8 OF 9)
60671011-SHT-20-1000-C-0011	B	22/07/22	PLAN VIEW - POTABLE PIPELINE ALIGNMENT (SHEET 9 OF 9)
60671011-SHT-20-1000-C-0012	B	22/07/22	LUCAS STREET RESERVOIR UPGRADE
60671011-SHT-20-1000-C-0013	B	22/07/22	MOONMERA BUFFER TANK AND PUMP STATION
60671011-SHT-20-1000-C-0014	B	22/07/22	DETAILS - AIR, SCOUR AND ZONE VALVING
60671011-SHT-20-1000-C-0015	B	22/07/22	DETAILS - ROAD ENVELOPE CROSSING

**NOT FOR CONSTRUCTION
FOR INFORMATION ONLY**

This drawing is confidential and shall only be used for the purposes of this project.				(Sign)
DESIGNED	CHECKED	DATE	BY	
DRAWN	CHECKED	DATE	BY	
APPROVED	CHECKED	DATE	BY	

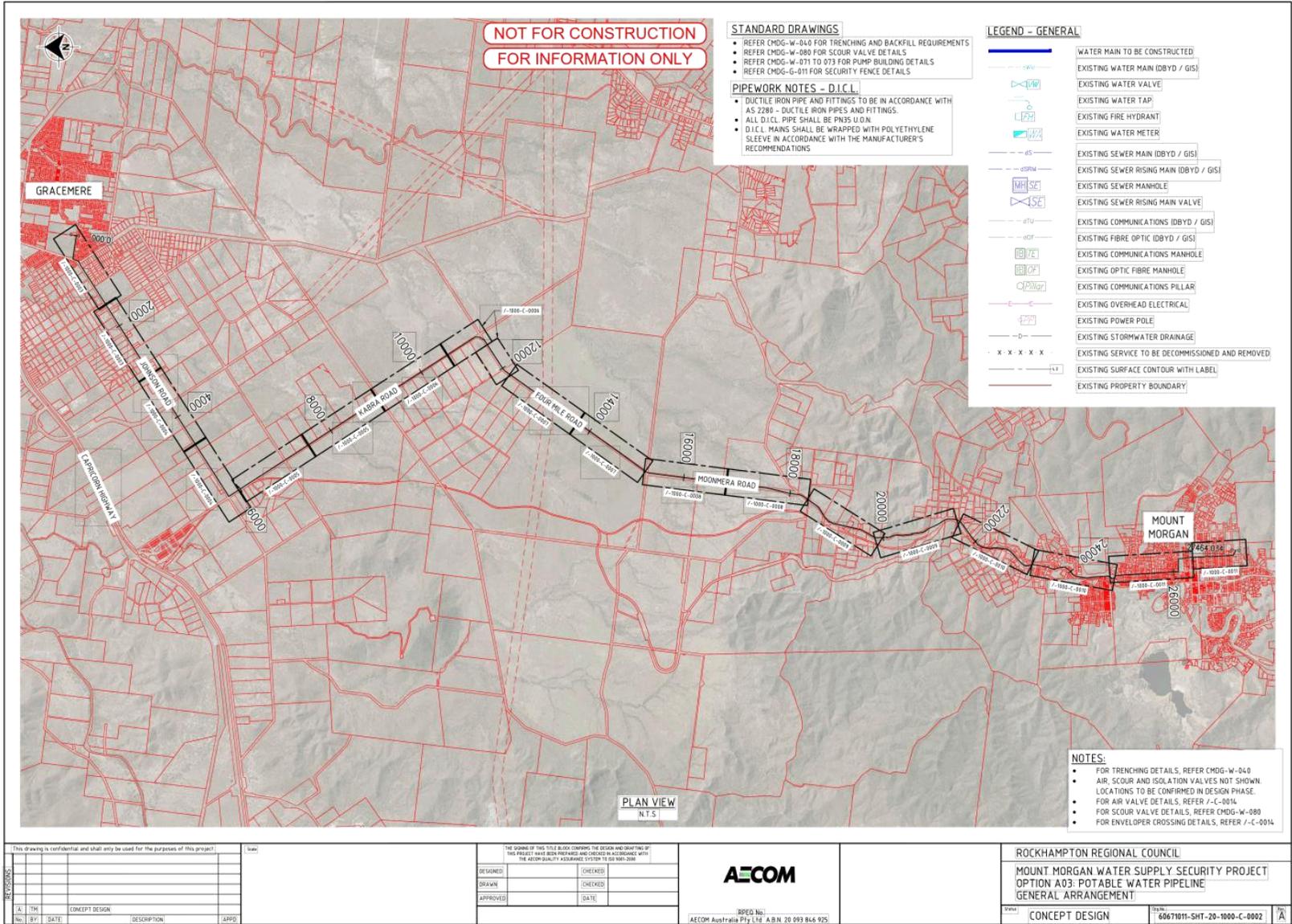
THE SQUARES OF THIS TITLE BLOCK CONFIRM THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM 15.0 (06/2016)			
DESIGNED	CHECKED	DATE	BY
DRAWN	CHECKED	DATE	BY
APPROVED	CHECKED	DATE	BY

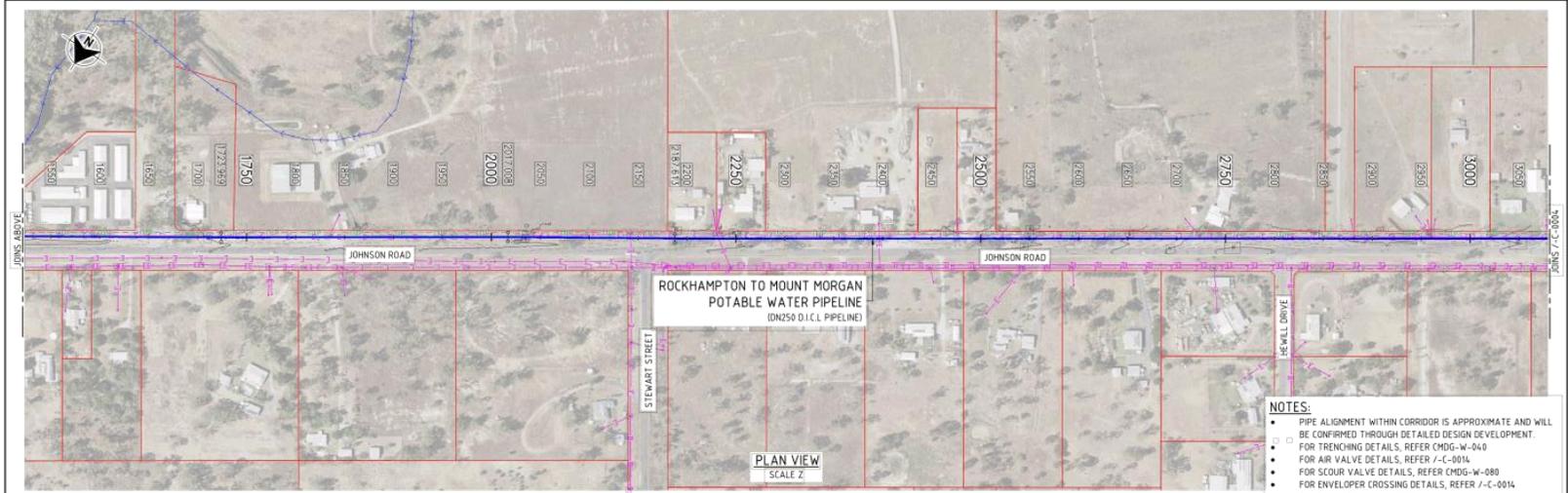
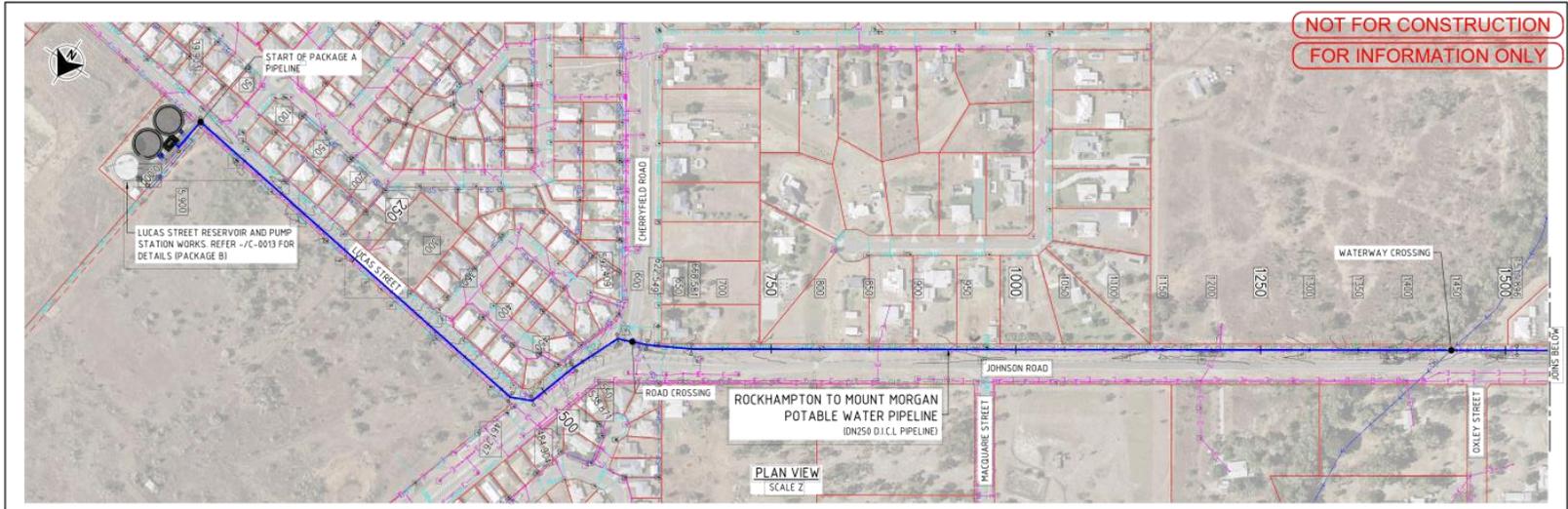


(REQ No.)
AECOM Australia Pty Ltd A.B.N. 20 093 846 925

PROJECT NO: 60671011-SHT-20-1000-C-0001

ROCKHAMPTON REGIONAL COUNCIL	
MOUNT MORGAN WATER SUPPLY SECURITY PROJECT POTABLE WATER PIPELINE DRAWING INDEX AND LOCALITY PLAN	
DATE: 22/07/22	BY: B





- NOTES:**
- PIPE ALIGNMENT WITHIN CORRIDOR IS APPROXIMATE AND WILL BE CONFIRMED THROUGH DETAILED DESIGN DEVELOPMENT.
 - FOR TRENCHING DETAILS, REFER CMDG-W-040
 - FOR AIR VALVE DETAILS, REFER J-C-0014
 - FOR SCOUR VALVE DETAILS, REFER CMDG-W-080
 - FOR ENVELOPER CROSSING DETAILS, REFER J-C-0014
 - CONTOUR INTERVAL = 250mm

This drawing is confidential and shall only be used for the purposes of this project.

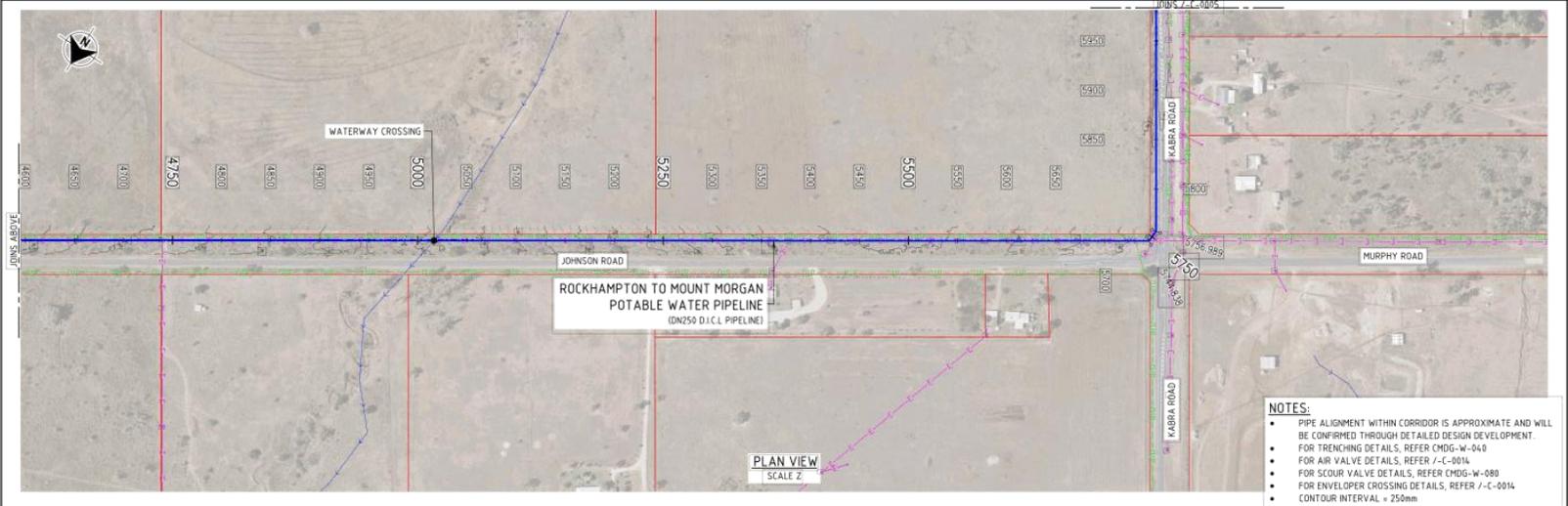
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1	TH	22/01/22	UPDATED CONCEPT DESIGN	(AU)
2	TH		CONCEPT DESIGN	

DESIGNED	CHECKED
DRAWN	CHECKED
APPROVED	DATE

THE SQUARES OF THIS TITLE BLOCK CONFIRM THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM 15.0 (06/2019)



ROCKHAMPTON REGIONAL COUNCIL	
MOUNT MORGAN WATER SUPPLY SECURITY PROJECT	
POTABLE WATER PIPELINE	
LAYOUT AND DETAILS (SHEET 1 OF 9)	
DATE:	60671011-SHT-20-1000-C-0003
PROJECT:	CONCEPT DESIGN



This drawing is confidential and shall only be used for the purposes of this project.

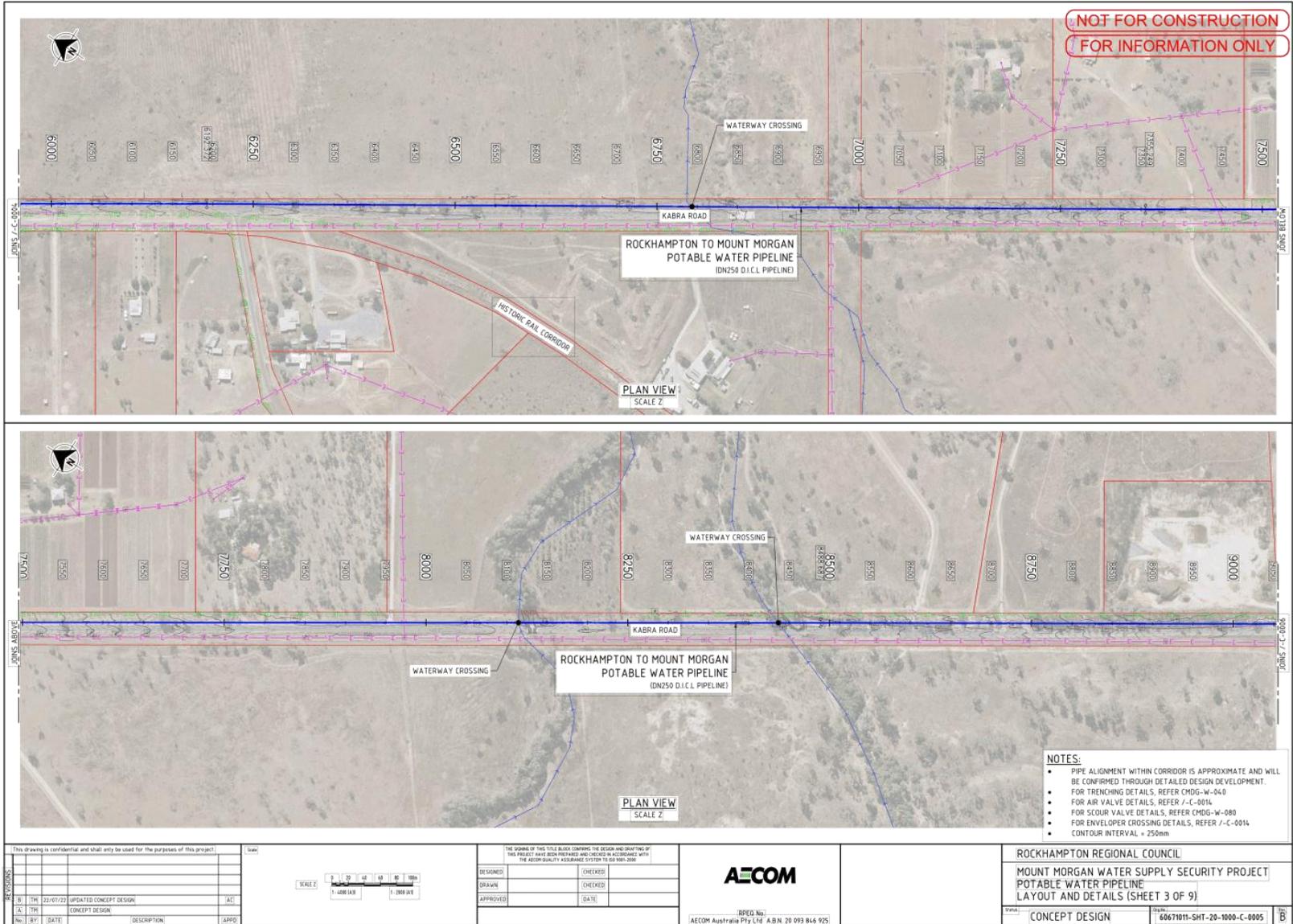
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2	TH		CONCEPT DESIGN	

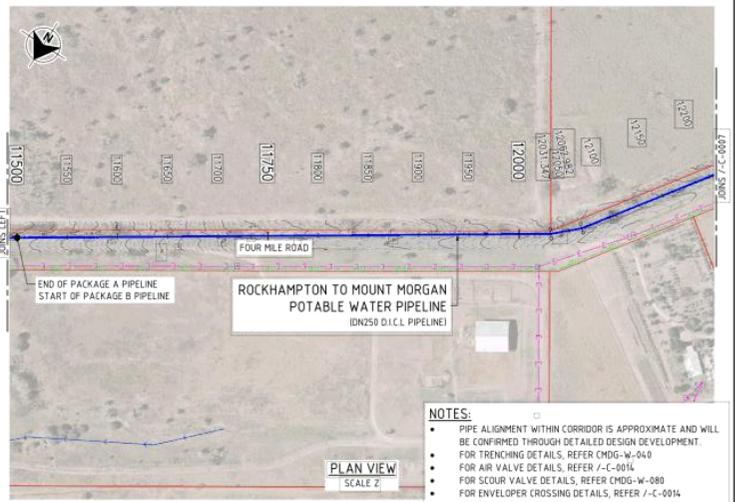
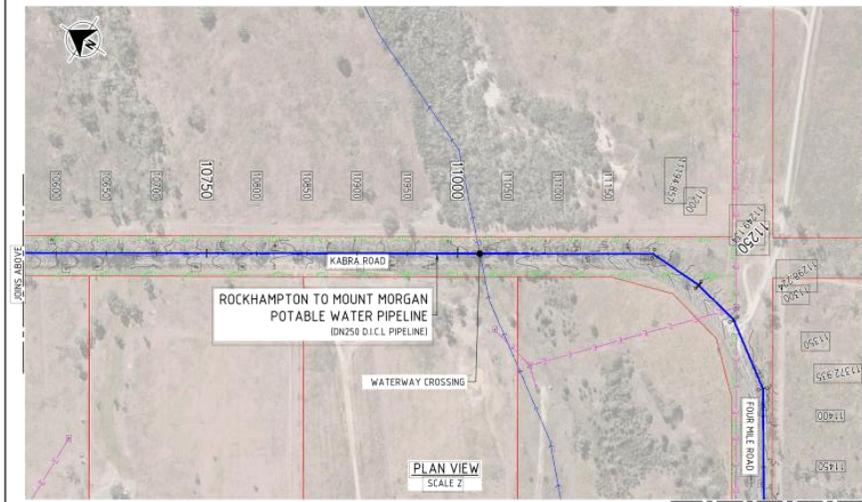
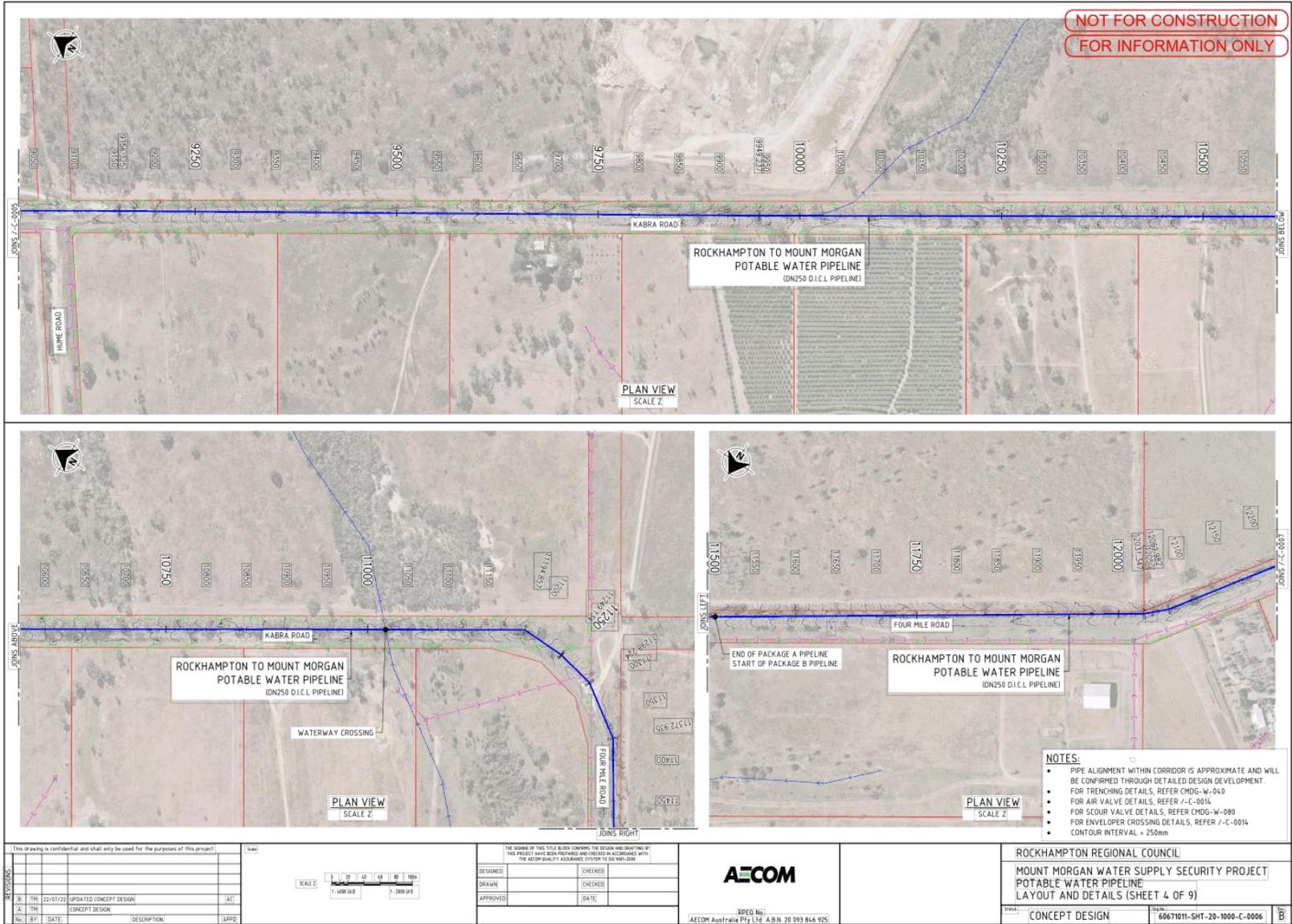
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APPROVED	DATE

THE SQUARES OF THIS TITLE BLOCK CONFIRM THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CREATED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM 15.0 (05/2019/2020)



ROCKHAMPTON REGIONAL COUNCIL	
MOUNT MORGAN WATER SUPPLY SECURITY PROJECT	
POTABLE WATER PIPELINE	
LAYOUT AND DETAILS (SHEET 2 OF 9)	
DATE: 22/07/22	SCALE: 1:1000
PROJECT: 60671011-SHT-20-1000-C-0004	REV: B

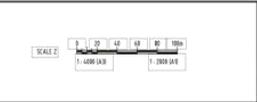




- NOTES:**
- PIPE ALIGNMENT WITHIN CORRIDOR IS APPROXIMATE AND WILL BE CONFIRMED THROUGH DETAILED DESIGN DEVELOPMENT.
 - FOR TRENCHING DETAILS, REFER CMDG-W-040
 - FOR AIR VALVE DETAILS, REFER J-C-001A
 - FOR SCOUR VALVE DETAILS, REFER CMDG-W-080
 - FOR ENVELOPER CROSSING DETAILS, REFER J-C-001A
 - CONTOUR INTERVAL = 250mm

This drawing is confidential and shall only be used for the purposes of this project.

REV	DATE	DESCRIPTION	APPROVED
0	17/01/22	CONCEPT DESIGN	
1	22/07/22	UPDATED CONCEPT DESIGN	



THE DRAWING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM 15.00 (REV 2016)

DESIGNED	CHECKED
DRAWN	CHECKED
APPROVED	DATE

AECOM

REQ No: 60671011-SHT-20-1000-C-0006
 AECOM Australia Pty Ltd A.B.N. 20 093 846 925

ROCKHAMPTON REGIONAL COUNCIL

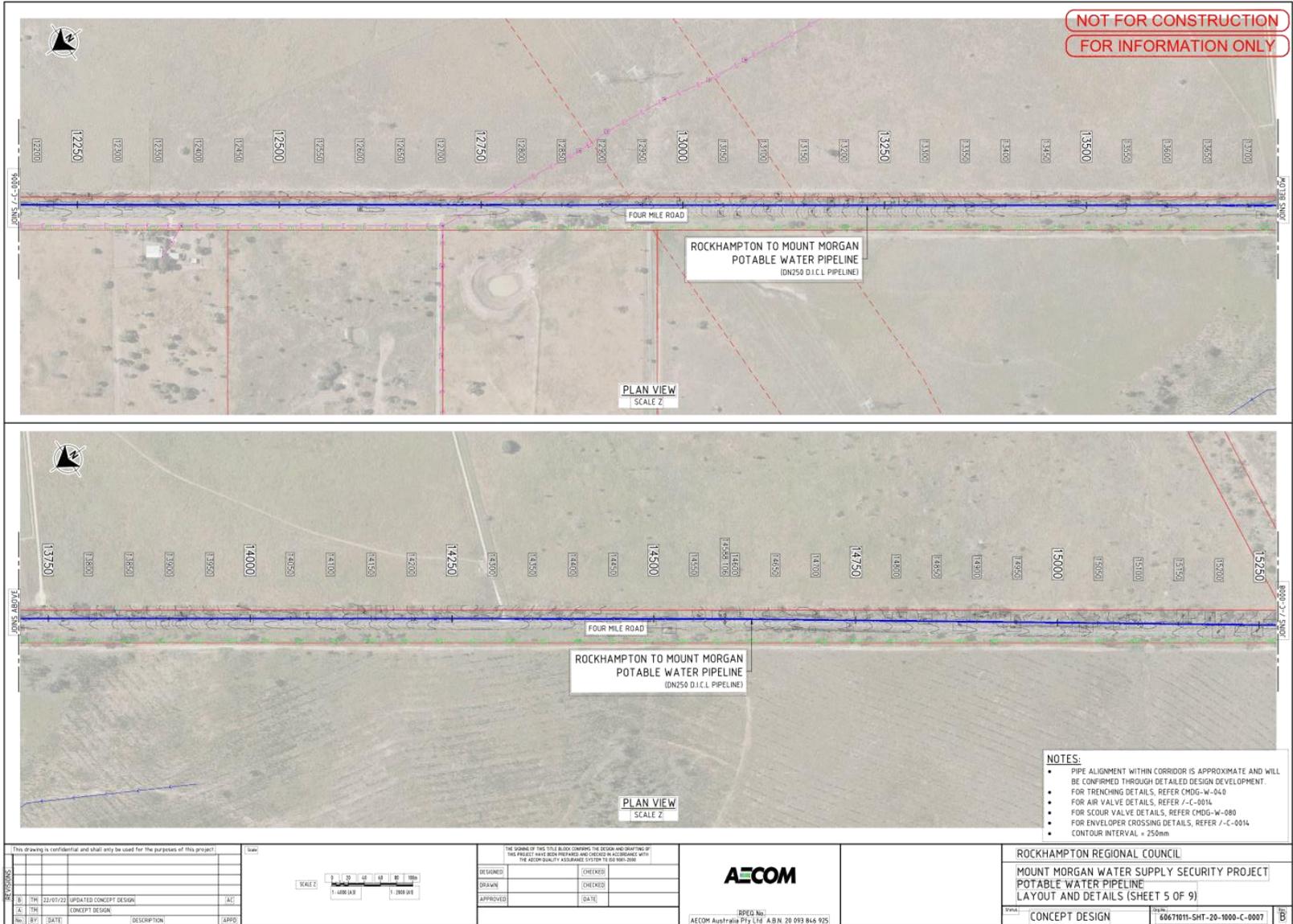
MOUNT MORGAN WATER SUPPLY SECURITY PROJECT

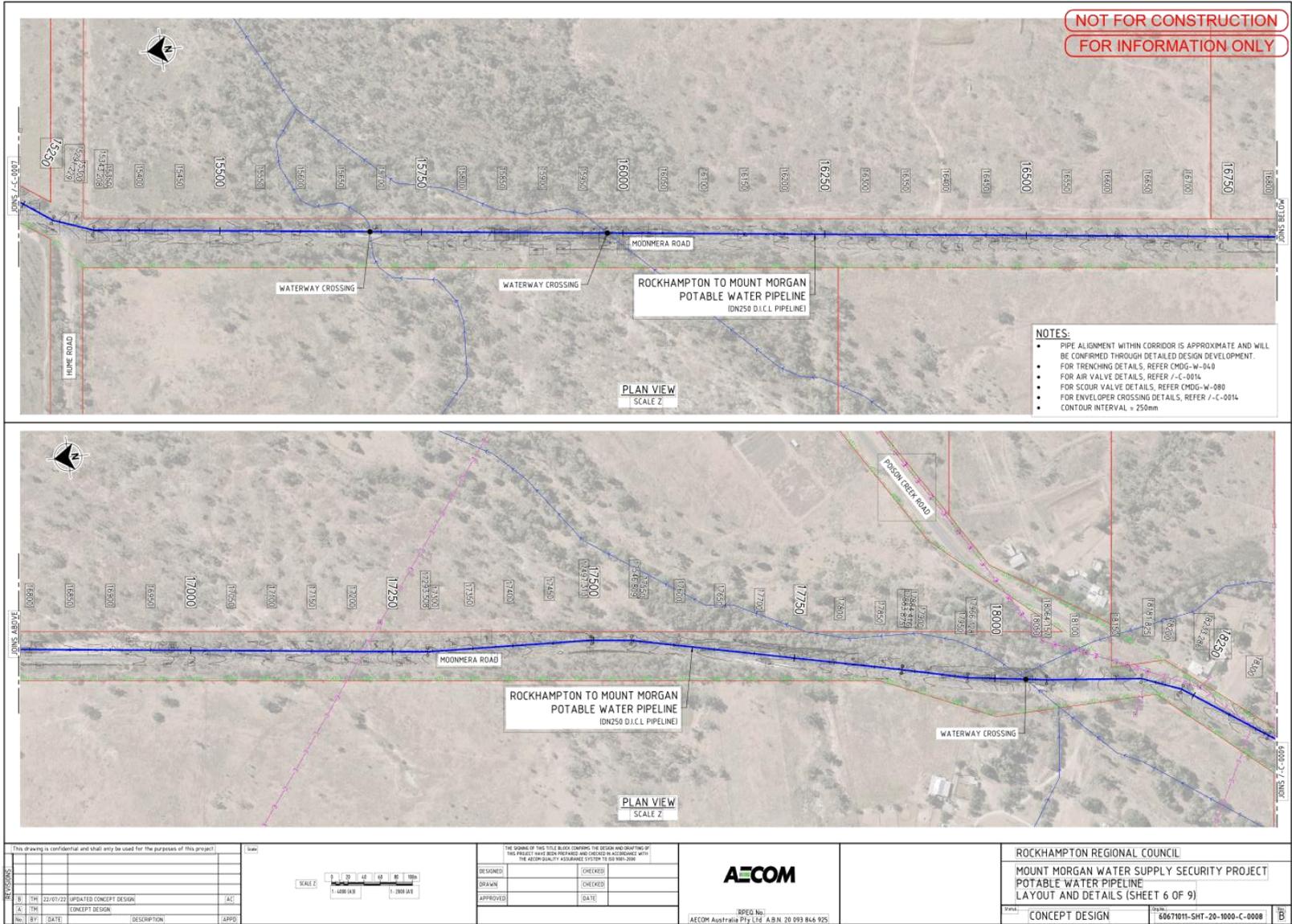
POTABLE WATER PIPELINE

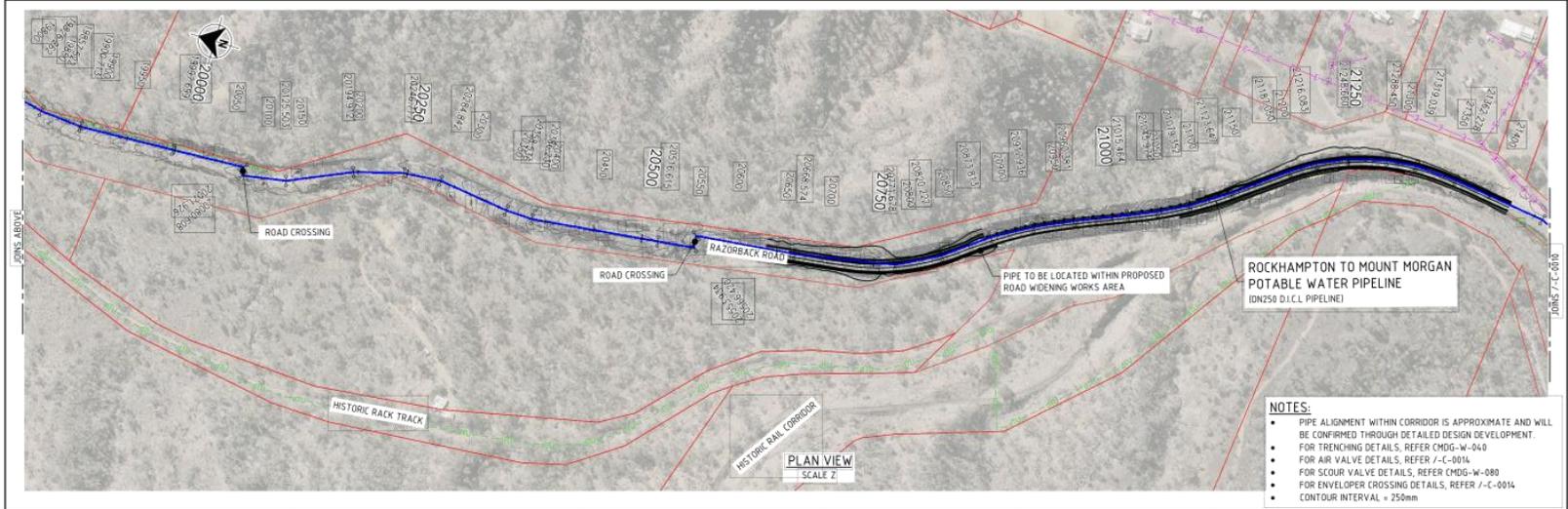
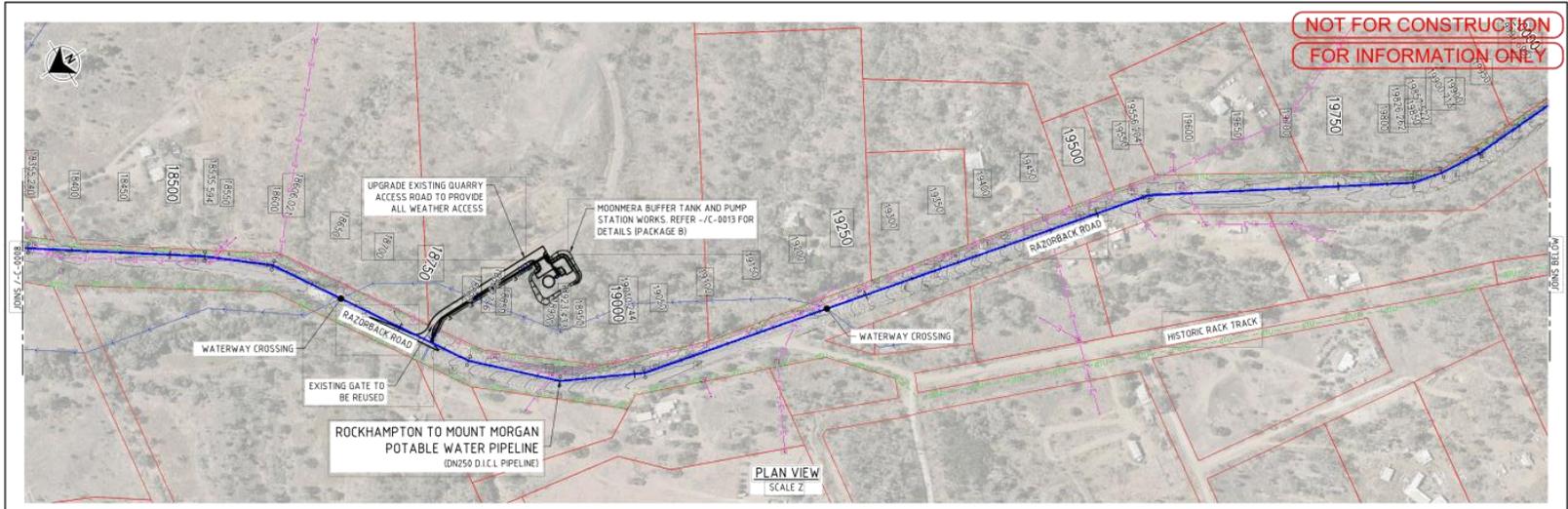
LAYOUT AND DETAILS (SHEET 4 OF 9)

CONCEPT DESIGN

60671011-SHT-20-1000-C-0006







- NOTES:**
- PIPE ALIGNMENT WITHIN CORRIDOR IS APPROXIMATE AND WILL BE CONFIRMED THROUGH DETAILED DESIGN DEVELOPMENT.
 - FOR TRENCHING DETAILS, REFER CMDG-W-040
 - FOR AIR VALVE DETAILS, REFER J-C-001A
 - FOR SCOUR VALVE DETAILS, REFER CMDG-W-080
 - FOR ENVELOPER CROSSING DETAILS, REFER J-C-001A
 - CONTOUR INTERVAL = 250mm

This drawing is confidential and shall only be used for the purposes of this project.

NO.	BY	DATE	DESCRIPTION	APPRO.
1	TH	22/01/22	UPDATED CONCEPT DESIGN	(AU)
2	TH		CONCEPT DESIGN	

DESIGNED	CHECKED
DRAWN	CHECKED
APPROVED	DATE

THE SQUARES OF THIS TITLE BLOCK CONFIRM THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CREATED IN ACCORDANCE WITH THE AUSTRALIAN QUALITY ASSURANCE SYSTEM (AQAS) FOR ISO 9001:2015

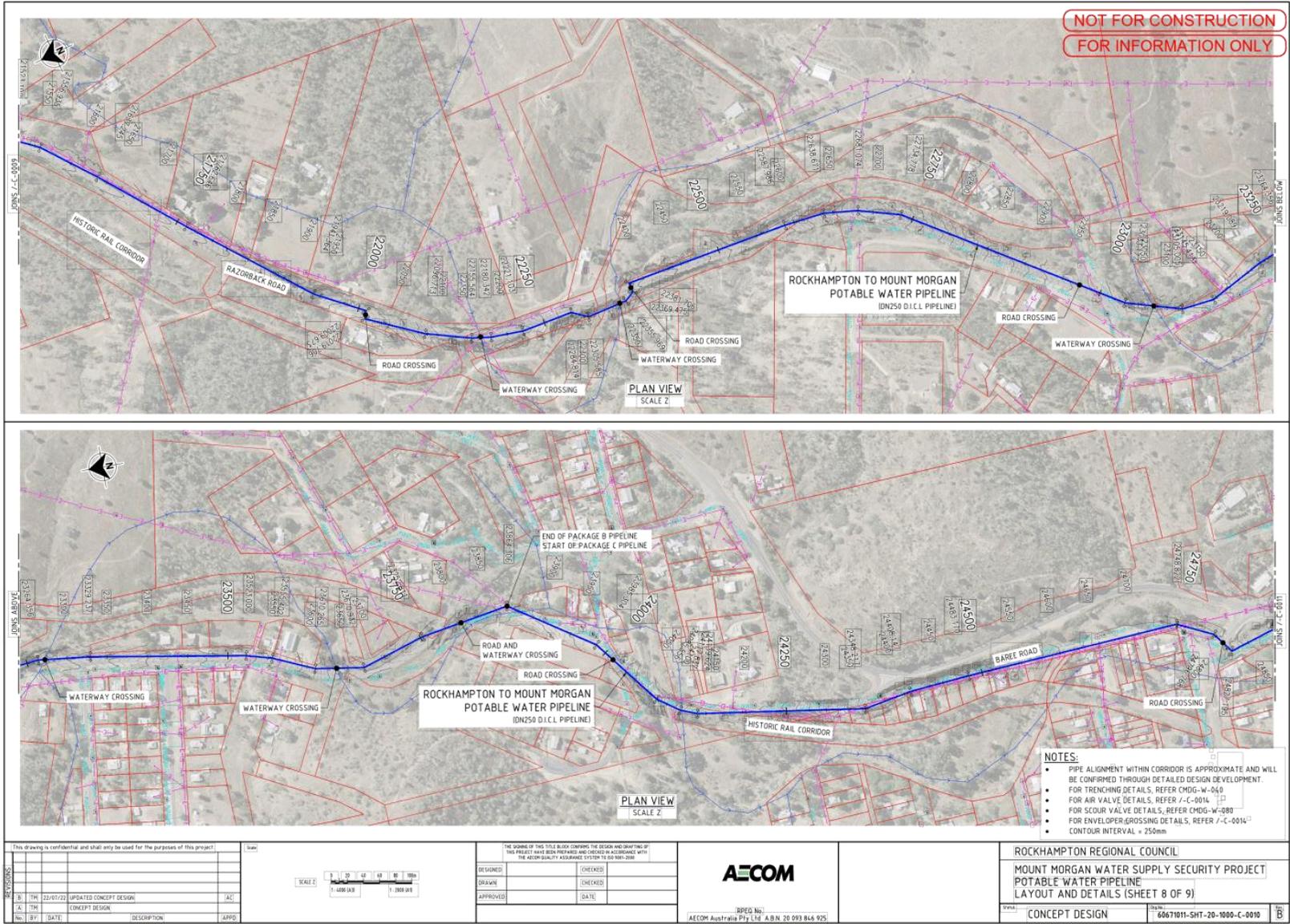
AECOM

REQ No:
AECOM Australia Pty Ltd A.B.N. 20 093 846 925

ROCKHAMPTON REGIONAL COUNCIL

MOUNT MORGAN WATER SUPPLY SECURITY PROJECT
POTABLE WATER PIPELINE
LAYOUT AND DETAILS (SHEET 7 OF 9)

Scale: 1:600
Date: 16/07/2022
Project: 60671011-SHT-20-1000-C-0009



**NOT FOR CONSTRUCTION
FOR INFORMATION ONLY**

- NOTES:**
- PIPE ALIGNMENT WITHIN CORRIDOR IS APPROXIMATE AND WILL BE CONFIRMED THROUGH DETAILED DESIGN DEVELOPMENT.
 - FOR TRENCHING DETAILS, REFER CMDG-W-040
 - FOR AIR VALVE DETAILS, REFER J-C-001A
 - FOR SCOUR VALVE DETAILS, REFER CMDG-W-080
 - FOR ENVELOPE-CROSSING DETAILS, REFER J-C-001A
 - CONTOUR INTERVAL = 250mm

This drawing is confidential and shall only be used for the purposes of this project.

NO.	DATE	DESCRIPTION	APPROVED
1	22/01/22	UPDATED CONCEPT DESIGN	(AU)
2		CONCEPT DESIGN	

DESIGNED	CHECKED
DRAWN	CHECKED
APPROVED	DATE

THE SQUARES OF THIS TITLE BLOCK CONTAIN THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CREATED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM (QAS) 08/09/2016

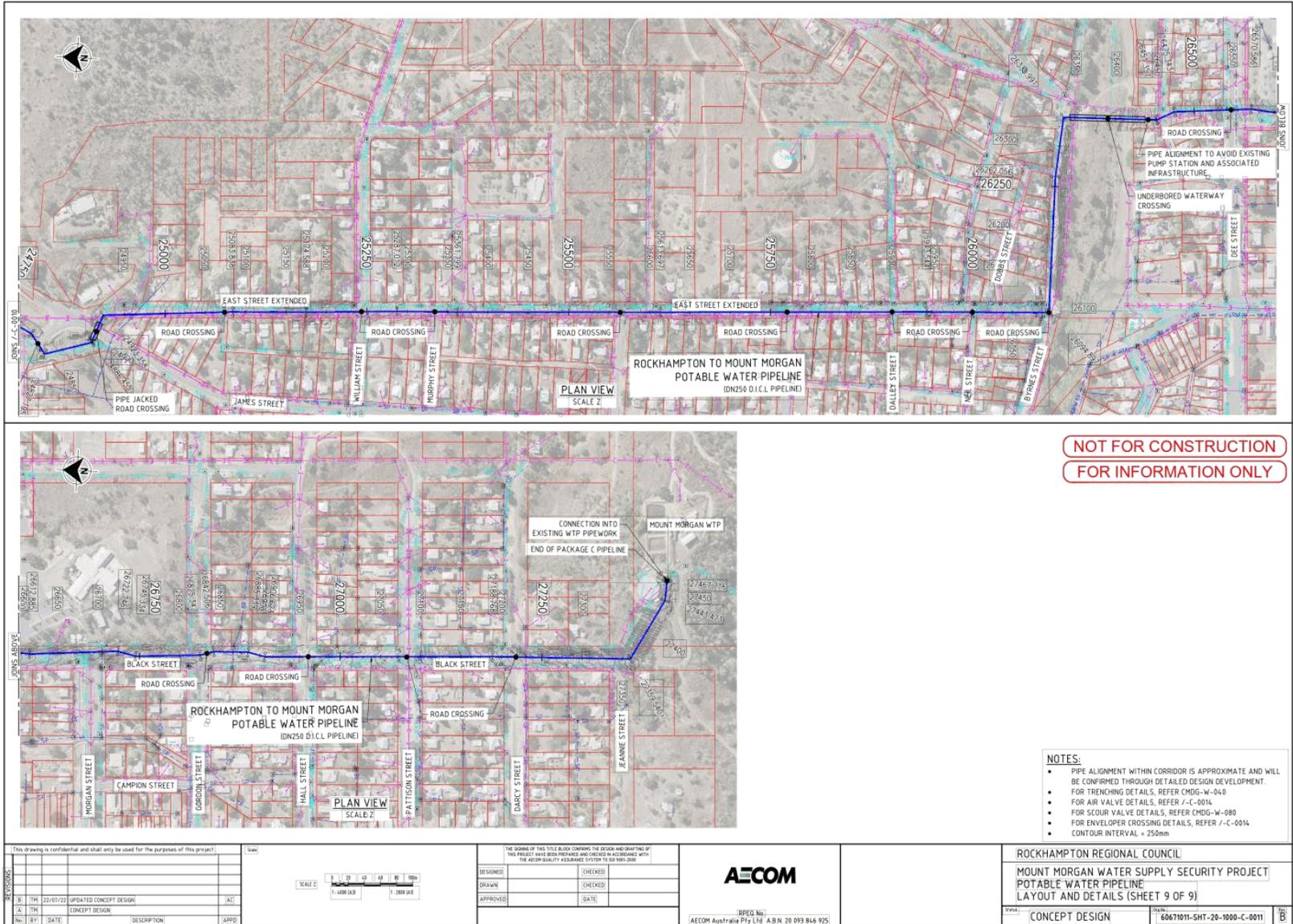
AECOM

REQ No: 60671011-SHT-20-1000-C-0010
AECOM Australia Pty Ltd A.B.N. 20 093 846 925

ROCKHAMPTON REGIONAL COUNCIL

MOUNT MORGAN WATER SUPPLY SECURITY PROJECT
POTABLE WATER PIPELINE
LAYOUT AND DETAILS (SHEET 8 OF 9)

DATE: 60671011-SHT-20-1000-C-0010



NOT FOR CONSTRUCTION
FOR INFORMATION ONLY

- NOTES:**
- PIPE ALIGNMENT WITHIN CORRIDOR IS APPROXIMATE AND WILL BE CONFIRMED THROUGH DETAILED DESIGN DEVELOPMENT.
 - FOR TRENCHING DETAILS, REFER CMDG-W-040
 - FOR AIR VALVE DETAILS, REFER J-C-001A
 - FOR SCOUR VALVE DETAILS, REFER CMDG-W-080
 - FOR ENVELOPER CROSSINGS DETAILS, REFER J-C-001A
 - CONTOUR INTERVAL = 250mm

This drawing is confidential and shall only be used for the purposes of this project.

REV	BY	DATE	DESCRIPTION	APPRO
0				
1	TH	22/01/22	UPDATED CONCEPT DESIGN	(AU)
2	TH		CONCEPT DESIGN	

DESIGNED	CHECKED
DRAWN	CHECKED
APPROVED	DATE

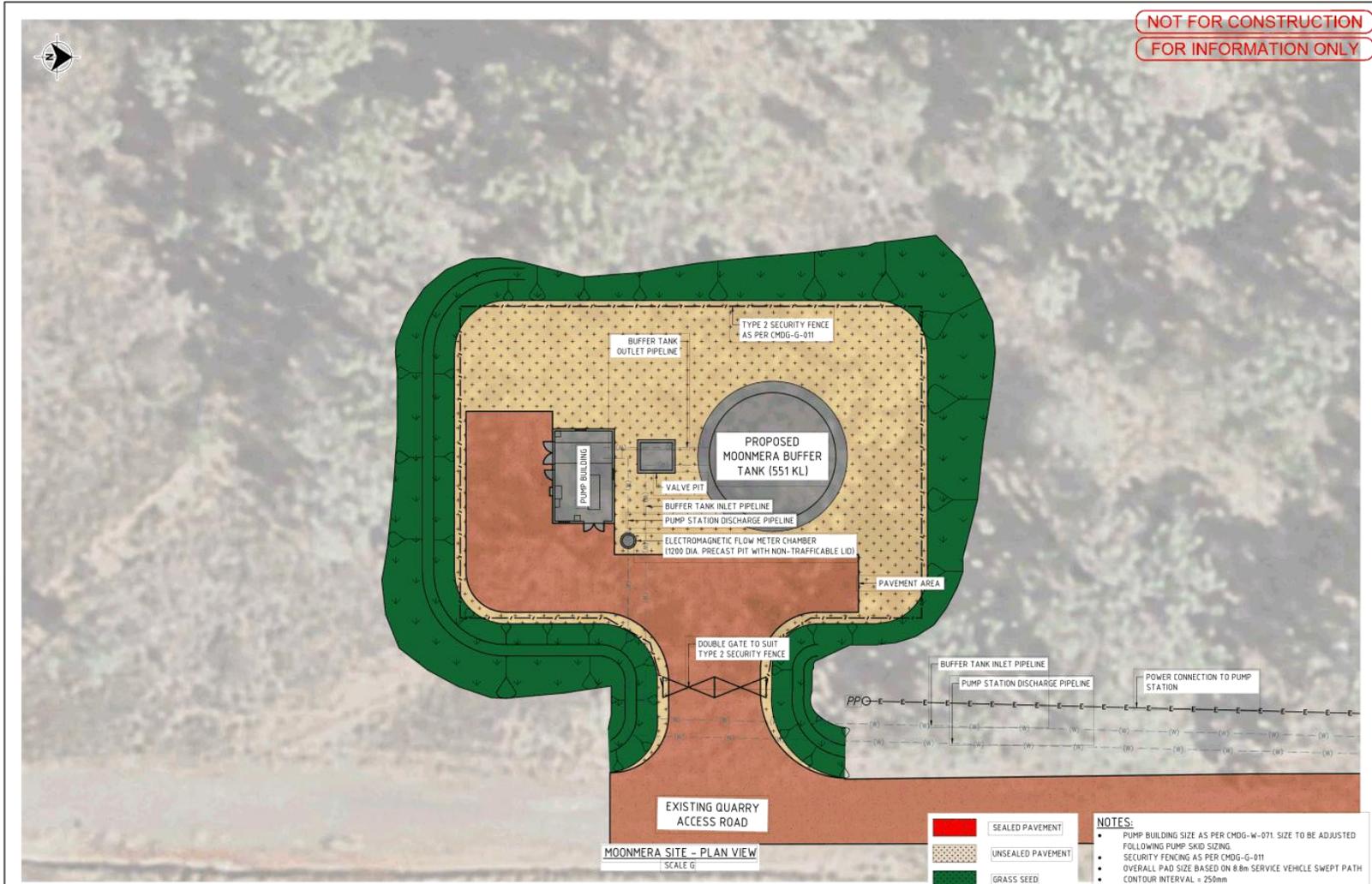
THE SQUARES OF THIS TITLE BLOCK CONTAIN THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CREATED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM (QAS) 9.00-000-000

AECOM

REQ No: 60671011-SHT-20-1000-C-001
AECOM Australia Pty Ltd A.B.N. 20 093 844 925

ROCKHAMPTON REGIONAL COUNCIL	
MOUNT MORGAN WATER SUPPLY SECURITY PROJECT	
POTABLE WATER PIPELINE	
LAYOUT AND DETAILS (SHEET 9 OF 9)	
DATE: 22/01/22	SCALE: AS SHOWN
PROJECT: 60671011-SHT-20-1000-C-001	REV: B

NOT FOR CONSTRUCTION
FOR INFORMATION ONLY



- SEALED PAVEMENT
- UNSEALED PAVEMENT
- GRASS SEED

- NOTES:**
- PUMP BUILDING SIZE AS PER CMDG-W-071. SIZE TO BE ADJUSTED FOLLOWING PUMP SKID SIZING
 - SECURITY FENCING AS PER CMDG-G-011
 - OVERALL PAD SIZE BASED ON 8.8m SERVICE VEHICLE SWEEP PATH
 - CONTOUR INTERVAL = 250mm

MOONMERA SITE - PLAN VIEW
SCALE G1

This drawing is confidential and shall only be used for the purposes of this project.

NO.	DATE	DESCRIPTION	APPROVED



THE SQUARES OF THIS TITLE BLOCK CONFIRM THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CREATED IN ACCORDANCE WITH THE AECOM QUALITY ASSURANCE SYSTEM 15.03.2019-2020

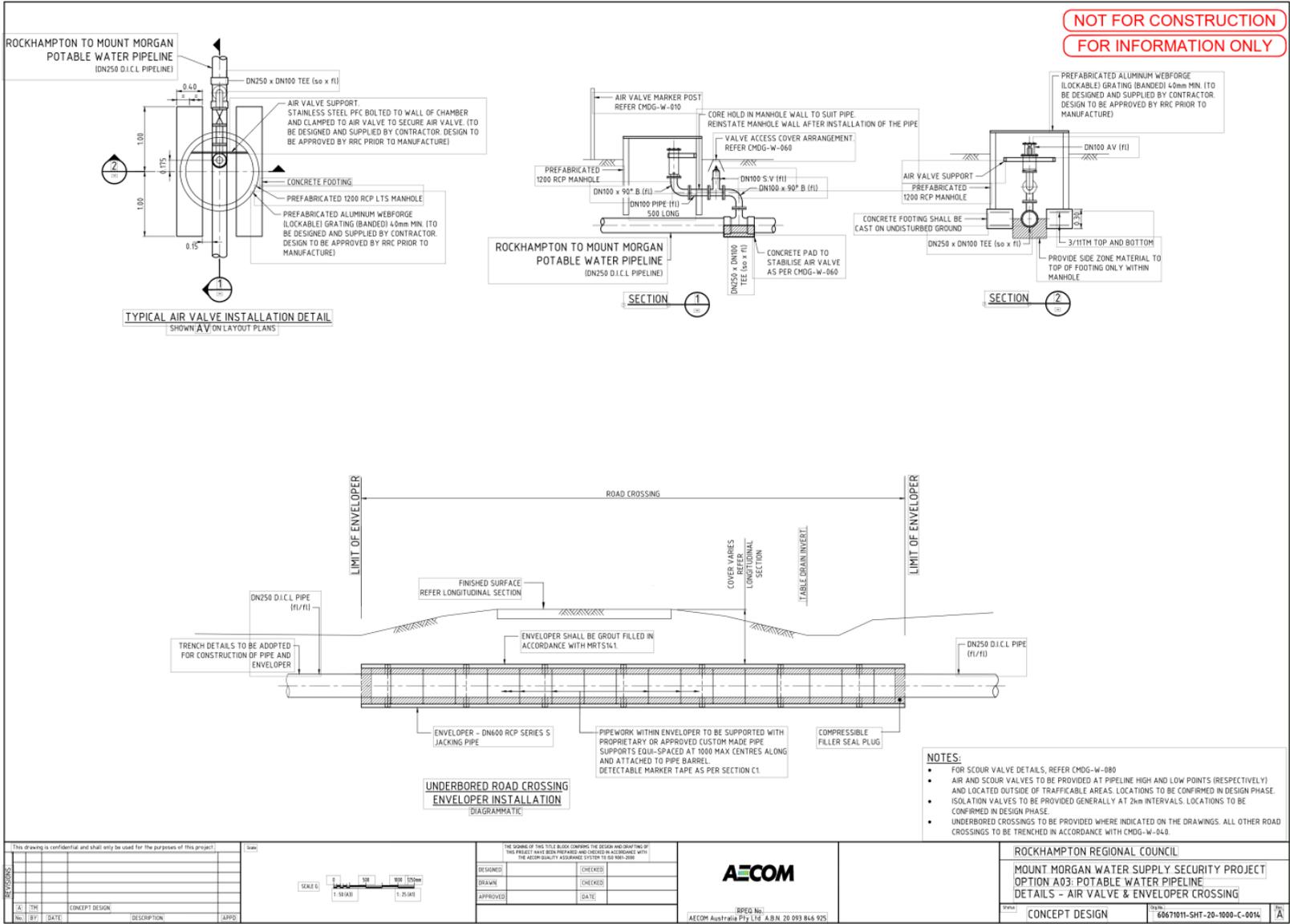
DESIGNED	CHECKED
DRAWN	CHECKED
APPROVED	(DATE)

AECOM

BP02 No.
AECOM Australia Pty Ltd A.B.N. 20 093 846 925

ROCKHAMPTON REGIONAL COUNCIL	
MOUNT MORGAN WATER SUPPLY SECURITY PROJECT	
OPTION A03: POTABLE WATER PIPELINE	
DETAILS - MOONMERA BUFFER TANK AND PUMP STATION	
DATE: 60671011-SHT-20-1000-C-0013	REV: A

**NOT FOR CONSTRUCTION
FOR INFORMATION ONLY**



This drawing is confidential and shall only be used for the purposes of this project.		Scale: 1:50 (A3) 1:25 (A4)	DESIGNED: _____ DRAWN: _____ APPROVED: _____	CHECKED: _____ CHECKED: _____ DATE: _____	AECOM BREQ No: _____ AECOM Australia Pty Ltd A.B.N. 20 093 846 925	ROCKHAMPTON REGIONAL COUNCIL MOUNT MORGAN WATER SUPPLY SECURITY PROJECT OPTION A03: POTABLE WATER PIPELINE DETAILS - AIR VALVE & ENVELOPE CROSSING
No. _____ TH DATE _____ BY DATE _____ CONCEPT DESIGN DESCRIPTION _____ APPD _____	Scale: 1:50 (A3) 1:25 (A4)	DESIGNED: _____ DRAWN: _____ APPROVED: _____	CHECKED: _____ CHECKED: _____ DATE: _____	BREQ No: _____ AECOM Australia Pty Ltd A.B.N. 20 093 846 925	ROCKHAMPTON REGIONAL COUNCIL MOUNT MORGAN WATER SUPPLY SECURITY PROJECT OPTION A03: POTABLE WATER PIPELINE DETAILS - AIR VALVE & ENVELOPE CROSSING	CONCEPT DESIGN 60671011-SHT-20-1000-C-001A

**10.10 SUMMARY BUDGET MANAGEMENT REPORT FOR THE PERIOD ENDED
31 JULY 2022**

File No: 8148
Attachments: 1. [Income Statement - July 2022](#)
2. [Key Indicator Graphs July 2022](#)
Authorising Officer: Ross Cheesman - Deputy Chief Executive Officer
Author: Marnie Taylor - Chief Financial Officer

SUMMARY

The Chief Financial Officer presenting the Rockhampton Regional Council Summary Budget Management Report for the period ended 31 July 2022.

OFFICER'S RECOMMENDATION

THAT the Rockhampton Regional Council Summary Budget Management Report for the period ended 31 July 2022 be received.

COMMENTARY

The attached financial report and graphs have been compiled from information within Council's TechnologyOne system. The reports presented are as follows:

1. Income Statement (Actuals and Budget for the period 1 July 2022 to 31 July 2022), Attachment 1.
2. Key Indicators Graphs, Attachment 2.

The attached financial statement provides Council's position after the first month of the 2022/23 financial year. After the first month, results should be approximately 8.3% of the adopted budget.

The following commentary is provided in relation to the Income Statement:

Total Operating Revenue is at 38% of the adopted budget. Key components of this result are:

- Net Rates and Utility Charges are at 47% of budget. Council's rates and utility charges for the first six months of the financial year ending 31 December 2022 have been raised and are due on 7 September 2022.
- Private and Recoverable works revenue is below budget at 5% due to a delay in issuing the RMPC invoice for July 2022.
- Grants and Subsidies are ahead of budget at 24% due to recognition of unearned revenue from the 2021/22 financial year carried over to the 22/23 year.
- Interest Revenue is ahead of budget at 10% due to higher than forecast cash holdings.
- Other Income is ahead of budget at 18% due to the recognition of unearned revenue from 2021/22 financial year.
- All other revenue items are in proximity to budget.

Total Operating Expenditure is at 7% of the adopted budget. Key components of this result are:

- Contractors and consultants, materials and plant, and asset operational costs are at 2%, 5% and 5% respectively. This is due to the processing of financial year end accruals – services provided in June and invoiced in July has been accrued back to the 2021/22 financial year.

- Administrative expenses are at 4% as the estimated timing of expenditure for the majority of this account group is later in the financial year for events managed by Community and Culture Unit and Advance Rockhampton.
- Other expenses are at 1% of budget. This is partly due to the timing of grants and sponsorships to local community groups which will be distributed throughout the financial year.
- All other expenditure items are in proximity to budget.

The following commentary is provided in relation to capital income and expenditure, as well as investments and loans:

Total Capital Income is at 13% of the adopted budget and in line with expectations at this early stage of the financial year together with the recognition of unearned revenue carried over from the 2021/22 financial year.

Total Capital Expenditure is at 1% of the adopted budget. The result for July is affected by processing of financial year-end accruals – work done in June and invoiced in July has been accrued back to the 2021/22 financial year.

Total Investments are \$120.1M as at 31 July 2022.

Total Loans are \$158.7M as at 31 July 2022.

CONCLUSION

With only one month of the financial year passed and many of the transactions processed in July relating to the 21/22 financial year, definitive trends are yet to materialise within the budget management report. Total operational revenue is ahead of budget at 38% due to the levying of the General Rates and Utility Charges for the six months ending 31 December 2022.

The capital program saw \$2.5M spent during the first month of the financial year and capital expenditure will need to gain momentum over the coming months to deliver the projects budgeted for the 2022/23 financial year.

**SUMMARY BUDGET MANAGEMENT
REPORT FOR THE PERIOD ENDED
31 JULY 2022**

Income Statement - July 2022

Meeting Date: 23 August 2022

Attachment No: 1



Income Statement
For Period July 2022 to July 2022
8.3% of Year Gone

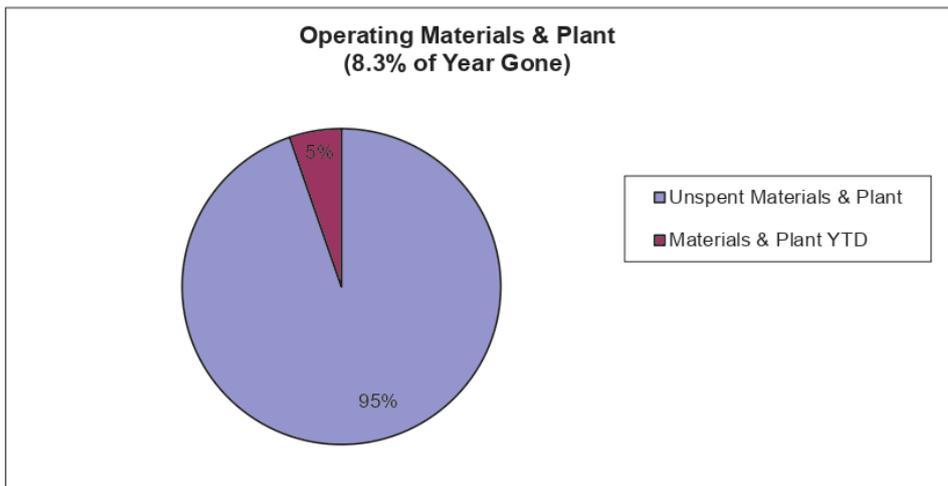
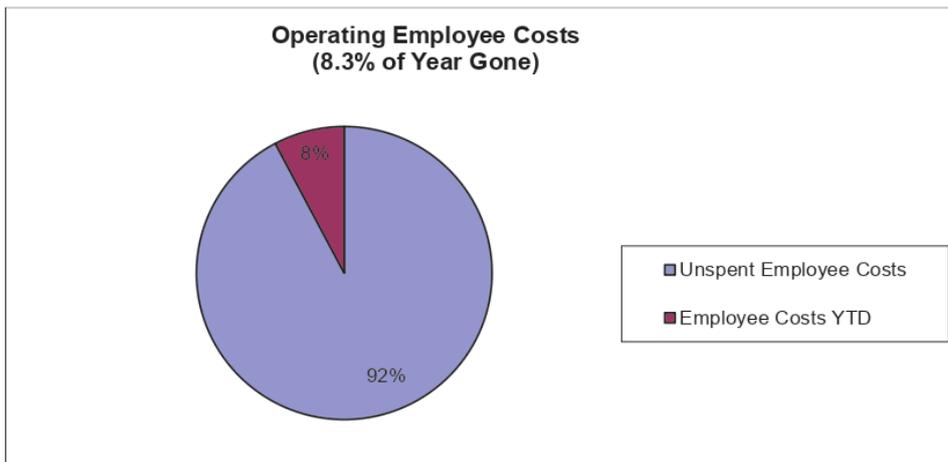
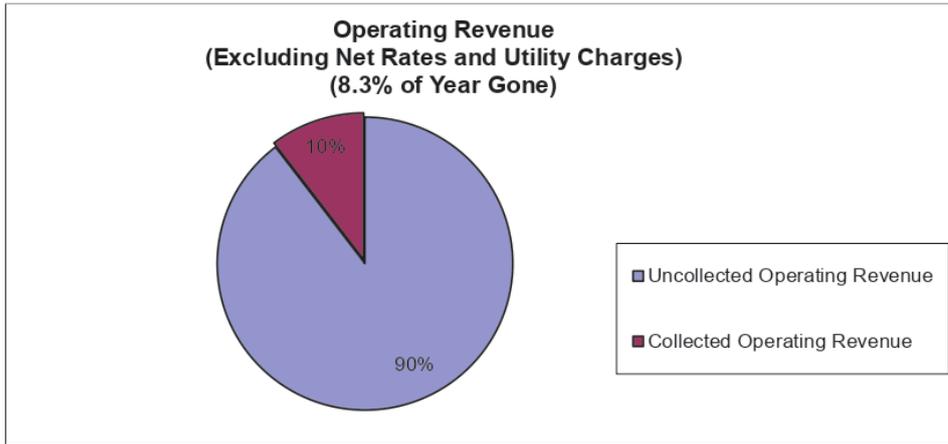
	Adopted Budget	Revised Budget	YTD Actual	Commitments	YTD Actuals (inc commitments)	% of Adopted Budget
	\$	\$	\$	\$	\$	
OPERATING						01
						01
Revenues						
Net rates and utility charges	(174,337,236)	0	(82,299,706)	0	(82,299,706)	47% A
Fees and Charges	(32,822,227)	0	(2,326,199)	0	(2,326,199)	7% A
Private and recoverable works	(6,483,251)	0	(318,300)	0	(318,300)	5% A
Rent/Lease Revenue	(3,415,048)	0	(274,459)	0	(274,459)	8% A
Grants Subsidies & Contributions	(7,264,928)	0	(1,729,455)	0	(1,729,455)	24% A
Interest revenue	(2,484,000)	0	(255,970)	0	(255,970)	10% A
Other Income	(7,049,827)	0	(1,267,951)	0	(1,267,951)	18% A
Total Revenues	(233,856,313)	0	(88,472,039)	0	(88,472,039)	38% A
Expenses						
Employee Costs	91,570,444	0	7,073,946	285,807	7,359,753	8% A
Contractors & Consultants	23,779,130	0	422,584	11,117,411	11,539,996	2% A
Materials & Plant	19,169,823	0	1,010,431	7,132,366	8,142,797	5% A
Asset Operational	29,103,480	0	1,526,716	2,024,564	3,551,279	5% A
Administrative expenses	15,548,412	0	590,254	3,280,757	3,871,011	4% A
Depreciation	60,358,856	0	5,029,905	0	5,029,905	8% A
Finance costs	4,888,250	0	437,857	0	437,857	9% A
Other Expenses	1,171,865	0	12,776	14,848	27,624	1% A
Total Expenses	245,390,260	0	16,104,268	23,855,754	39,960,021	7% A
Transfer / Overhead Allocation						
Transfer / Overhead Allocation	(7,895,456)	0	(563,160)	0	(563,160)	7% A
Total Transfer / Overhead Allocation	(7,895,456)	0	(563,160)	0	(563,160)	7% A
TOTAL OPERATING POSITION (SURPLUS)DEFICIT	3,638,491	0	(72,930,932)	23,855,754	(49,075,178)	-2004% A
CAPITAL	Adopted Budget	Revised Budget	YTD Actual	Commitments	YTD Actuals (inc commitments)	% of Adopted Budget
Total Developers Contributions Received	(5,763,000)	0	(141,257)	0	(141,257)	2%
Total Capital Grants and Subsidies Received	(59,498,644)	0	(9,308,480)	0	(9,308,480)	16%
Total Proceeds from Sale of Assets	(7,110,000)	0	(63,000)	0	(63,000)	1%
Total Capital Income	(72,371,644)	0	(9,512,717)	0	(9,512,717)	13%
Total Capital Expenditure	186,628,306	0	2,464,267	101,174,552	103,638,819	1%
Net Capital Position	114,256,662	0	(7,048,449)	101,174,552	94,126,103	-6%
TOTAL INVESTMENTS			120,079,339			
TOTAL BORROWINGS			158,871,598			

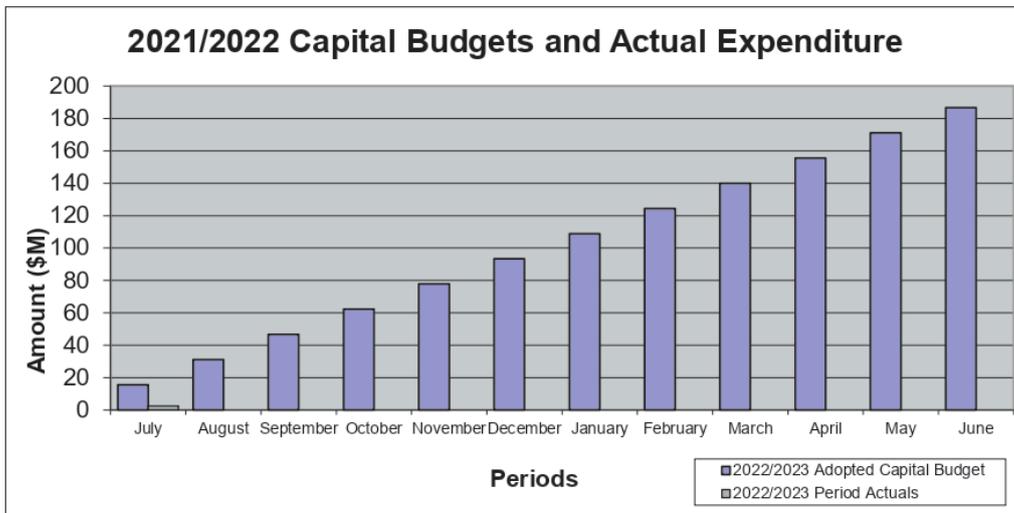
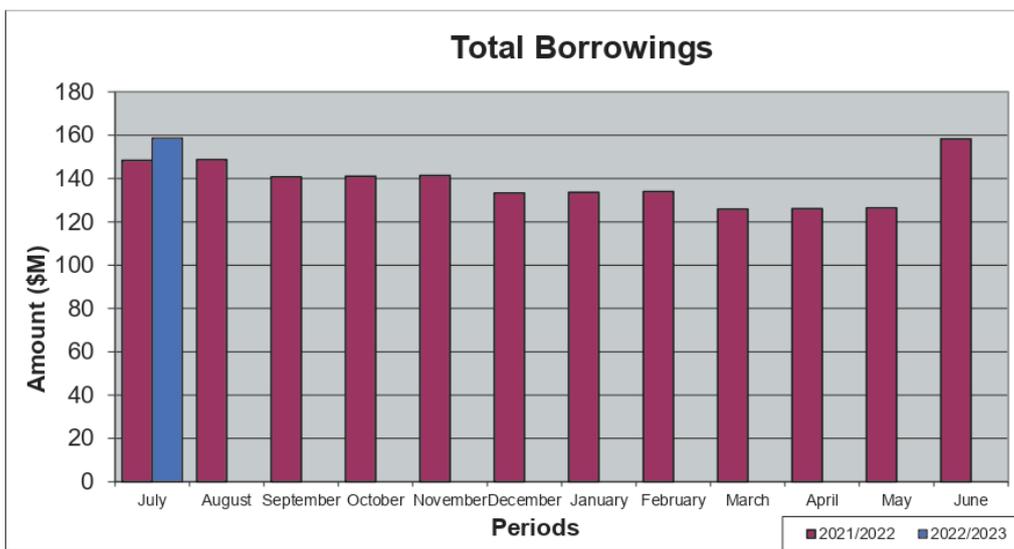
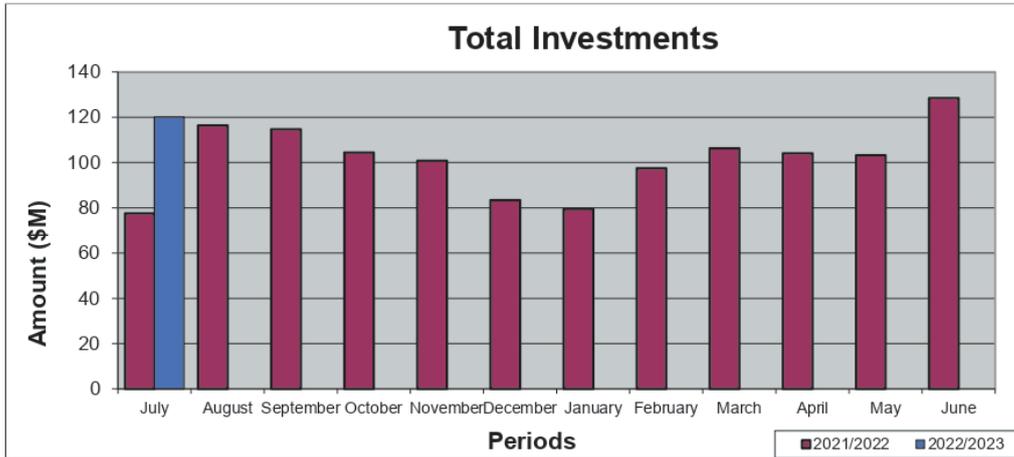
SUMMARY BUDGET MANAGEMENT REPORT FOR THE PERIOD ENDED 31 JULY 2022

Key Indicator Graphs July 2022

Meeting Date: 23 August 2022

Attachment No: 2





10.11 FEES AND CHARGES 2022/2023 AMENDMENTS

File No: 7816
Attachments: 1. [Summary of Proposed Changes 2022/2023](#)↓
Authorising Officer: Ross Cheesman - Acting Chief Executive Officer
Author: Marnie Taylor - Chief Financial Officer

SUMMARY

The intention of this report is to submit minor amendments to Council's Fees and Charges Schedule for the 2022/2023 financial year.

OFFICER'S RECOMMENDATION

THAT in accordance with the requirements of the *Local Government Act 2009*, Council adopts the amendments to the Fees and Charges Schedule for the 2022/2023 financial year.

COMMENTARY

The proposed amendments to the Fees and Charges 2022/2023 are provided below.

BACKGROUND

The 2022/2023 Fees and Charges were adopted by Council on 14 June 2022.

Regional Services – RRWR

Since the adoption of the 2022/2023 Fees & Charges, there has been some confusion from the public as to the original wording of a couple of items and there has been a request to reword these items.

Item 19 - change from "Light metals excluding refrigerators delivered to recycling area" to – "Light metals (excluding fridges, freezers, aircons) delivered to the recycling area".

Item 20 – "Other Metals (degassed, free of fluids and tyres)". There has been a request to remove the word 'degassed' from Item 20.

Item 38 – change from "White Goods (Fridge, Freezer, Airconditioner)" to "White Goods (Fridge, Freezer, Airconditioner) free of food and contaminants".

Community Services

Previously, due to the pending closure of the Smarthub, Fees and Charges for the Hire of Customs House were not included in the 2022/2023 Fees and Charges Schedule. These are now listed as part of Community Centres.

BUDGET IMPLICATIONS

The effect of the changes will have minimal budget impact.

LEGISLATIVE CONTEXT

The fees and charges in the schedules can be amended at any time throughout the year in accordance with legislation.

CONCLUSION

These minor amendments are recommended for inclusion in the 2022/2023 Fees and Charges Schedule.

Upon approval by Council, these amendments to the 2022/2023 Fees and Charges Schedule are to be uploaded and presented on the Council website.

FEES AND CHARGES 2022/2023 AMENDMENTS

Summary of Proposed Changes 2022/2023

Meeting Date: 23 August 2022

Attachment No: 1

SUMMARY OF PROPOSED CHANGES 2022-2023

Regional Services

RRWR Waste and Recycling

Item 19 – Reworded to – Light metals (excluding fridges, freezers, aircons) delivered to the recycling area

Item 20 – Reworded to – Other metals (free of fluids, contaminants and tyres) delivered to the metal pad

Item 38 – Reworded to – White goods (fridges, freezers, aircons) free of food and contaminants

SECTION:		Waste & Recycling					
number	Item name	Fee Type	GST Authority	2022/2023 Current Fee (incl GST)	Charge basis per unit (Optional)	Legislative Authority	Governing Specific Legislation
1	Waste & Regulatory Services						
2	Waste Management						
17	Recyclables and Metals						
19	Light metals (excluding fridges, freezers, aircons) delivered to recycling area.	Commercial	GST Applies	No Charge	transaction	Local Government Act 2009	S262 (3) (c)
20	Other metals (free of fluids contaminants and tyres) delivered to the metal pad	Commercial	GST Applies	No Charge	transaction	Local Government Act 2009	S262 (3) (c)
37	White Goods (Fridge, Freezer, Airconditioner)						
38	White Goods (Fridge, Freezer, Airconditioner) free of food and contaminants	Commercial	GST Applies	\$9.00	each	Local Government Act 2009	S262 (3) (c)

Community Services

Community Centres

Community Centres updated to include hire fees for Customs House.

SECTION:		Community Centres					
Fee number	Item name	Fee Type	GST Authority	2022/2023 Current Fee (incl GST)	Charge basis per unit (Optional)	Receipting Code	Legislative Authority
53	CUSTOMS HOUSE UPPER LEVEL FUNCTION SPACES, 208 QUAY STREET						
54	All Areas - Function Room, Plating Kitchen, Balcony, Downstairs Lawn Area	Commercial	GST Applies	\$623.00		Local Government Act 2009	Part 6 S262 (3)(c)
55	Inclusions - Air conditioning, refrigerator, bar facilities, Plating Kitchen and toilet facilities						
56	Function Room	Commercial	GST Applies	\$518.00		Local Government Act 2009	Part 6 S262 (3)(c)
57	Inclusions - Air conditioning, refrigerator, bar facilities and toilet facilities						
58	Downstairs Lawn Area	Commercial	GST Applies	\$107.00		Local Government Act 2009	Part 6 S262 (3)(c)
59	Inclusions - Garden setting in front of building suitable for small celebrations						
60	Balcony Area	Commercial	GST Applies	\$107.00		Local Government Act 2009	Part 6 S262 (3)(c)
61	Inclusions - Exclusive use of balcony area and use of toilet facilities						
62	Plating Kitchen						
63	Inclusions - fridges, sink and bench space for preparing food NB. No warming equipment onsite)	Commercial	GST Applies	\$107.00		Local Government Act 2009	Part 6 S262 (3)(c)
64	Security bond - Refundable following satisfactory cleaning and inspection. May be withheld for additional cleaning and repairs	Commercial	GST Applies	\$374.00		Local Government Act 2009	Part 6 S262 (3)(c)
65	Cleaning - Charged to the hirer if the facility requires additional cleaning following the event	Commercial	GST Applies	\$90.00		Local Government Act 2009	Part 6 S262 (3)(c)

**10.12 WHOLE OF COUNCIL CORPORATE PERFORMANCE REPORT FOR PERIOD
ENDING JULY 2022**

File No: 1392
Attachments: 1. [Corporate Performance Report - July 2022](#)
Authorising Officer: Ross Cheesman - Deputy Chief Executive Officer
Author: Ross Cheesman - Deputy Chief Executive Officer

SUMMARY

Deputy Chief Executive Officer presenting the Whole of Council Corporate Performance Report for period ending 31 July 2022 for Councillors' information.

OFFICER'S RECOMMENDATION

THAT the Whole of Council Corporate Performance Report for period ending 31 July 2022 be 'received'.

COMMENTARY

The Whole of Council Corporate Performance Report for period ending 31 July 2022 is presented for Council's consideration.

**WHOLE OF COUNCIL CORPORATE
PERFORMANCE REPORT FOR
PERIOD ENDING JULY 2022**

**Corporate Performance Report –
July 2022**

Meeting Date: 23 August 2022

Attachment No: 1



Corporate Performance Report

01 July 2022 – 31 July 2022

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CORPORATE SERVICES

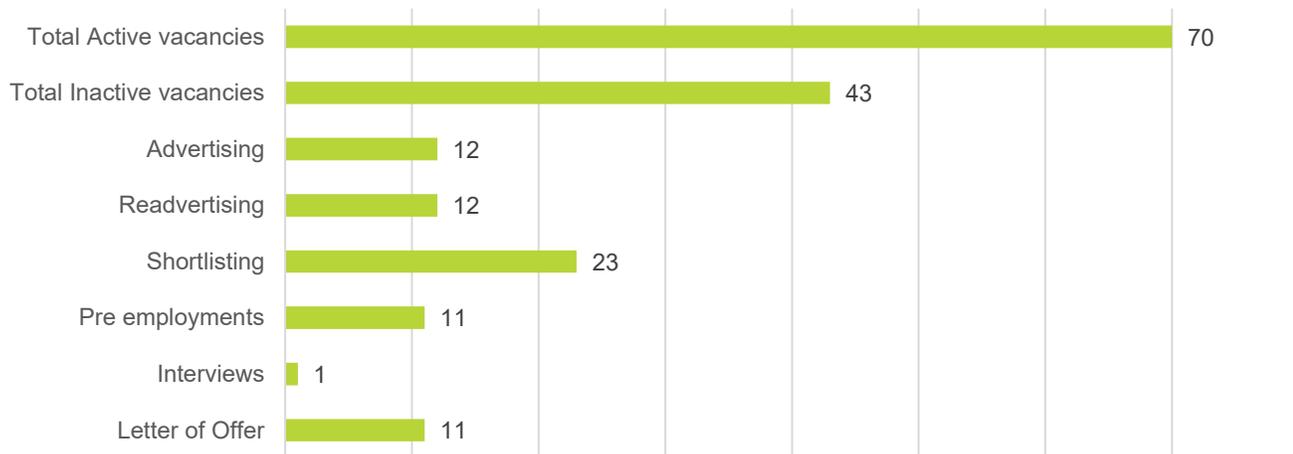
Human Resources

WORKFORCE



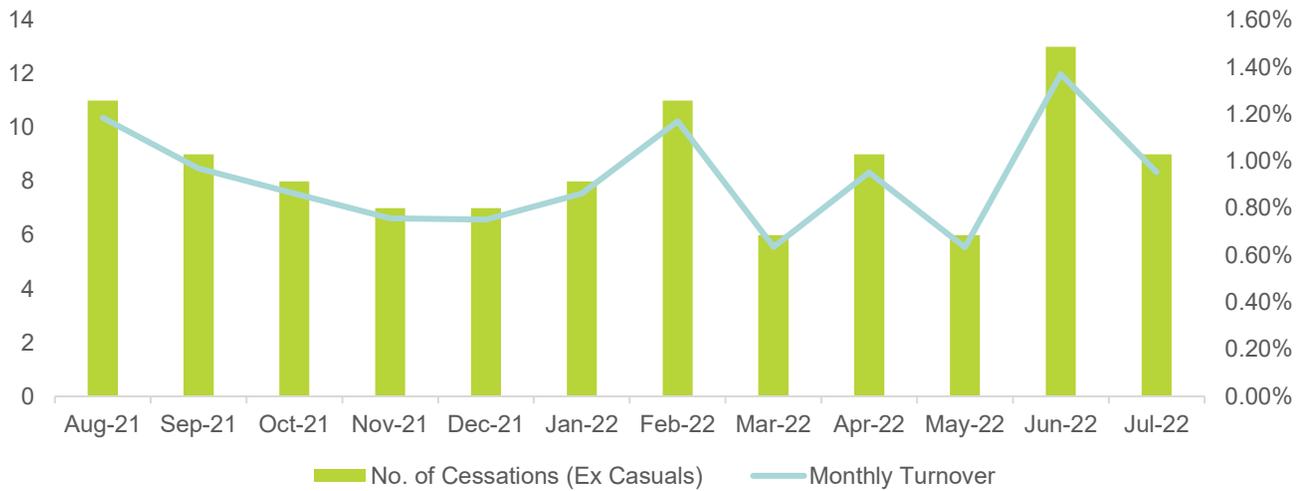
Commentary: Our workforce includes the total number of employees employed by Council including full time, part time and casual employees (excludes labour hire and contractors).

RECRUITMENT



Commentary: Active vacancies are those positions currently being recruited. Inactive vacancies are positions that are currently under review or on hold.

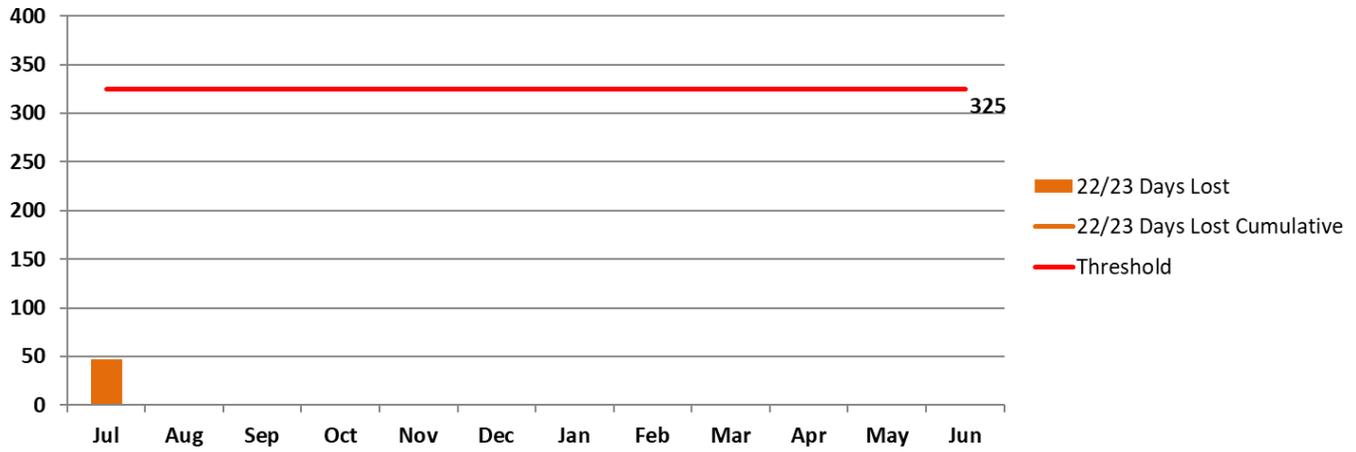
STAFF TURNOVER - 11.63%



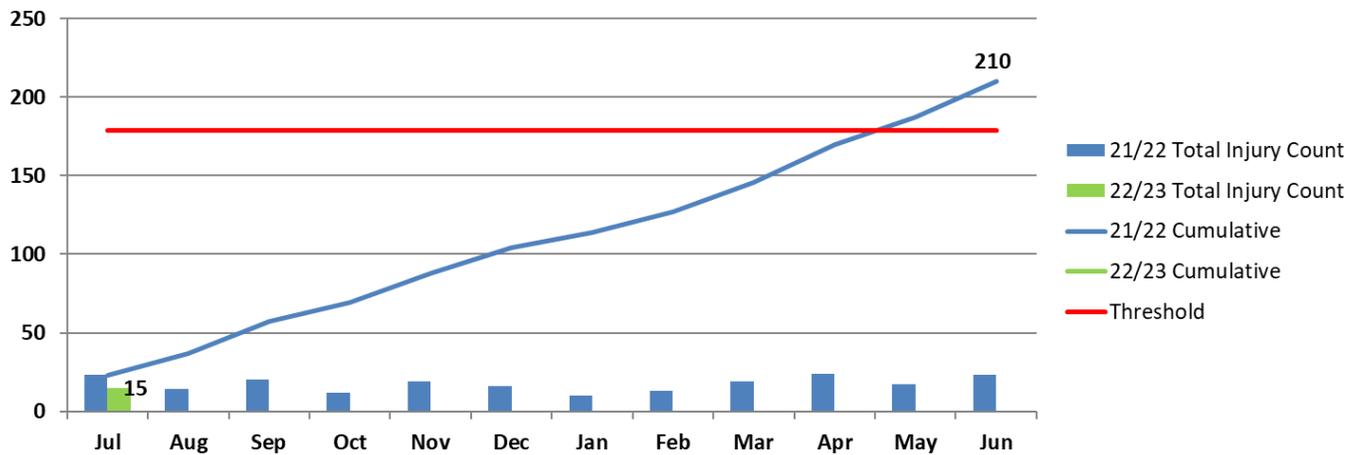
Commentary: Staff turnover for the previous 12 months is 11.63%. This is considered to be an acceptable level of employee turnover. Casual employees are excluded from staff turnover calculations.

Safety

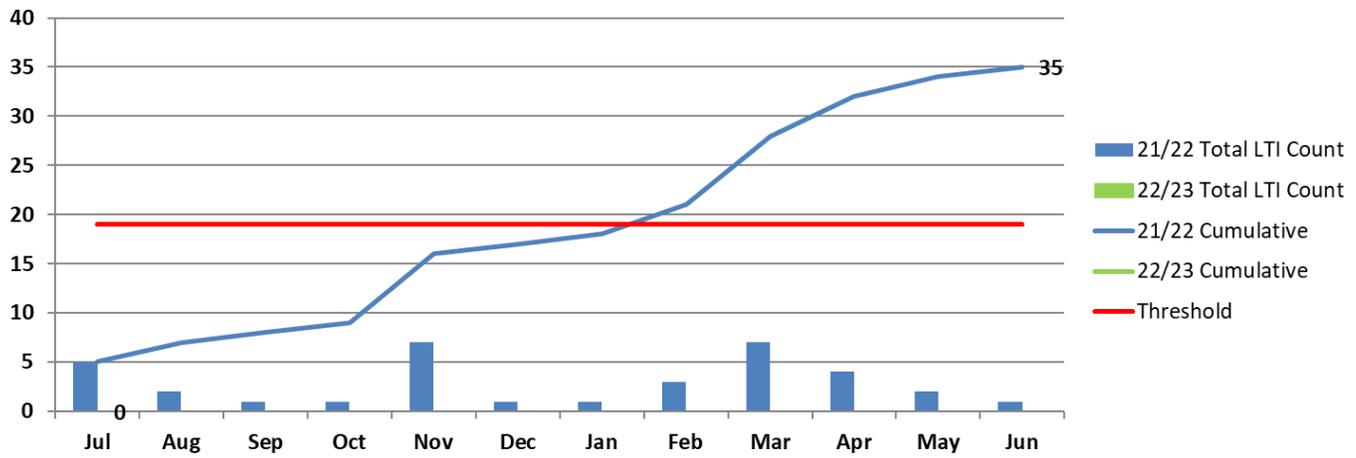
Days Lost Due to Injury



Total Injury Count



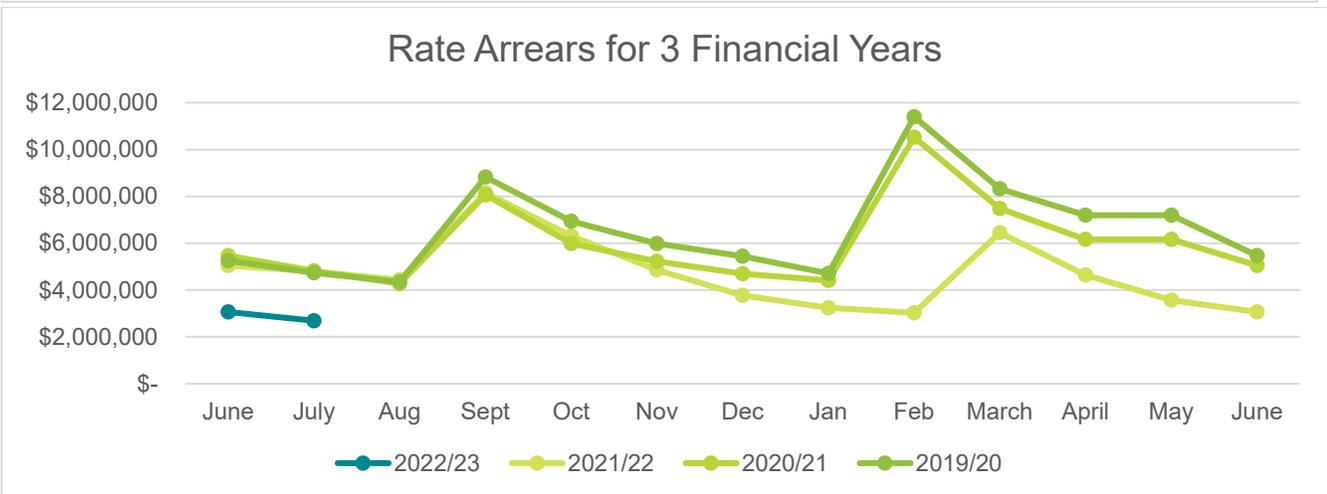
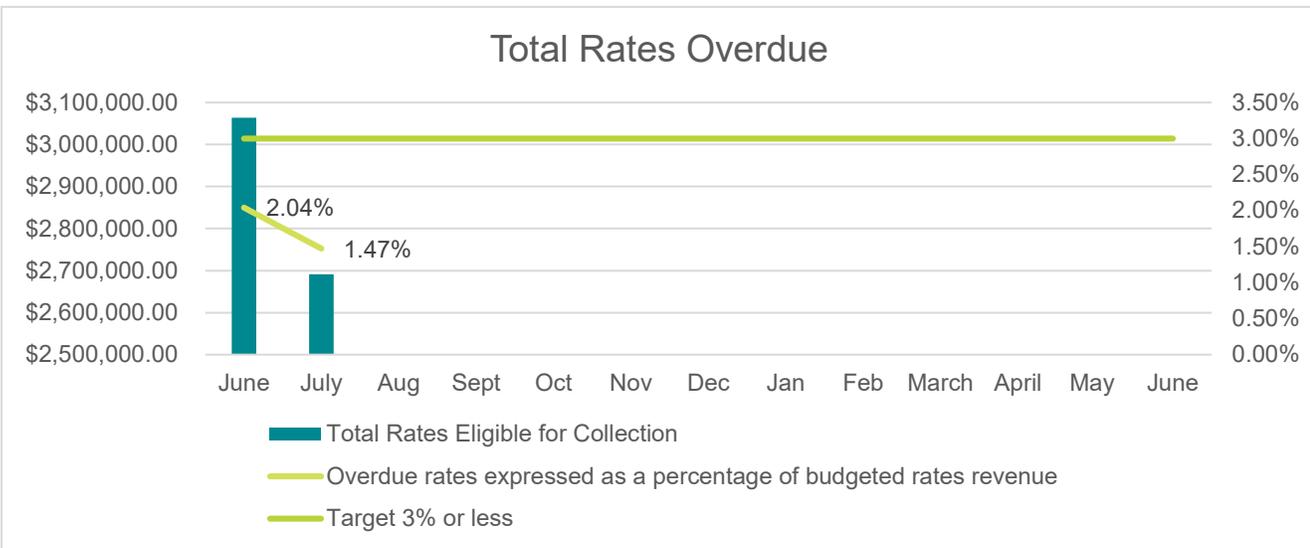
Lost Time Injury Count



Service Level Statistics

Service Level	Target	Current Performance
Maintain the ratio of customer queries satisfied by Customer Service Officers, without referral to departments.	80%	95%
IT support services provided within service levels outlined in the IT Service Catalogue.	90%	88%
Ensure availability of system up-time during core business hours (excluding planned outages).	99%	99.94%
Process records on the day of receipt as per Recordkeeping Charter.	95%	100%
Ensure supplier payments are made within stated trading terms.	90%	91%

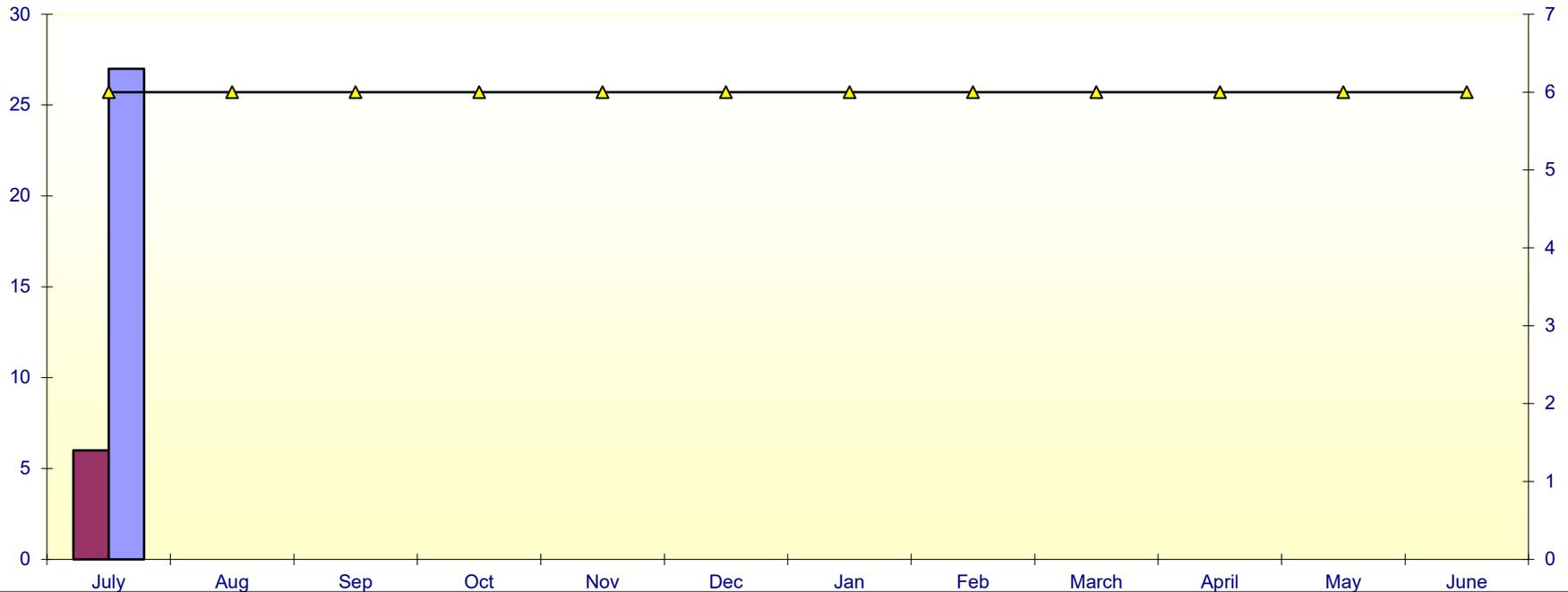
Rates



Procurement & Logistics

Contracts & Tenders Activity
(Indicates the Contracts Awarded & In Progress)

■ Awarded
 ■ In Progress
 ▲ 21/22 YTD Contracts Awarded



Contracts Awarded: 6

- TEN14938 - Demolition & Removal of Various Council Assets - Taboh Pty Ltd - \$298,960
- QUO14980 - Human Movement Data Services - Roy Morgan Research Ltd - \$95,000
- QUO14986 - Corrective Works and Dam Deformation Survey - Vision Surveys Qld Pty Ltd - \$22,148
- QUO15100 - Geotechnical Investigation for Proposed Gracemere SPS - Butler Partners (Regional) Pty Ltd - \$54,980
- QUO15101 - Chimp Night House Bushfire Spray System - GHD Pty Ltd - \$39,773
- CON15105 - Preventative Maintenance Art Gallery BMS - Austec Building Automation Pty Ltd - \$34,980

Contracts in Progress: 27

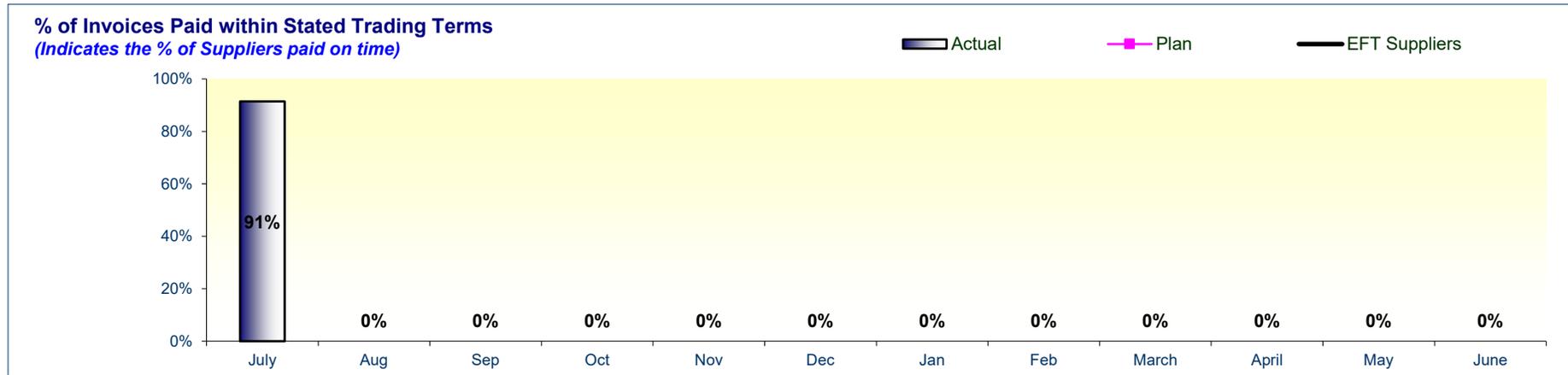
TENXXXX - RPQS Landscaping, Irrigation and Turf - Document Development
 TENXXXX - Service Maintenance of Airconditioning - Document Development
 TEN14685 - Provision of Security Services - Document Development
 TEN14797 - Frenchmans and Thozets Creeks Flood Study - On Hold
 TEN14893 - Corporate Salary Packaging Service - Closed 23 March - Under Evaluation
 TEN14963 - Recyclable Processing Services 2023-2033 - Document Development
 TEN14968 - Master Plan Design for proposed Sporting Precinct - Closed 18 May - Under Evaluation
 QUO14992 - Botanic Gardens & Zoo Enclosure Refurbishment - Closed 8 June - Under Evaluation
 QUO15012 - Street Scaping William Street - Closed 6 July - Decision not to award
 TEN15082 - RPQS for the Provision of Pre-Employment Drug & Alcohol Testing - Document Development
 QUO15151 - Sealed Road Network Assessment and Program - Closes 10 August
 QUO15102 - Natural Disaster Damage Inspections - Document Development
 TEN15107 - RPQS Supply of Electrical Equipment - Closed 20 July - Under Evaluation
 TEN15115 - Construction of Quay Lane Crossover Threshold Treatment - Document Development
 TEN15112 - PSA Supply of Internal Corporate Uniform - Closes 3 August
 CON15123 - Preventative Maintenance BMA Pilbeam Theatre - Document Development
 TEN15126 - Pre-Cast Concrete Motorsport Barricades - Closes 10 August
 TEN15127 - Installation of RCBC & SLBC at Norman Road & McMillian Avenue - Closes 10 August
 QUO15128 - Dry Hire of 1.5 Tonne Excavator - Document Development
 QUO15129 - Asbestos Inspections & Management Plans for Various Council Buildings - Closes 3 August
 TEN15139 - RPQS for the Supply of Traffic Control Services - Closes 10 August
 QUO15141 - Structural Assessment & Engineering Report for Kershaw Gardens Waterfall - Closes 3 August
 TEN15148 - Provision of Servicing & Inspections of Overhead Cranes - Closes 17 August
 TEN15153 - Construction of the Botanic Gardens & Zoo Visitor Hub - Document Development
 QUO15155 - Directional Drilling of Electrical & Communication Conduits - Intersection of Farm & Alexandra Street - Closes 12 August
 TEN15156 - Sale of Weathertex Panels - Document Development
 TEN15157 - RPQS Consultancy Services - Document Development
 TENXXXX - RPQS Marketing Promotions, Advertising & Media Services - Document Development

% Of top 100 Suppliers under Contract

The operational target is to have 90% of Council's top 100 suppliers covered by formal agreements. To date 97% of Council's top 100 suppliers are under formal agreements. The top 100 suppliers are the 100 suppliers with the largest reported quarterly Council expenditure and is reported quarterly.

Note: The % of top 100 suppliers under Contract for the July to September quarter will be completed in October.

% Of Invoices paid within stated trading terms



For this month, 91% of supplier invoices were paid within the Supplier's agreed payment terms (Op Target - 90% of Suppliers paid on time). The number of suppliers being paid by electronic funds transfer (EFT) is currently at 99% (target 90%).

Customer Request Statistics

Customer Requests Completed Monthly & Top 5 Customer Requests

	July	August	September	October	November	December	January	February	March	April	May	June
Requests Logged	3212											
Same month Completed	2454											
% completed same month	76%											
Completed Total for Month	3559											
Total Pending	2174											
Top 5 Requests for Month	Financial Rates Search Assets and Facilities Management Wandering & restrained for collection Duty Planner (new enquiry) Water Leak (Asset)											
Total outstanding customer requests up to 3 months old:				1364	Current Under Investigation Long Term up to 3 months old:				340			
Total outstanding customer requests between 3 to 6 months old:				403	Current Under Investigation Long Term between 3 to 6 months old:				100			
Total outstanding customer requests greater than 6 months old:				406	Current Under Investigation Long Term greater than 6 months old:				193			

Request Completed: Requested task or action has been completed (not just work order raised), or complaint has been investigated, action taken and correspondence finalised.

Conquest Work Order: A Work Order has been raised for maintenance, repair or future planned action.

Investigation Long Term: Requested task, action or complaint assigned to internal or external investigation, may include, but not limited to: Insurance, Planning, Legal, Civil or Domestic matter

COMMUNITY SERVICES

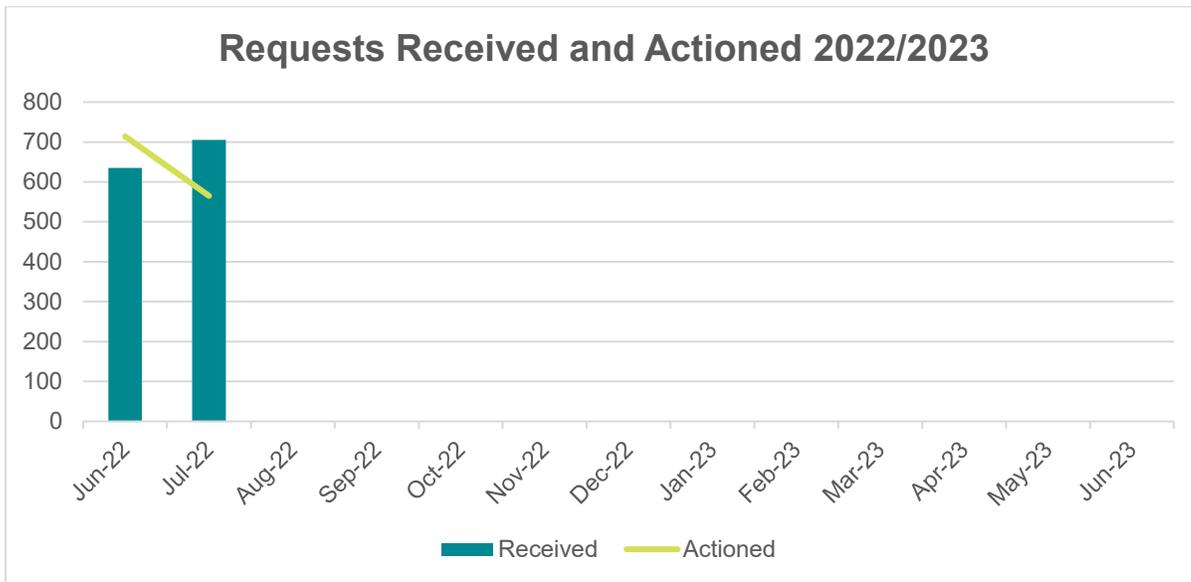
Directorate

Community Services departmental overview has commenced during council briefing sessions. Remaining sections Parks and Community Assets and Facilities to be presented at the briefing session for 6th September.

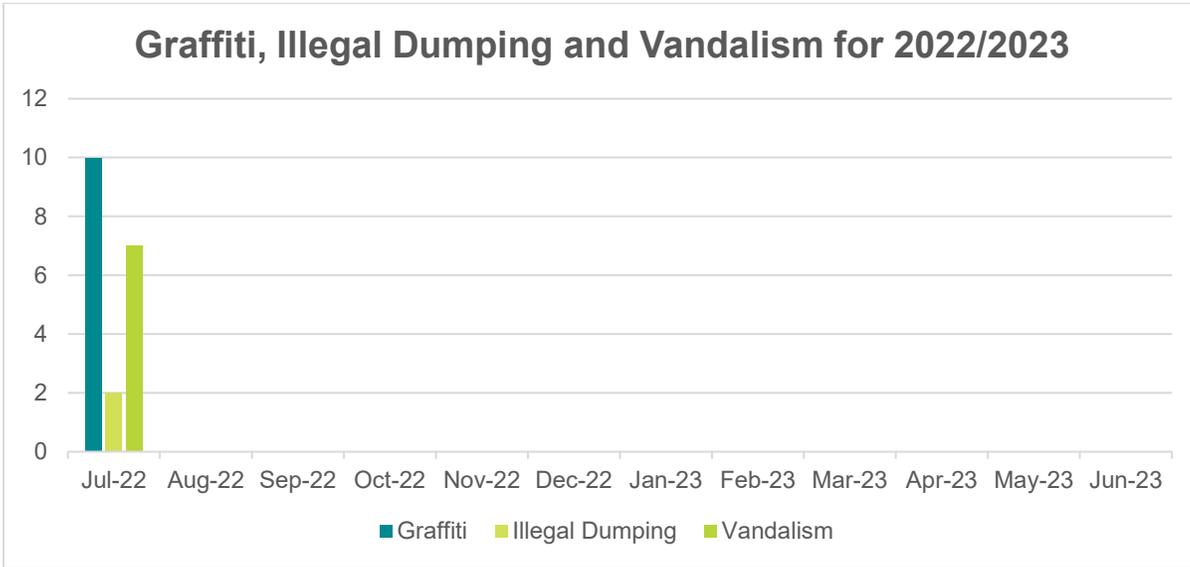
Community Assets & Facilities

POINTS OF INTEREST

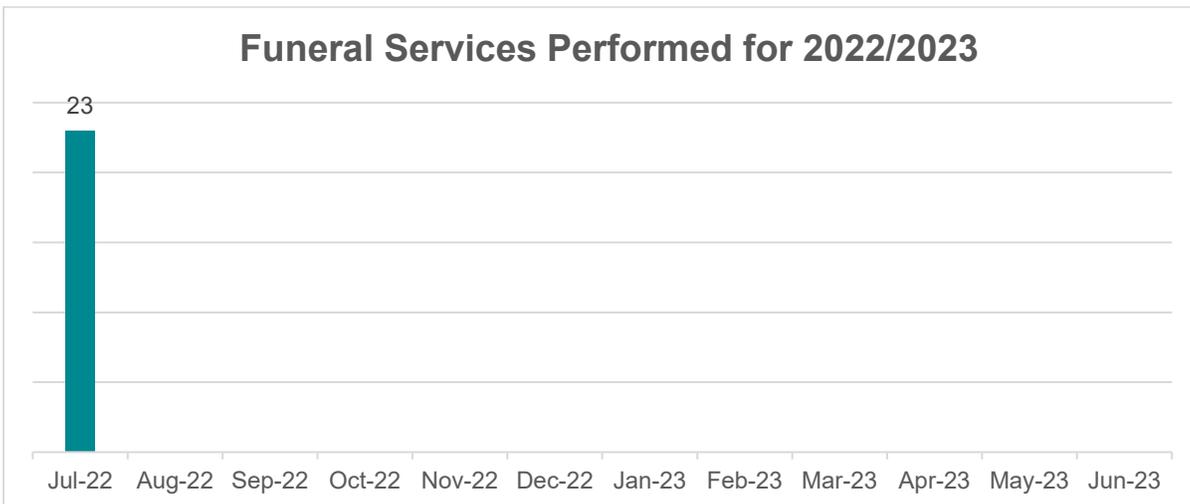
- Repairs have started on the riverbank pop jets and water curtain
- Consultant has been engaged to scope riverbank lift repairs
- Increase in vandalism and graffiti reported
 - 17 Police reports logged
 - Additional mobile CCTV deployed to touch of paradise lagoon, Cedric Archer Park
- Dooley St Depot solar system operational



Requests Received and Actioned 2022/2023													
	Jul-22	Aug-22	Sep-22	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	TOTAL
Received	705												705
Actioned	565												565



Graffiti, Illegal Dumping and Vandalism for 2022/2023													
	Jul-22	Aug-22	Sep-22	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	TOTAL
Graffiti	10												7
Illegal Dumping	2												2
Vandalism	7												5



Funeral Services Performed for 2022/2023													
Jul-22	Aug-22	Sep-22	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	TOTAL	
23												23	

After Hours Call Outs 2022/2023



After Hours Call outs 2022/2023													
	Jul-22	Aug-22	Sep-22	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	TOTAL
Cleaning	1												1
Cold Room/Air con													
Fire													
Glass Repairs													
Plumbing & Water													
Security	27												27
Staff	5												5
Total	33												33

Communities & Culture

POINTS OF INTEREST

MAJOR VENUES

The Pilbeam Theatre hosted great Australian touring acts such as the Ten Tenors and Goanna in July. The See It Live season partnered with local group Lock and Hock to produce the 2nd Women in Voice – Rockhampton to a standing ovation. Emmaus College commenced the annual high school musical season with their production of Beauty and the Beast.

The Rockhampton Showgrounds hosted the Rockhampton Home Expo, showcasing boating, camping and fishing with the Walter Reid Cultural Centre held Rockhampton Little Theatre’s production of ‘The Anniversary’.

HERITAGE VILLAGE

- Billboard signage erected
- Carpark resealed and line marked
- Very successful markets event held on 23 July
- Busy period for school tours and functions



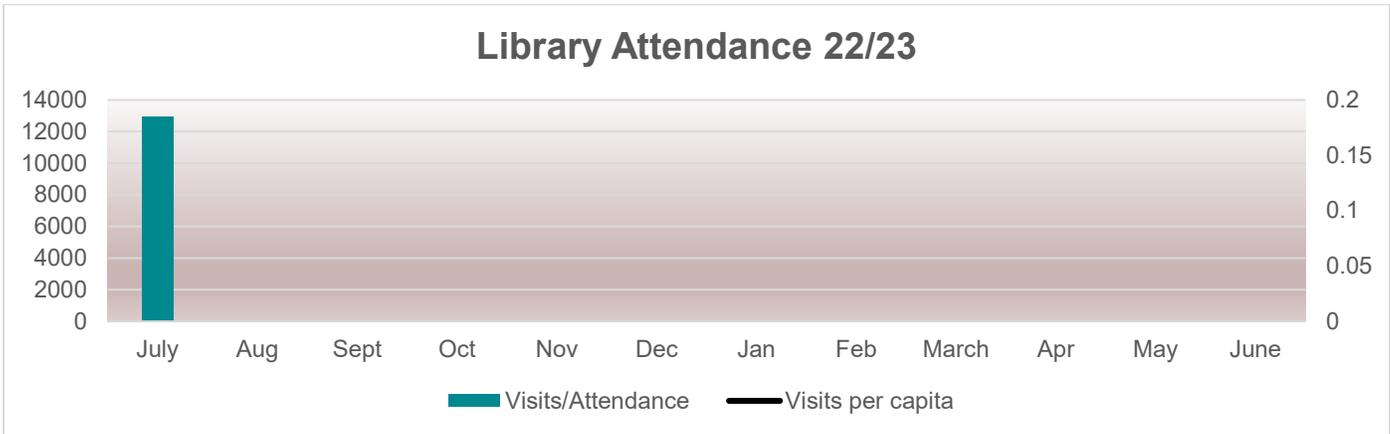
LIBRARIES

Some programming was cancelled due to COVID - author talk and Coffee with a Cop with two Financial Services seminars cancelled as Services Australia staff were diverted to help process NSW flood damage applications.

Regardless, strong numbers were still achieved with visits from Woorabinda Primary School - over three days, every student from Prep to Year 6 visited Rockhampton, calling first at the Southside Library for a tour and storytime before travelling on to the zoo to meet the meerkats. In total 192 children, teachers, aides and parents made the trip to the city.

Staffing at both the libraries and Child Care have been impacted by winter illnesses. On occasion preplanned leave combined with emergent sick leave has resulted in absences of 60% within the libraries. This includes an occasion of eight staff absent at one time due to COVID alone. Significant planning has been required to maintain child:staff ratios in the Child Care Centre.

Slightly lower Child Care utilisation due to the transition of some families has been fortuitous, ensuring the service has not fallen below ratio.



Library	YTD		20/21	19/20	Population
Attendance	12,903	143,145	123,157	183,604	81,512
Ratio Measure	0.16	1.76	1.51	2.26	4.8 Target



Library	YTD	20/21	19/20	SLQ Target
Membership	20,119	22,340	25,601	
Membership as % of pop.	24.00%	27.41%	31.58%	44%

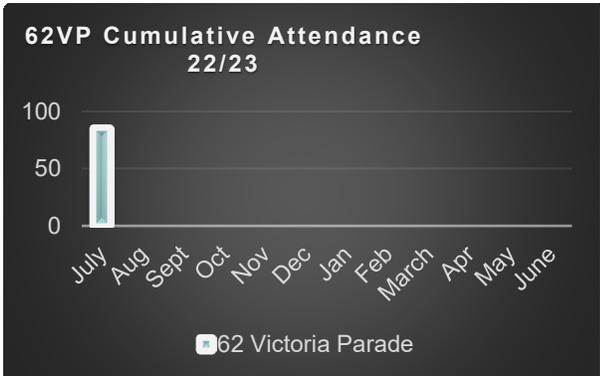
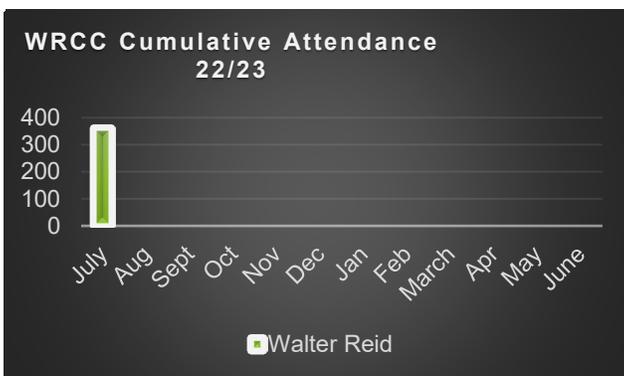
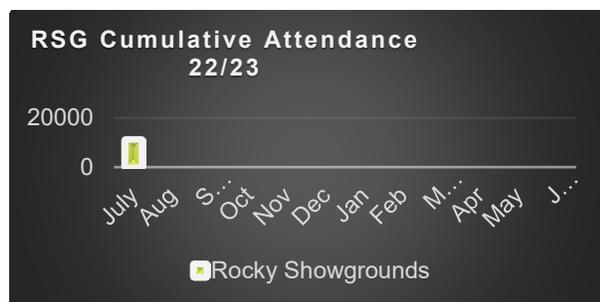
HISTORY CENTRE ATTENDANCE 21 /22

	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	YTD 22/23	21/22	20/21
Attendance	170													1,403	1,557

CHILDCARE STATISTICS UTILISATION % 21/22

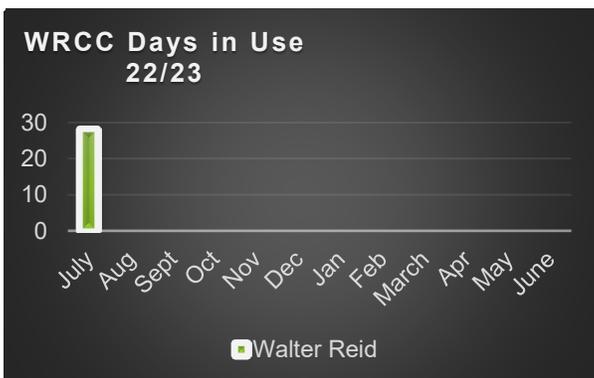
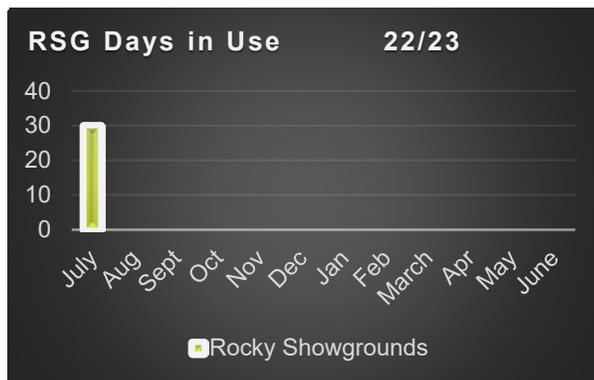
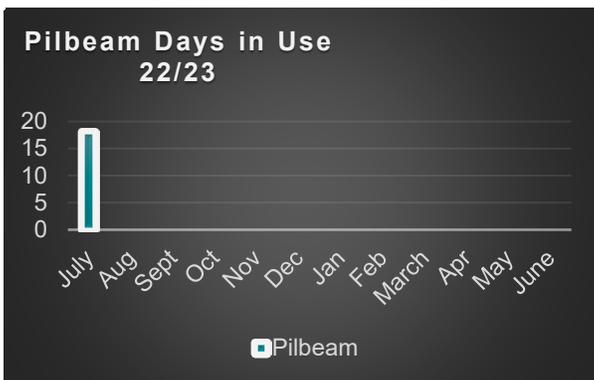
	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	YTD 22/23	21/22	20/21
Utilisation %	87														

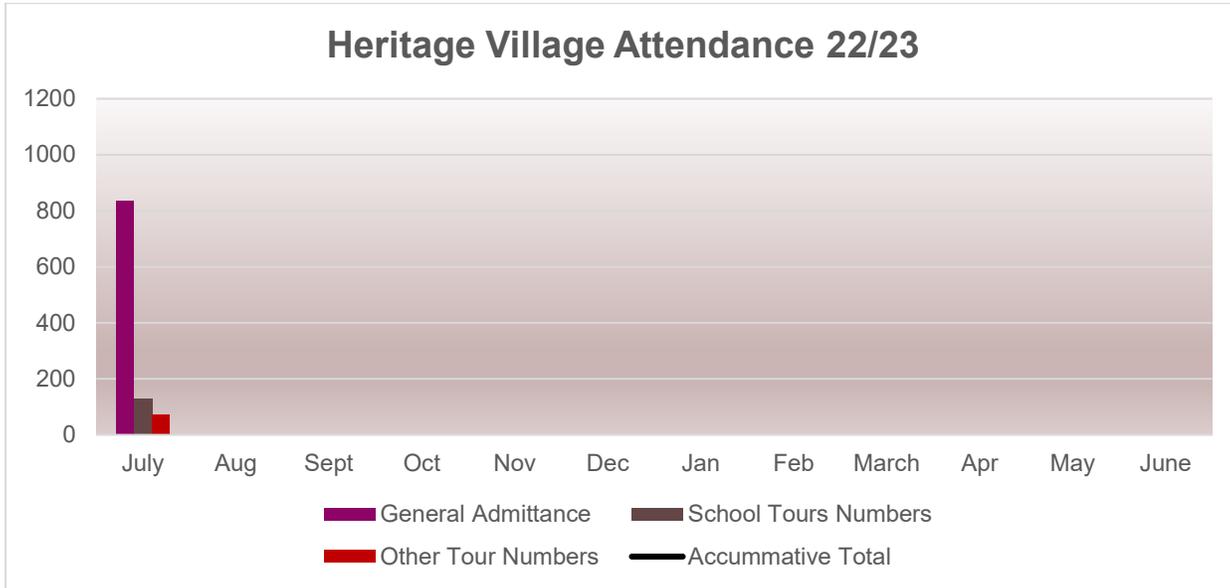
MAJOR EVENTS ATTENDANCE



Venue Calendar Days in Use	YTD 22/23		Venue Days in Use	YTD 22/23	21/22	20/21	19/20
Pilbeam	18		Pilbeam	18	240	209	240
Showgrounds	21		Showgrounds	30	355	251	235
Mt Morgan Showgrounds	2		Mt Morgan Showgrounds	2			
Walter Reid	23		Walter Reid	28	298	281	185
62 Victoria Parade	8		62 Victoria Parade	9	82	N/a	N/a

Venue Attendance	YTD 22/23	21/22
Pilbeam	4,022	52,176
Showgrounds	11,011	146,947
Mt Morgan Showgrounds	8	N/a





Attendance Numbers

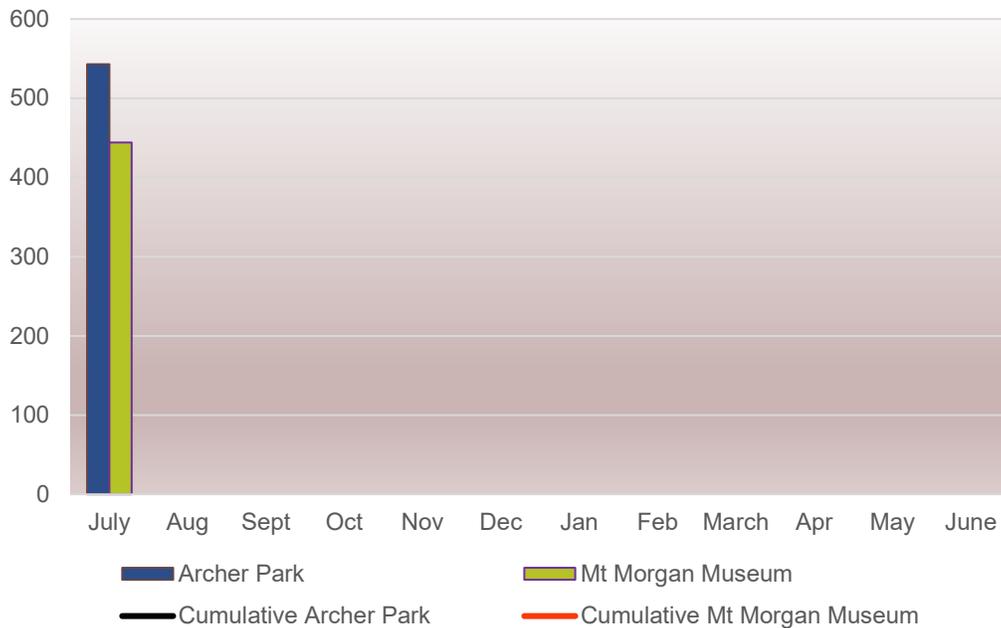
Heritage Village Visitor Types	YTD 22/23	2021/22	2020/21	2019/20
General Admittance	837	4,210	Closed	2,365
School Tours Numbers	130	731	Closed	1,747
Other Tour Numbers	72	146	Closed	277
TOTAL	1,039	5,087	0	4,389

Heritage Village Events & Markets	YTD 22/23	2021/22	2020/21	2019/20
School Holiday Activities July – 6-day period (rain affected)	256	1,801	Closed	1,520
School Holiday Activities Sept – 6-day period	-	803	Closed	797
School Holiday Activities Easter	-	967		
Cultural Festival	-	1,570	Closed	N/a
Markets	2641	2,944	Closed	5,596
Emergency Service Day, Halloween, Heritage Festival.	-	-	Closed	1,241
TOTAL	2,897	8,085	0	9,154

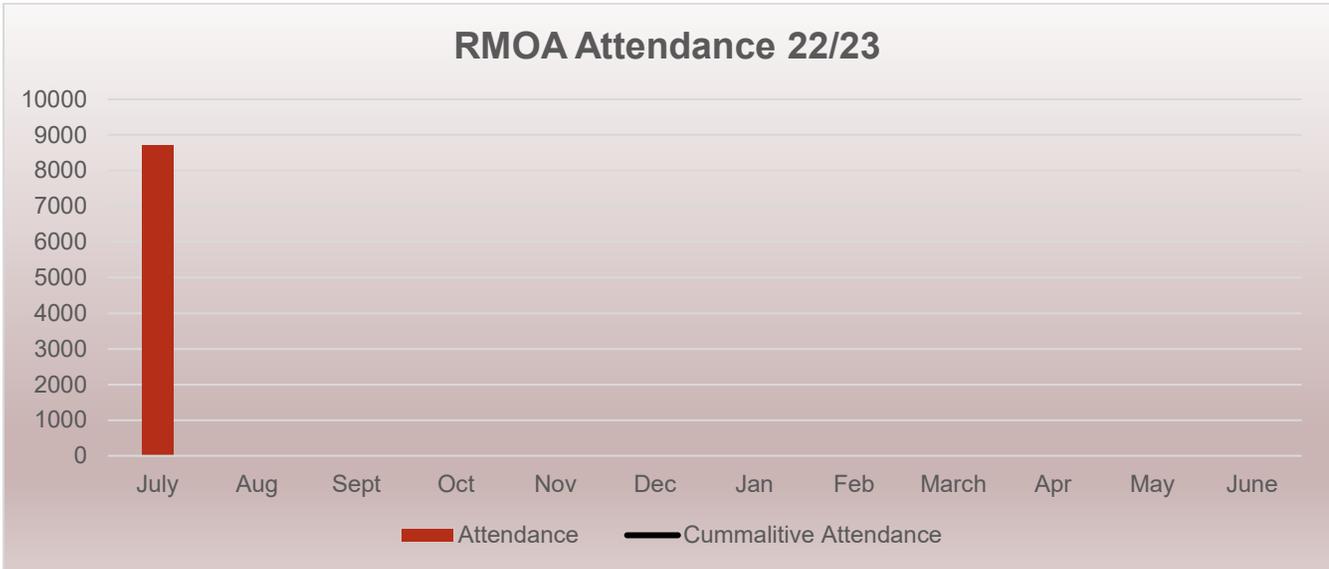
Monthly Volunteer Hours 22/23



Rail Museum's Attendance 2223



Museum Attendance	YTD 22/23	21/22	20/21	19/20
Archer Park Museum	543	4,713	4,072	5,211
Mount Morgan Museum	444	2,834	4,350	1,686



RMOA Activity	YTD	21/22
Programs	37	124
Member Events		9
Group Tour Bookings	2	9
Corporate Hire	2	15
Exhibitions	4	9
Artist in Residence	4 Weeks	Na
Shop Sales	\$9,769.68	Na

HOME ASSIST**State Government – Department of Communities, Housing & Digital Economy – Home Assist Program**

Measured Service Type	Reporting Hrs/ Month	Monthly Output Target	Year To Date Actual	Output Service Delivery Targets
Info Refer	219 hrs	105.68 hrs	219 hrs	1,429.76
Home Maintenance	699 hrs	775.04 hrs	6990hrs	9,300.56

CQ Home Assist Secure assisted 358 homes for the first time this year, in State Funded clients' homes services with a total of 544 jobs in July 2022

CHSP – Federal Funding**Federal Government – Department of Health – Commonwealth Home Support Program (CHSP)**

Measured Service Type	Current Monthly Outputs	Monthly Output Service Delivery Target	YTD Actual	Financial Year Service Delivery Target
Garden Maintenance	202.25 Hrs	See below	See below	See below
Major Home Maintenance	309.42 Hrs	See below	See below	See below
Minor Home Maintenance #incl Field Officer Travel, First Interviews/Info Refers Minor Home Maintenance Field Officer Additional Hours	255.75 Hrs	See below	See below	See below
Total Measure output hours	767.42 Hrs	467.75 Hrs	7048.10 Hrs	5,613 Hrs
Complex & Simple Mods	\$0	\$40,774	\$0	\$489,288

CQ Home Assist Secure serviced 368 Federally Funded clients' homes, with a total of 728 jobs in July 2022

The program CQ Home Assist Secure - 2,387 calls in July 2022

As at 31 July 2022 the CQ Home Assist Program has 10,470 registered clients on our books.

Parks

POINTS OF INTEREST

Zoo Highlights

- Donated \$8,819 to CQU Koala Research
- Donated \$8,819 to FFI for chimpanzee project in Liberia
- Both above amounts annual (2021-2022) income raised through 15% of meerkat encounters and 15% of zoo donations
- Awarded Trip Advisor Travelers Choice Award for 2022 = we are in the top 10% of attractions worldwide.
- Work continues on Gibbon Enclosure, progressing well. Gibbons ETA early October.

Zoo Visitation

Measure	Measurement	July 2022	July 2021
Zoo Visitors	Numbers	14,150	14,542
Animal Encounters	Encounters Sold	33	7
	\$ Sold	\$9,600	\$3,300
	Encounters Free	0	0
	\$ Equivalent Free	0	0

Note: Visitation number are an estimate only as gate counter is faulty.

Sports and Recreation

- Officers have formally entered into discussions about the regions capacity/suitability to host the **2022 touch Football Junior State Cup**. CEO Greg Denny from Queensland Touch Football has attended site 5 August 2022 meeting with Officers and representative from Council to discuss.

The Carnival would take place in July 2023 and utilise both Norbridge Park and Cyril Connell fields. If successful, this event would be considered the largest junior sporting event delivered by our region.

- Brothers AFC & Council Officers (Parks, CAF, Projects) have worked closely over the past 12 months in preparation to deliver a field lighting project at Kele Park (AFL).

Recognising Brothers AFL’s commitment as project leader, securing over \$800,000 in funding, including the Club direct contribution, collectively we’ve made this project a reality with completion expected before the 2023 AFL season.

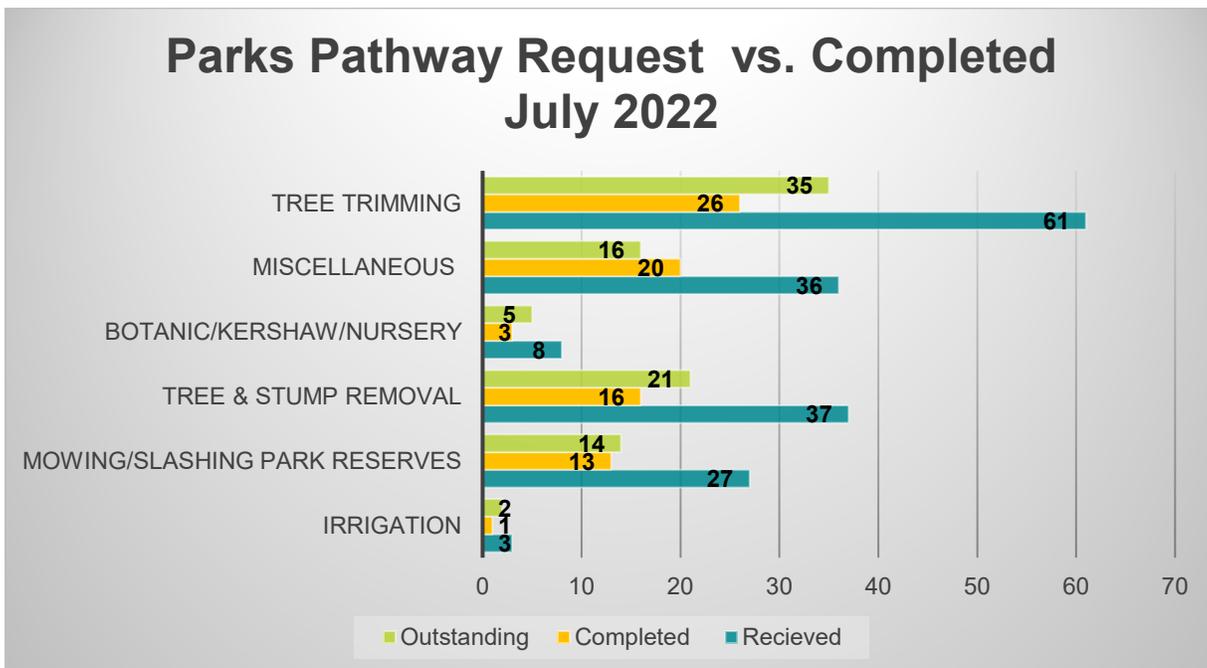
Botanic Gardens

- Nil flying fox’s present in the Gardens and ongoing management with ongoing dawn spotting program beginning.
- Arboriculture of trees damaged by the flying fox roosts, to remove future roosting sites and improve the overall health and vigor of the trees including public safety.
- Ibis management program has begun for the season with active management techniques of egg and nest removal with DES permit guidelines
- New gardener has been appointed as result of our successful trainee program and ongoing recruitment with one position to fill

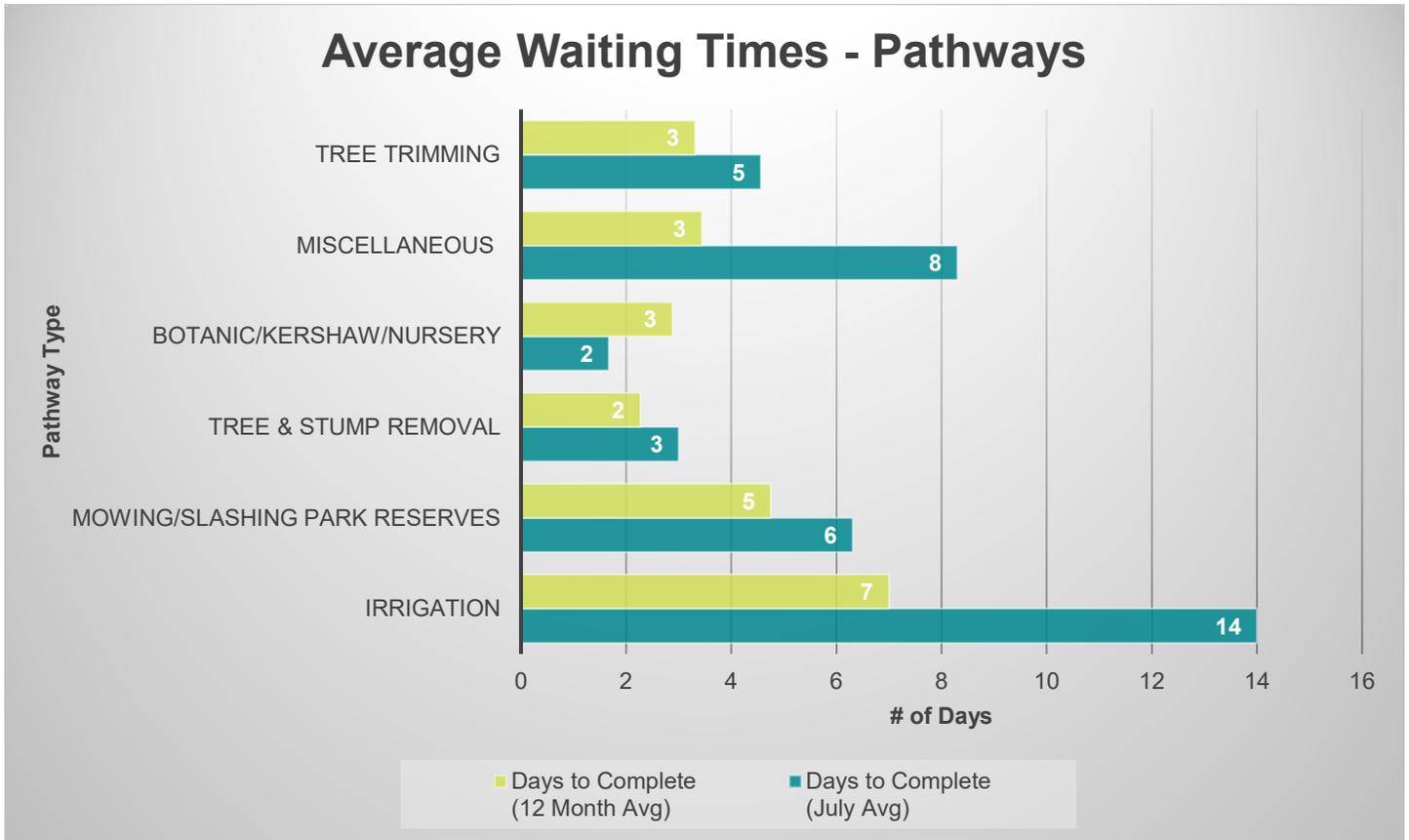
Kershaw Gardens

- Irrigation improvements, planning and efficiencies to irrigate areas within the garden which are lacking at the moment. This will allow the team to curate the site and start replanting the rainforest that was destroyed by cyclone Marcia
- Arboriculture activities throughout the gardens to remove unsafe trees and senescing specimens.
- Renovation of bus stop site picnic shelter with assistance of friends of the gardens planting out.

PARKS PATHWAY REQUESTS



Commentary: The above graph demonstrates July’s total Pathways received by *Type* with a total of **172** Pathways received for the month of July 2022 with a **45%** completion rate.



Commentary: The above graph demonstrates the average number of days to process each pathway type. Data displayed represents July’s average vs the overall average for the past 12 months.

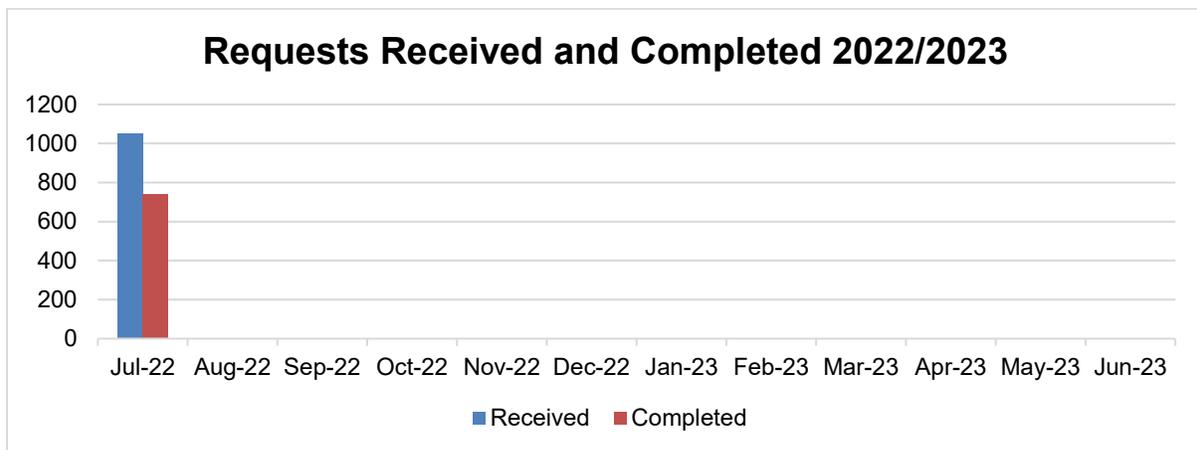
Note: Measure is based on “Business Days”

Planning & Regulatory Services

POINTS OF INTEREST

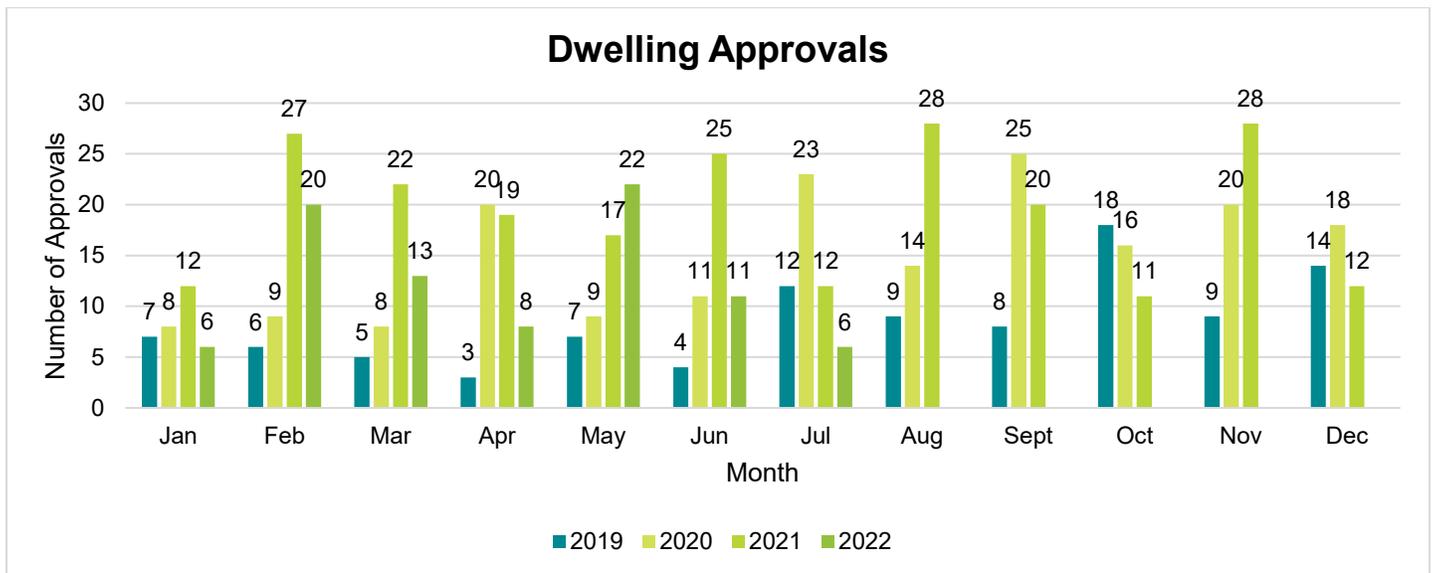
- Development Assessment will be participating along with the other top 13 Local Government Areas by population in providing quarterly data to the Urban Development Institute of Australia (UDIA). The data will be published on the UDIA website via dashboard. The dashboard tracks the volume of incoming development applications and decision timeframes for key application types quarterly. The provided development application data will give UDIA members an indicator of local development activity and timeframes. With the inclusion of Rockhampton Regional Council, transparency and essential representation will be provided for the region.
- July saw the departure of flying foxes from the Botanical Gardens. We are working on a way forward to implement a program to deter them from returning.

CUSTOMER REQUESTS RECEIVED AND COMPLETED

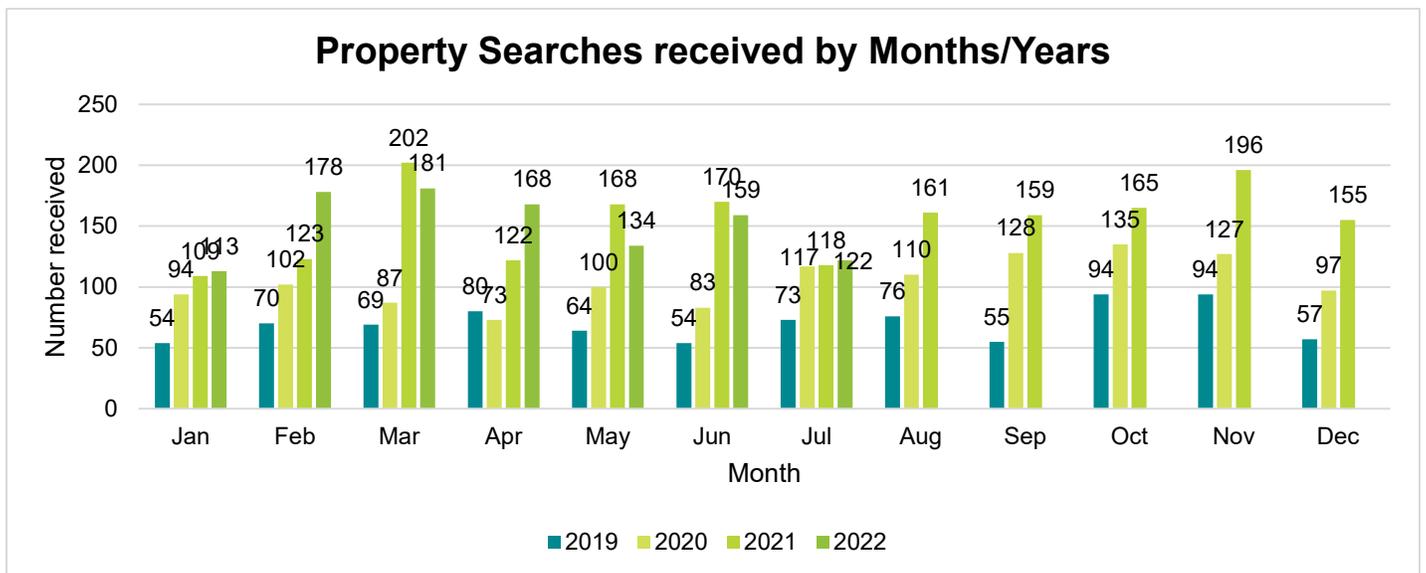


Requests Received and Completed 2022/2023													
	Jul-22	Aug-22	Sep-22	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	TOTAL
Received	1054												1054
Completed	740												740

DWELLING APPROVALS IN THE REGION



PROPERTY SEARCHES



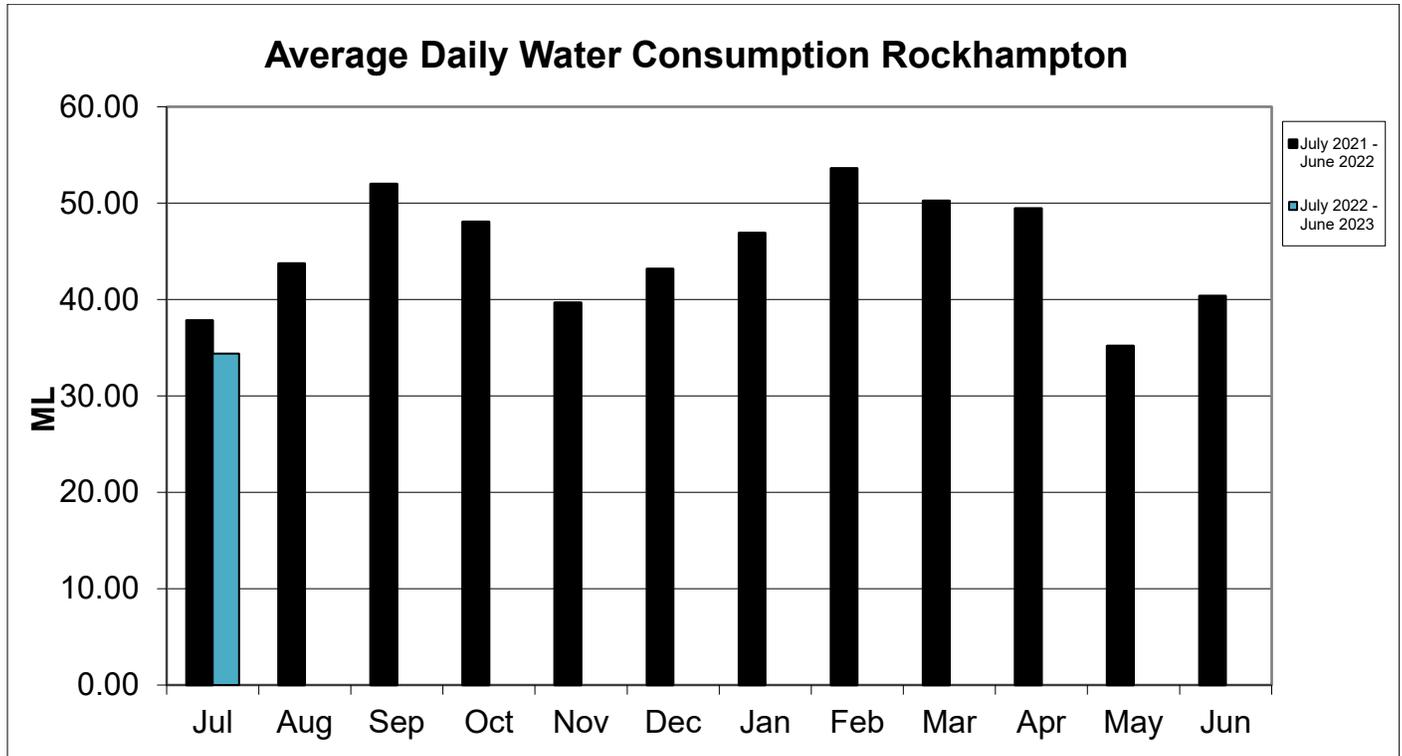
REGIONAL SERVICES

Fitzroy River Water

Drinking Water Supplied

Data is presented in graphs from July 2021 to June 2022 and July 2022 to June 2023.

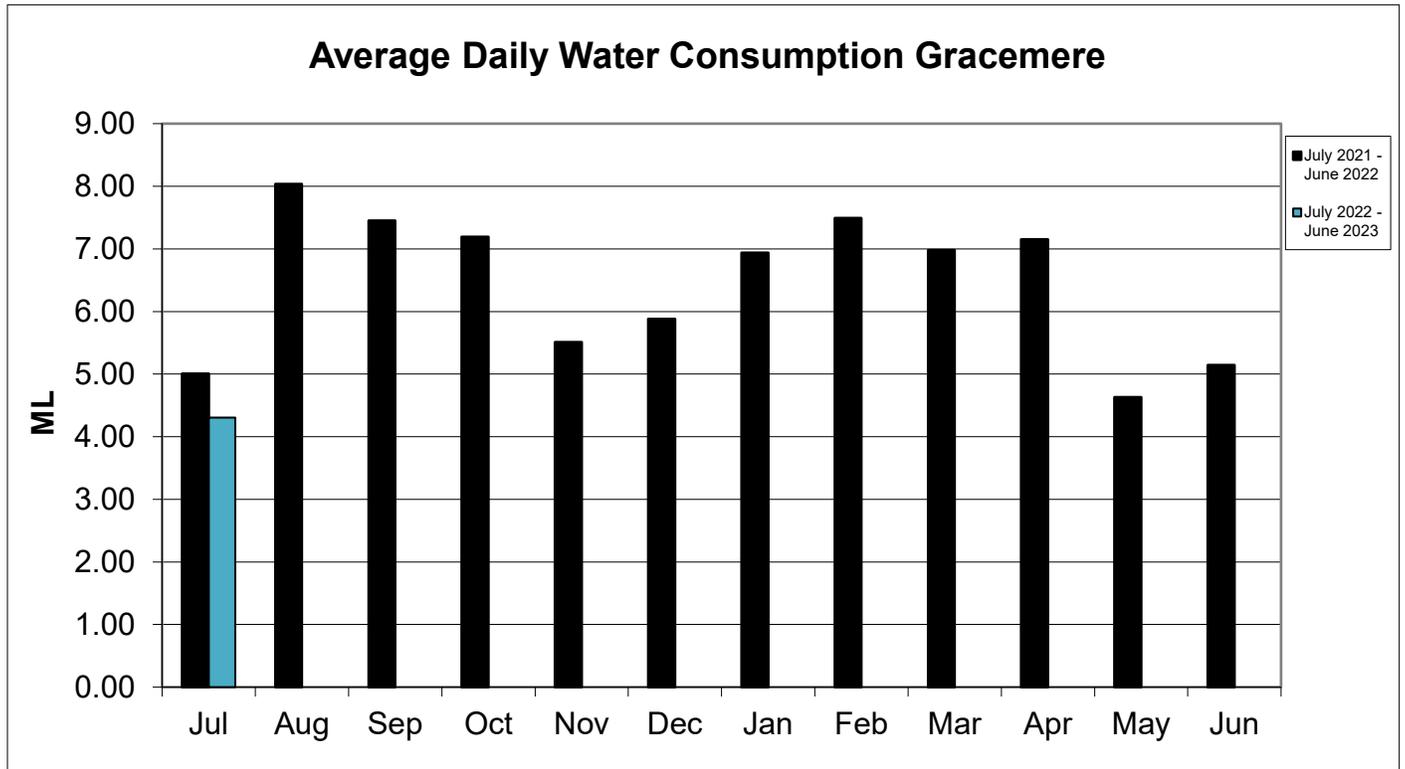
Rockhampton



Average daily water consumption during July (34.38 ML per day) decreased compared to that recorded in June (40.38 ML per day) and was lower than that reported in the same period last year. The decreased consumption was due to significant unseasonal rainfall in July.

The Fitzroy Barrage Storage is currently at 99.5% of accessible storage volume and is therefore well above the threshold in the Drought Management Plan used to trigger the implementation of water restrictions.

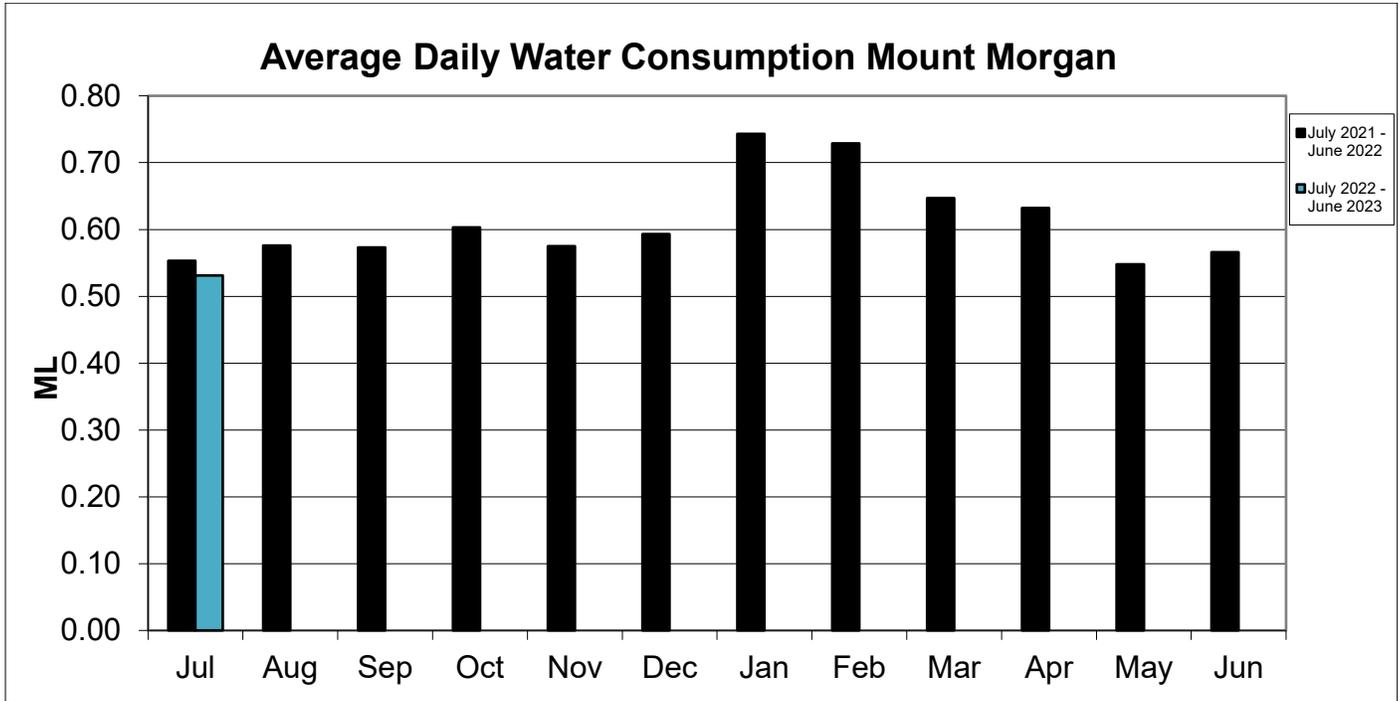
Gracemere



Average daily water consumption during July (4.31 ML per day) decreased compared to that recorded in June (5.14 ML per day) and was lower than that reported in the same period last year. The decreased consumption was due to significant unseasonal rainfall in July.

The Fitzroy Barrage Storage is currently at 99.5% of accessible storage volume and is therefore well above the threshold in the Drought Management Plan used to trigger the implementation of water restrictions.

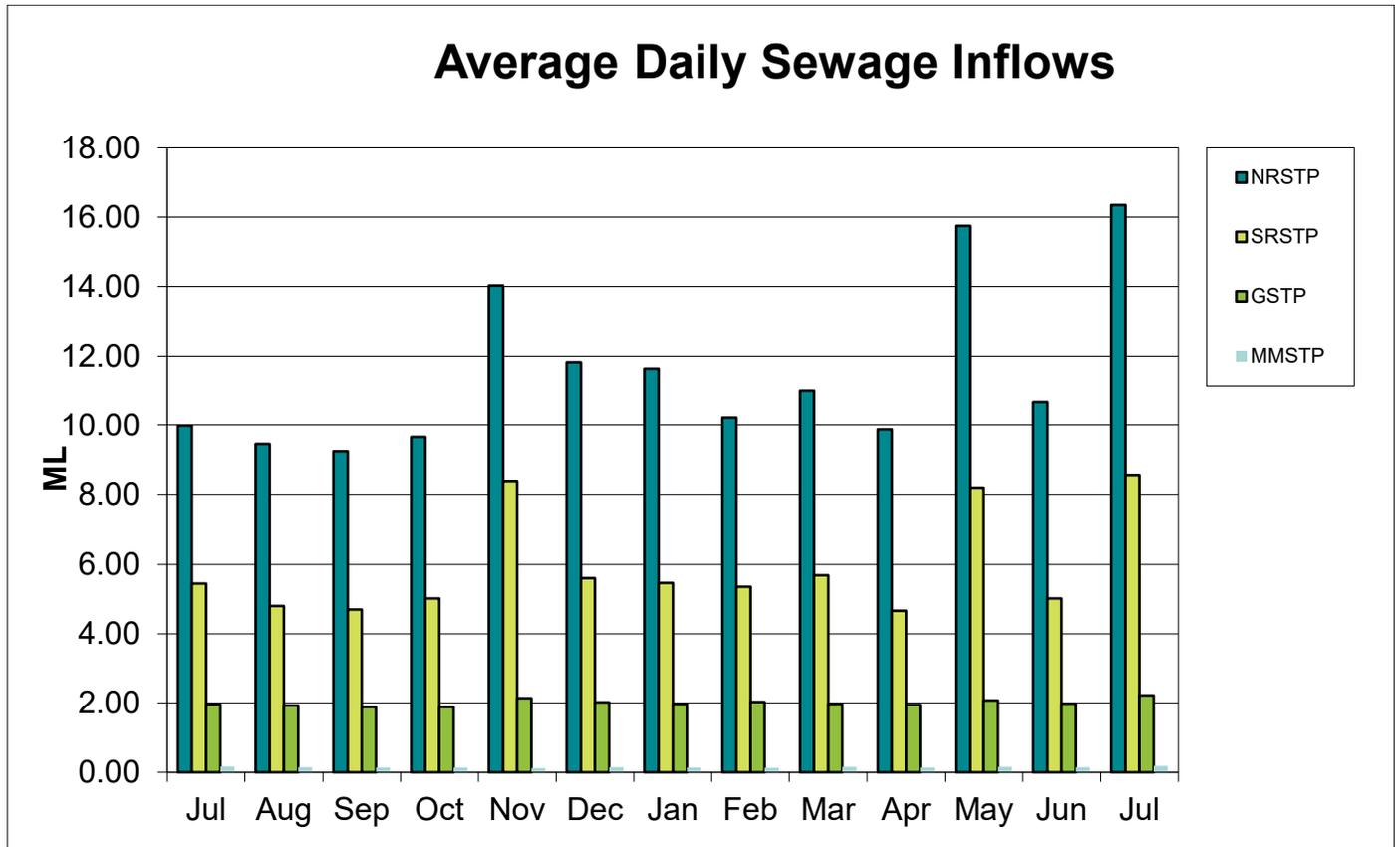
Mount Morgan



Average daily water consumption during July (0.53 ML per day) decreased compared to that recorded in June (0.57 ML per day) and was lower than that reported in the same period last year. The decreased consumption was due to some rainfall in July.

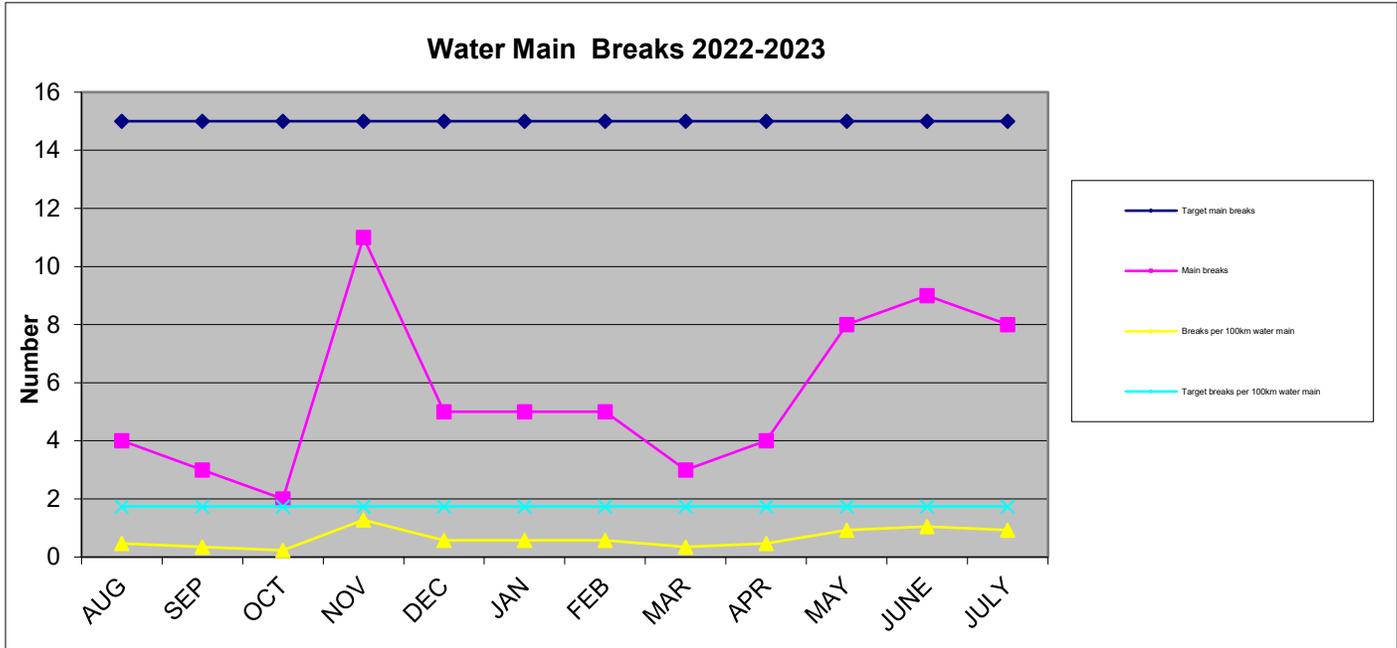
Mount Morgan remains on Level 6 Water Restrictions. Mount Morgan No. 7 Dam storage is currently at 24%. The town water supply continues to be 100% supplied with tankered potable water from Gracemere.

Sewage Inflows to Treatment Plants



Average daily sewage inflows during July increased in all STPs compared to that recorded in June. The increased inflows were due to the unseasonal rainfall received during the month. Inflows from all STPs were higher compared to that recorded in the same period last year.

Regional Water Main Breaks



Performance

Target achieved with a slight decrease in breaks from recent months, water main breaks continue to trend at an acceptable level. Changing weather conditions, reduced consumption and ground movement could well be contributing factors to recent failures.

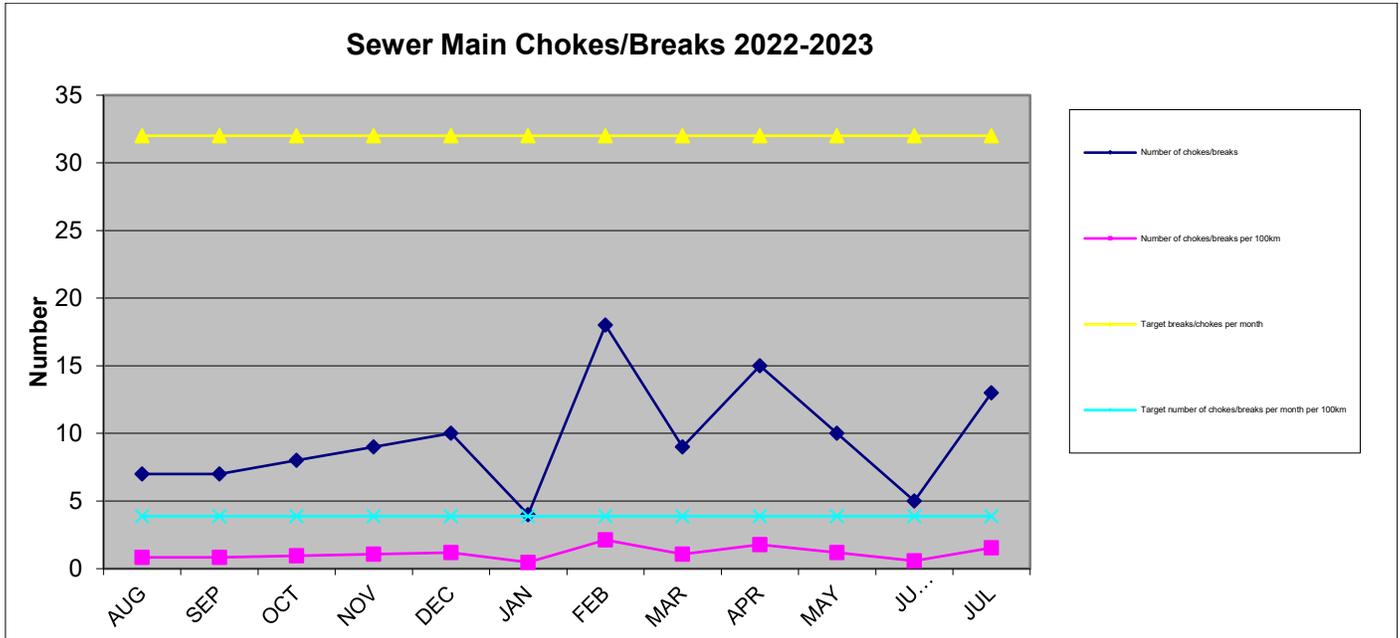
Response to Issues

Continued defect logging and pressure management will help to reduce failure occurrences. Water mains experiencing repeated failures are assessed for inclusion in the annual Water Main Replacement capital program.

	Number of Main Breaks	Target Main Breaks	Breaks per 100 km	Target Breaks per 100 km	Rolling average per 100 km
July	8	15	0.93	1.77	0.93

Locality	Main Breaks
Rockhampton	8
Mount Morgan	0
Regional Total	8

Rockhampton Regional Sewer Main Chokes/Breaks



Performance

Target achieved; it is still evident that mainline sewer blockages are continuing to remain at an acceptable level in line with capital sewer refurbishment programs.

Issues and Status

Data indicates that a high percentage of blockages/overflows continue to be caused by defective pipes resulting in tree root intrusion.

Response to Issues

Continued defect logging, CCTV inspection and assessment for inclusion in the Capital Sewer Main Relining and rehabilitation programs.

	Number of chokes/breaks	Target chokes/breaks per month	Number of chokes/breaks per 100 km	Target number of chokes / breaks per month per 100km	Rolling 12 month average per 100 km chokes / breaks
July	13	32	1.5	3.88	1.53
Locality		Surcharges		Mainline Blockages	
Rockhampton		7		13	
Mount Morgan		0		0	
Regional Total		7		13	

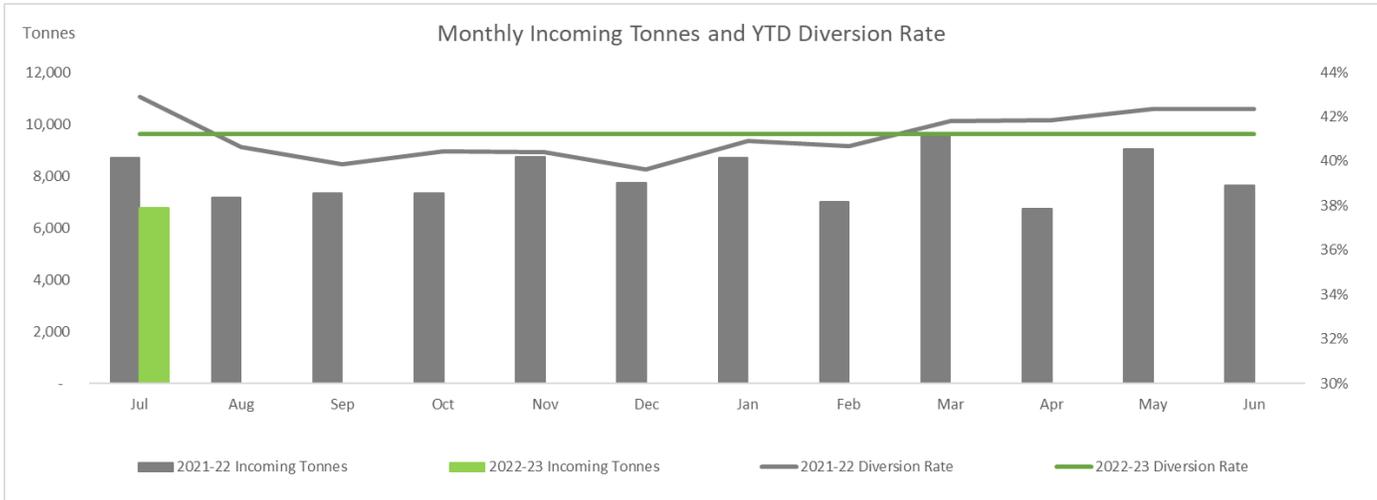
Water Meter Replacement

	Number completed	FY to date totals
Reactive Replacement	182	182
Planned Replacement	0	0
Regional Total	182	182

Water meter replacements continue to be carried out on a reactive basis, failed meters and meters meeting select criteria are replaced reactively. Reinstatement of the capital water meter replacement program is being considered for upcoming financial years.

Rockhampton Regional Waste and Recycling

Total Incoming Tonnes



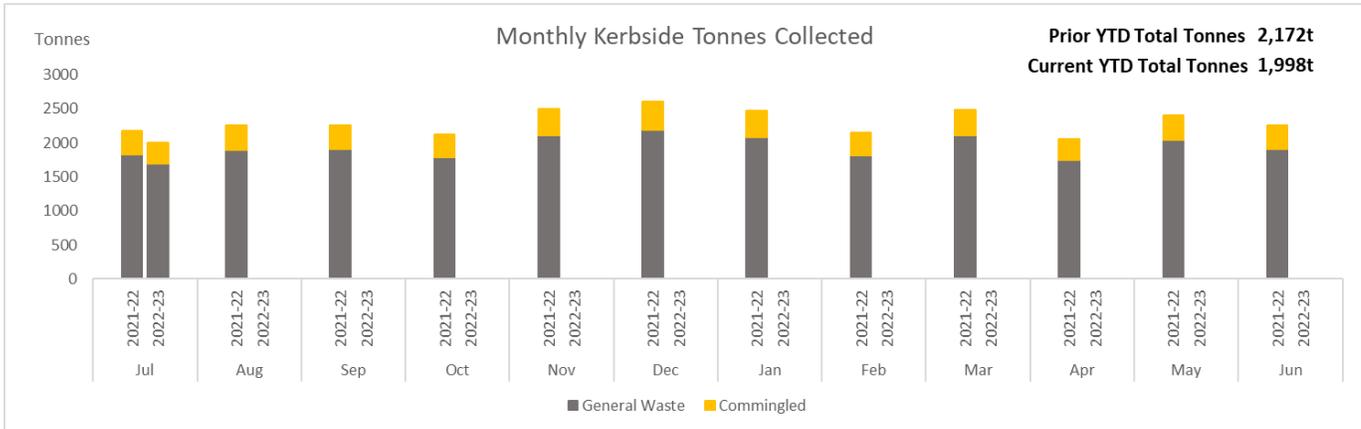
Reading this Chart

Diversion rate is % of incoming waste we recover as oppose to burying in landfill. This is a strategic KPI measuring our progress to zero waste to landfill by 2050. Incoming tonnes is an indicator of the waste generation trends in our region, and the impact our current strategies are having on reducing those trends. Current year performance is shown in green.

Current Commentary

July activity was significantly down across the board compared with previous July, although it is a less dramatic drop if compared with August through October from previous year. The assumption is that it is a function of school holidays and reduced green waste we are now receiving at the gate compared with this time last year. The relative proportions of incoming to landfill remain largely consistent, with overall recovery rate down to 41% for July.

Kerbside Tonnes



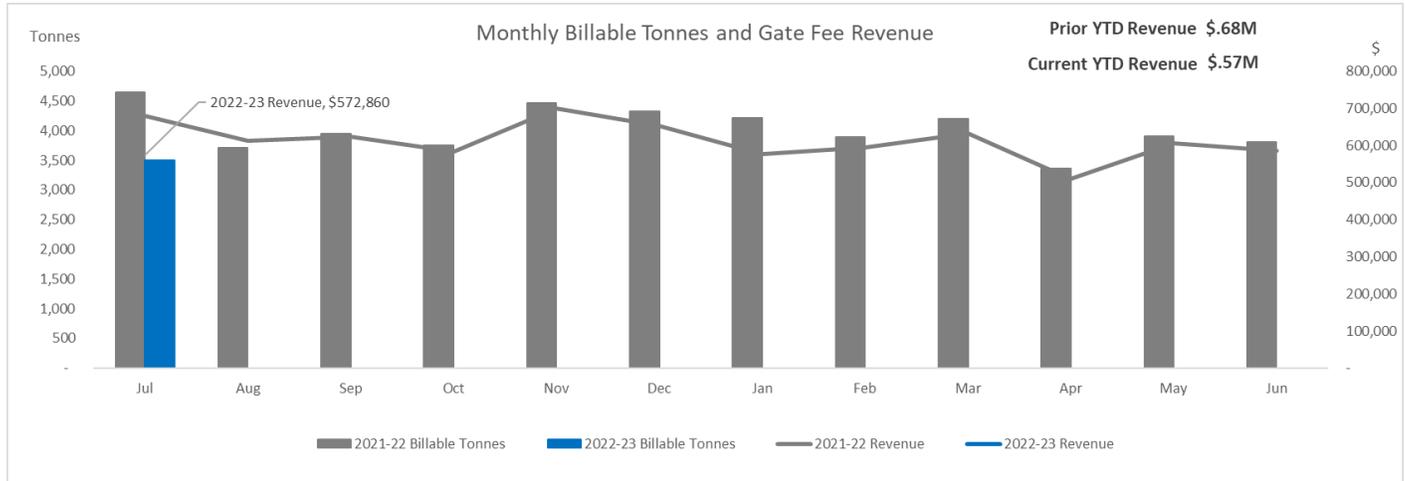
Reading this Chart

Showing total waste generation and recovery rates at the kerbside, providing an indicator of the extent to which we are diverting household waste and meeting our strategic KPI to reduce household waste by 25% by 2050.

Current Commentary

Total kerbside tonnes are down this period compared with last year, again, presumed to be impact of school holidays and generally dry period. The proportion of recycling in the overall tonnes presented continues to decrease, now sitting at just 15%.

Billable Tonnes



Reading this Chart

This is a critical measure of waste facility activity levels, the long-term financial sustainability of the business unit, as well as being a relatively strong indicator of economic activity levels in our region. Current year performance is shown in blue.

Current Commentary

Incoming billable tonnes was low this period, at just 3,494 tonnes, yielding \$572,000 in revenue. All major categories of incoming waste were low compared with last year’s monthly average. No specific causes identified, although again, the reduction in green waste from this time last year is a factor in these July figures.

Civil Operations – Operational Projects

Progress as at 11 August 2022

In terms of scope, schedule and budget, the project is:



on track



generally on track,
with minor issues



off track

Project	Planned Start Date	Planned End Date	On Track	Comment	Approved Monthly Budget Review	YTD actual (incl committals)
Rural	1 July 2022	30 June 2023		14.2%	\$7,321,000	\$1,038,015
Urban Central	1 July 2022	30 June 2023		24.3%	\$21,505,500	\$5,221,593
Urban West	1 July 2022	30 June 202		10.4%	\$1,919,000	\$200,518

ADVANCE ROCKHAMPTON

Key Regional Statistics

Gross Regional Product – \$5.56B (June 2021)

Population – 82,311 (June 2021)

Unemployment Rate – 6.1% (March 2022)

Labour Force – 39,375 (June 2022)

Registered Businesses – 5,187 (April 2022)

House Rental Vacancy Rate – 0.4% (June 2022)

Industry Development – Infrastructure Project Updates

ASMTI Shoalwater Bay Project

- Part of a \$2.25B investment in Central and Northern Queensland.
- 86% of work packages awarded
- Workers Onsite: 532 in May 2022
- Completion expected - 2024

Construction of Rookwood Weir

- Project Cost: \$367 million
- 70% CQ Workforce, 250 pax onsite camp.
- Completion expected mid-late 2023

Boulder Creek Wind Farm

- Up to 60 Wind Turbines
- Project Cost: \$750 million
- DA application approved, early works commenced.
- Completion expected 2023

Clarke Creek Wind Farm (Stage One)

- Official Sod Turning in July 2022
- 100 Wind Turbines (Stage Two: 90 Wind Turbines, Battery and Solar Project)
- Total Project Cost: \$3B (Stage 1 and 2)

- Procurement to commence early 2023
- Workforce mobilization early-mid 2023 (estimated 300 at peak)
- Completion date - tbc

Bravus Carmichael Mine & Rail Corridor

- 2000+ employees – continued recruitment for operators, trades and engineering personnel.
- Rail corridor, CHPP and airport now operational.
- Ongoing recruitment, procurement and commissioning of major plant throughout 2022.

Rockhampton Ring Road

- Project Cost: \$1.065B – 17.4km Road and bridge works
- Package 1 'South' - Acciona & Fulton Hogan commencing January 2023
- Package 2 'North' – BMD & Bielby JV commencing April 2023
- Completion date and workforce numbers – tbc

Events

- 7 Rocky River Run | 22 May 2022 – donation to charities approved by Council. RUOK Conversation Convoy event and presentation planned for early August.
- CapriCon | 27 August 2022 – key performer and sponsor agreements finalised. Event marketing and ticket sales in progress.
- Capricorn Food and Wine Festival | September 2022 – support agreement finalised.
- River Festival | 7-9 October 2022 – planning continues, activations locked in, entertainment and trade eoi released, event footprint established and community/business engagement commenced. Culture and communities and RMOA approached to collaborate on art deliverables.
- Rockynats03 | 7-9 April 2023 – Dates announced. Sponsors, media and community advised. Activation at Rocky Expo during July. Event registrations opened for cars and bikes with significant uptake in first week.

Good engagement continues on websites and social media pages for all events.

Capricorn Event Engagement

Facebook:

Fans - 4,730 – up 200 from previous month

Impressions – 337,584

Engagements – 15,608

Website:

Visits – 10,428, Page Views – 26,276, Unique Visitors – 8,368

Tourism Infrastructure

Hotel, Flights and Explore Rockhampton Visitor Information Centre

Hotels & Flights	Hotels Average Occupancy	Hotels Average Daily Rate	Flights Inbound	Flights Outbound
TY	80%	\$171	22,917	22,627
LY	73.2%	\$166	15,751	16,236
VAR	+6.8%	+\$5	+7,166	+6,391

Explore Rockhampton VIC	Walk-ins	Intrastate	Interstate	International
TM	1943	586	1285	72
LM	1444	579	813	52
VAR	+499	+7	+472	+20

Tourism Positioning and Marketing

Billboards

- Rockhampton Airport (exit only) - 32K REACH
- Rockhampton Airport toilets (departures lounge) - 16K REACH
- East & Fitzroy - 203K REACH
- Brisbane, Townsville, Mackay, Sarina, Hervey Bay, Dalby, Toowoomba & Emerald (Put Rocky on your Radar branding)

Social, Print, Digital

- Meerkat Encounter Video Launch
- Families Campaign Video Launch
- Explore Rockhampton
- Ride Rocky, It's Rad marketing
- Fox Superflow MTB Event
- Stop, See, Stay on your next Family Vacay Campaign

TOTAL MARKETING REACH ACROSS ALL PLATFORMS = 1.3M+

Tourism Positioning - Projects

- Submission for Qld Tourism Awards 2022
- Fox Superflow Mountain Biking Event
- 2022 Families Summer Holiday Campaign
- Tourist Map Upgrade and Interactive Map developed
- Ambassadors 'ExploreShaw' commissioned

Social Media

@ExploreRockhampton

	Facebook			Instagram		
	Reach	Views	Likes	Impressions	Engagement	Followers
TM	74K	476	9.9K	25K	1370	2,598
LM	37K	469	9.7K	24K	1400	2,504
VAR	+37K	+7	+200	+1K	+30	+94

NB: Facebook reach and Instagram impressions significantly higher this month due to the launch of families' campaign and other cross posting from My Rockhampton.

@MyRockhampton

	Facebook				
	Reach	Views	Likes	Impressions	Engagements
TM	23K	654	14K	97K	6K
LM	32K	779	14K	119K	10K
VAR	-9K	-125		-22K	-4K

@AdvanceRockhampton

	Linkedin			
	Impressions	Engagements	Post Clicks	Followers
TM	13K+	1500	1100	1530
LM	9.5K+	1300	1000	1500
VAR	+3,5K	+200	+100	+30

@FishingTheFitzroy

	Facebook		
	Reach	Views	Likes
TM	12K	359	23K
LM	51K	491	23K
VAR	-39K	-132	

NB: Reach and engagement lower due to less video content and potentially the unfavourable weather conditions during period.

Engagement with Explore Rockhampton and Advance Rockhampton websites remain consistent with slight variations from month-to-month dependent upon in-market campaigns.

11 NOTICES OF MOTION

11.1 NOTICE OF MOTION - COUNCILLOR SHANE LATCHAM - COUNCILLORS ATTENDANCE AT FUTURE BOWEN BASIN MINING CLUB LUNCHEONS

File No:	10072
Attachments:	1. Correspondence to Chief Executive Officer advising of Notice of Motion ↓
Responsible Officer:	Ross Cheesman - Acting Chief Executive Officer

SUMMARY

Councillor Shane Latcham has indicated his intention to move the following Notice of Motion at the next Council Meeting scheduled for Tuesday 23 August 2022, as follows:

COUNCILLOR'S RECOMMENDATION

THAT Council approve Councillors attendance at any Bowen Basin Mining Club meetings in Mackay; during their current term of office.

BACKGROUND

Rockhampton Regional Council (RRC) has had a highly visible presence at Bowen Basin Mining Club since 2012. There has been a long association of RRC Councillors attending Bowen Basin Mining Club luncheons.

The Bowen Basin Mining Club provides the largest networking events for the resource mining industry in the Bowen Basin.

The last Bowen Basin Mining Club meeting was held in Rockhampton on Thursday 28th July 2022. The event was well supported by resource mining industry representatives and businesses who had travelled from afar as Brisbane, Emerald, and Mackay.

Associated costs shall be expended from within the Councillor Travel Expenses allocation. This would include the registration fee, travel by vehicle and meals to attend the event. Accommodation is not required.

**NOTICE OF MOTION –
COUNCILLOR SHANE LATCHAM -
COUNCILLORS ATTENDANCE AT
FUTURE BOWEN BASIN MINING CLUB
LUNCHEONS**

**Correspondence to
Chief Executive Officer advising of
Notice of Motion**

Meeting Date: 23 August 2022

Attachment No: 1



Councillor Shane Latcham

Division 1
Waste and Recycling Portfolio
shane.latcham@rrc.qld.gov.au
0437 857 736

10 August 2022

Mr Evan Pardon
Chief Executive Officer
Rockhampton Regional Council
232 Bolsover Street
ROCKHAMPTON QLD 4700

Dear Evan

Notice of Motion

I hereby give notice of my intention to move the following motion at the meeting of Council on Tuesday 23 August 2022.

"THAT Council approve Councillors attendance at any Bowen Basin Mining Club meetings in Mackay; during their current term of office."

Yours faithfully

A handwritten signature in blue ink, appearing to read "Shane Latcham".

Councillor Shane Latcham
Division 1
Rockhampton Regional Council

11.2 NOTICE OF MOTION - COUNCILLOR DONNA KIRKLAND - ALGWA TRAVEL TO BRISBANE

File No:	10072
Attachments:	1. Correspondence to Acting Chief Executive Officer ↓
Responsible Officer:	Nicole Semfel - Acting Senior Executive Assistant to the Mayor Ross Cheesman - Acting Chief Executive Officer

SUMMARY

Councillor Donna Kirkland has indicated her intention to move the following Notice of Motion at the next Council Meeting scheduled for Tuesday 23 August 2022, as follows:

COUNCILLOR'S RECOMMENDATION

THAT Council approve Councillor Donna Kirkland's attendance at the ALGWA (Australian Local Government Women's Association), Annual General Meeting to be held in Brisbane on Thursday 1 September 2022.

BACKGROUND

With branches in every state and territory in Australia, the National group is a collaborative body that seeks to strengthen networking, mentoring and innovative opportunities that encourage and support women in Local Government.

This AGM is for the Queensland Branch bringing women from Local Governments across the state together, providing networking opportunities that foster inter council connections and relationship building.

The day will also host training with Peak Services on Media Relations and Speech Writing with Kim Skubris.

Associated costs shall be expended from the Councillor Travel Expenses allocation. This would include the flight travel, transfers and accommodation. Meals will be paid for by Councillor Kirkland.

**NOTICE OF MOTION –
COUNCILLOR DONNA KIRKLAND -
ALGWA TRAVEL TO BRISBANE**

**Correspondence to
Acting Chief Executive Officer**

Meeting Date: 23 August 2022

Attachment No: 1



Councillor Donna Kirkland
Division 7
Water and Environmental Sustainability Portfolio
donna.kirkland@rrc.qld.gov.au
0436 380 490

15 August 2022

Mr Ross Cheesman
Acting Chief Executive Officer
Rockhampton Regional Council
232 Bolsover Street
ROCKHAMPTON QLD 4700

Dear Ross

Notice of Motion

I hereby give notice of my intention to move the following motion at the meeting of Council on Tuesday 23 August 2022.

“THAT Council approve Councillor Donna Kirkland’s attendance for the ALGWA (Australian Local Government Women’s Association), Annual General Meeting to be held in Brisbane on Thursday 1 September 2022.”

Yours faithfully

A handwritten signature in black ink, appearing to read "D. Kirkland".

Councillor Donna Kirkland
Division 7
Rockhampton Regional Council

12 QUESTIONS ON NOTICE

Nil

13 URGENT BUSINESS/QUESTIONS

Urgent Business is a provision in the Agenda for members to raise questions or matters of a genuinely urgent or emergent nature, that are not a change to Council Policy and can not be delayed until the next scheduled Council or Committee Meeting.

14 CLOSED SESSION

In accordance with the provisions of section 254J(3) of the *Local Government Regulation 2012*, a local government may resolve to close a meeting to the public to discuss confidential items, such that its Councillors or members consider it necessary to close the meeting.

RECOMMENDATION

THAT the meeting be closed to the public to discuss the following items, which are considered confidential in accordance with section 254J(3) of the *Local Government Regulation 2012*, for the reasons indicated.

15.1 Legal Matter

In accordance with section 254J(3)(e) of the *Local Government Regulation 2012* it is considered necessary to close the meeting to discuss legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.

15 CONFIDENTIAL REPORTS

15.1 LEGAL MATTER

File No: 5827

Attachments: 1. QLGGC Letter dated 15 August 2022

Authorising Officer: Damon Morrison - Manager Workforce and Governance
Ross Cheesman - Acting Chief Executive Officer

Author: Allysa Brennan - Coordinator Legal and Governance
Marnie Taylor - Chief Financial Officer

In accordance with section 254J(3)(e) of the *Local Government Regulation 2012* it is considered necessary to close the meeting to discuss legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.

SUMMARY

The purpose of this report is to provide Councillors with an update on a current legal matter and seek approval to proceed as outlined in the report.

16 CLOSURE OF MEETING