

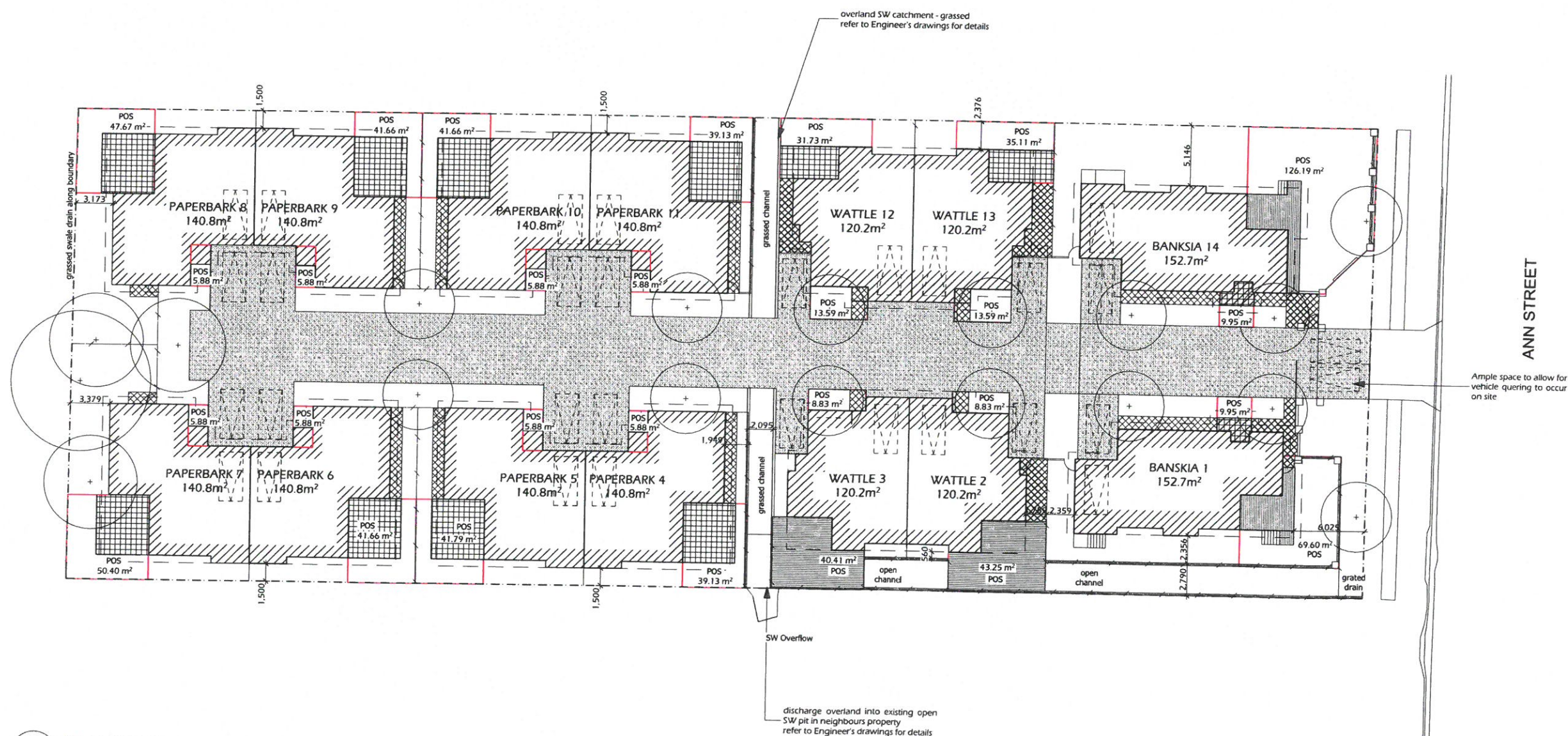
<b>Total Site Area</b>	<b>4,452m<sup>2</sup></b>
<b>Banksia Area</b>	
Single Storey Dwelling Unit (3 Bed)	
Max. Building Height	5.8m
Lockable	131.8m <sup>2</sup>
Entry, Patio	20.9m <sup>2</sup>
<b>Gross Floor Area</b>	<b>152.7m<sup>2</sup></b>
<b>Wattle Area</b>	
Single Storey Dwelling Unit (2 Bed)	
Max. Building Height	5.8m
Lockable	105.3m <sup>2</sup>
Entry, Patio	14.9m <sup>2</sup>
<b>Gross Floor Area</b>	<b>120.2m<sup>2</sup></b>
<b>Paperbark Area</b>	
Single Storey Dwelling Unit (2 Bed)	
Max. Building Height	5.8m
Lockable	120.3m <sup>2</sup>
Patio	20.5m <sup>2</sup>
<b>Gross Floor Area</b>	<b>140.8m<sup>2</sup></b>
<b>Landscaped Area</b>	
Garden Beds	295.75m <sup>2</sup> (6.6%)
Grassed	1,029.85m <sup>2</sup> (23.1%)
Deck, Path	166.3m <sup>2</sup> (3.7%)
<b>Total Landscaping</b>	<b>1,491.9m<sup>2</sup> (34%)</b>
<b>Impervious Area</b>	
Driveway	885.2m <sup>2</sup> (19.8%)
Stormwater	141.5m <sup>2</sup> (3.2%)
Buildings	1,912.6m <sup>2</sup> (42.9%)
<b>Total Impervious Area</b>	<b>2,939.3m<sup>2</sup> (66%)</b>

**Rockhampton Regional Council**  
 Town Plan: Rockhampton City Council Planning Scheme  
 Zone: The Range South Residential Area  
 Precinct: None  
 Use: Multiple Dwelling Units (14 Units)

**Material Change of Use (MCU) Impact Assessable**

LOT 21 ON RP602602  
- SITE AREA: 0.2226 ha (2,226m<sup>2</sup>)  
- EASEMENT: none

LOT 22 ON RP602602  
- SITE AREA: 0.2226 ha (2,226m<sup>2</sup>)  
- EASEMENT: none



These plans are approved subject to the current conditions of approval associated with Development Permit No. D/300-2014  
Dated: 18.12.2015

NOTED SCALES RELATE  
TO A1 DRAWINGS

rev	description	date
SK1.0	sketch issue	24.10.2017
SK1.1	sketch issue	03.11.2017
SK1.2	sketch issue	13.11.2017
DA1.0	development application issue	28.11.2017
DA1.1	development application issue	02.12.2017
DA1.2	response to information request	09.02.2018
DA1.3	further response to information request	13.03.2018



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BDAQ Member: #0001235

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Project Name:  
**PROPOSED MULTIPLE DWELLINGS**

Client:  
**KELE PROPERTY GROUP  
(QLD) PTY LTD**

Project Address:  
12-14 ANN STREET,  
WEST ROCKHAMPTON 4700

Drawing Title:  
**SITE LAYOUT PLAN:  
PROPOSED**

Status: Development Application Issue

Issue #: DA1.3	Job Number:
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Scale: as shown 1408-0

Sheet: 2 of 8	Page Number:
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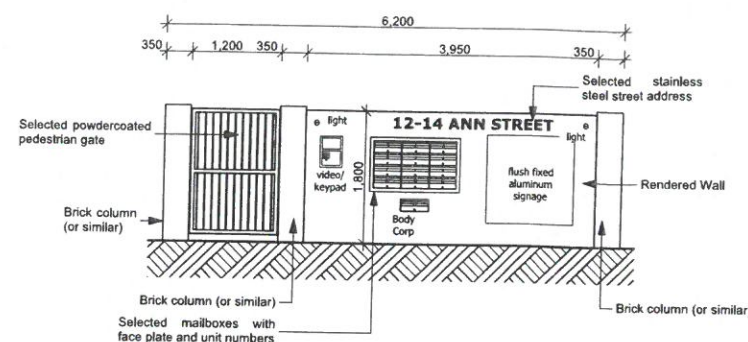
Drawn By: rid DA - 01

12:30 PM 25/03/2015



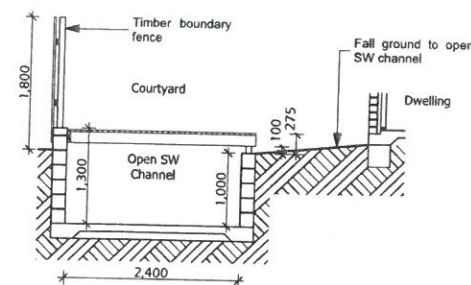
LANDSCAPING LEGEND		
SURFACES	PLANTING	PREPARATION
<p>Denotes 'River Pebbles' or similar planted with feature species as noted</p> <p>Denotes grassed / lawn areas</p> <p>Denotes mulched garden areas planted with species as noted</p> <p>Denotes sealed concrete driveway, car parking and vehicle manoeuvring areas</p> <p>Denotes external timber decking areas</p> <p>Denotes external brushed concrete areas</p> <p>Denotes external polished concrete slabs as required</p> <p>Denotes external living areas finished with selected exterior floor tile</p>	<p>hedge Denotes 'Lily Pilly' species for hedging. Body Corporate to maintain at 1.0m in height</p> <p>Denotes dense garden areas planted with low growing clumping and small bush species to a max height of 1.0m. Species include:</p> <ul style="list-style-type: none"> <li>- Acacia</li> <li>- Lomandra hystrix</li> <li>- Westringia</li> </ul> <p>Denotes small shrubs to max 2m height. Species included:</p> <ul style="list-style-type: none"> <li>- 'paperbark' malleuca</li> <li>- banksia</li> <li>- grevillea</li> </ul> <p>Denotes selected street tree to max 10m height. Species included:</p> <ul style="list-style-type: none"> <li>- 'tuckeroo' cupaniopsis anacardioides</li> <li>- 'bottlebrush' callistemon</li> </ul>	<p><b>PLANTED AREAS</b></p> <p>Cultivate sub grade to 100mm depth. Cultivate Gypsum @ 250g/m<sup>2</sup> into subgrade. Spread topsoil to a minimum 200mm depth. Provide selected mulch over to 100mm thick.</p> <p><b>LAWN AREAS</b></p> <p>Cultivate subgrade to 10mm depth. Cultivate Gypsum @ 250g/m<sup>2</sup> into subgrade. Spread topsoil to minimum 100mm depth. Lay turf to edges. Fill all gaps and roll.</p> <p><b>GENERAL</b></p> <p>Provide a suitably timed, auto-matic water system to all lawn and garden areas.</p> <p>Extent of garden areas to be confirmed on-site by Owner.</p> <p>All species shown are indicative only. Owner to confirm exact size, species, location and number of plantings required.</p>

2 Landscape Legend



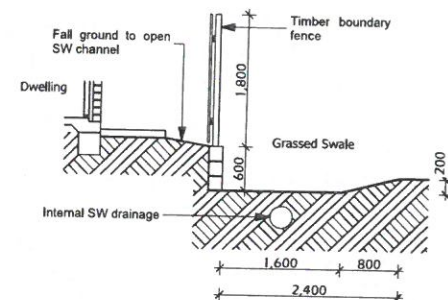
3 DETAIL A

Scale 1:50 at A1 / 1:100 at A3



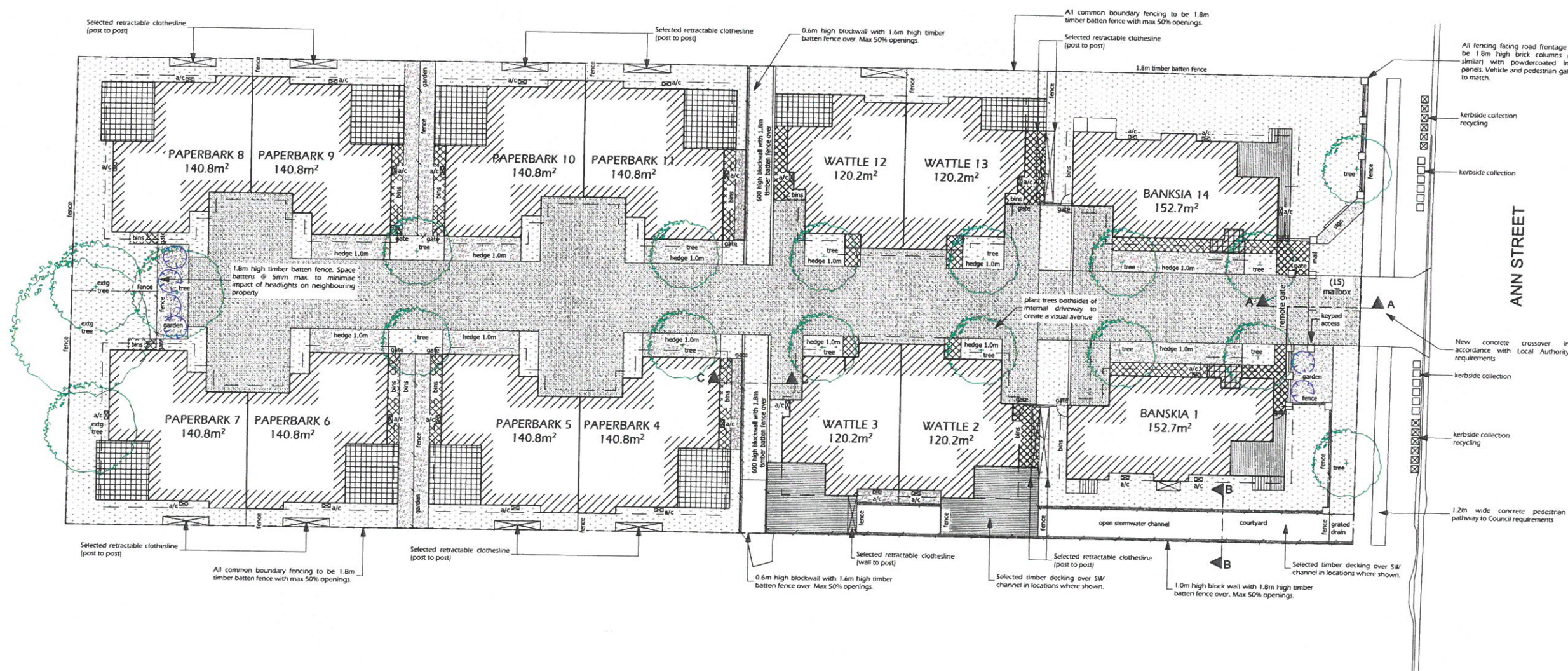
4 DETAIL B

Scale 1:50 at A1 / 1:100 at A3



5 DETAIL C

Scale 1:50 at A1 / 1:100 at A3



1 SITE LAYOUT PLAN : LANDSCAPING

Scale 1:200 at A1 / 1:400 at A3

**ROCKHAMPTON REGIONAL COUNCIL**

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Dated: **18.12.2015**

rev	description	date
SK1.0	sketch issue	24.10.2014
SK1.1	sketch issue	03.11.2014
SK1.2	sketch issue	13.11.2014
DA1.0	development application issue	28.11.2014
DA1.1	development application issue	02.12.2014
DA1.2	response to information request	09.02.2015
DA1.3	further response to information request	13.03.2015



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Project Name:  
**PROPOSED MULTIPLE DWELLINGS**

Client:  
**KELE PROPERTY GROUP (QLD) PTY LTD**

Project Address:  
**12-14 ANN STREET, WEST ROCKHAMPTON 4700**

Drawing Title:  
**SITE LAYOUT PLAN : LANDSCAPE**

Status: Development Application Issue

Issue #: DA1.3 Job Number:  
**1408-08**

Scale: as shown

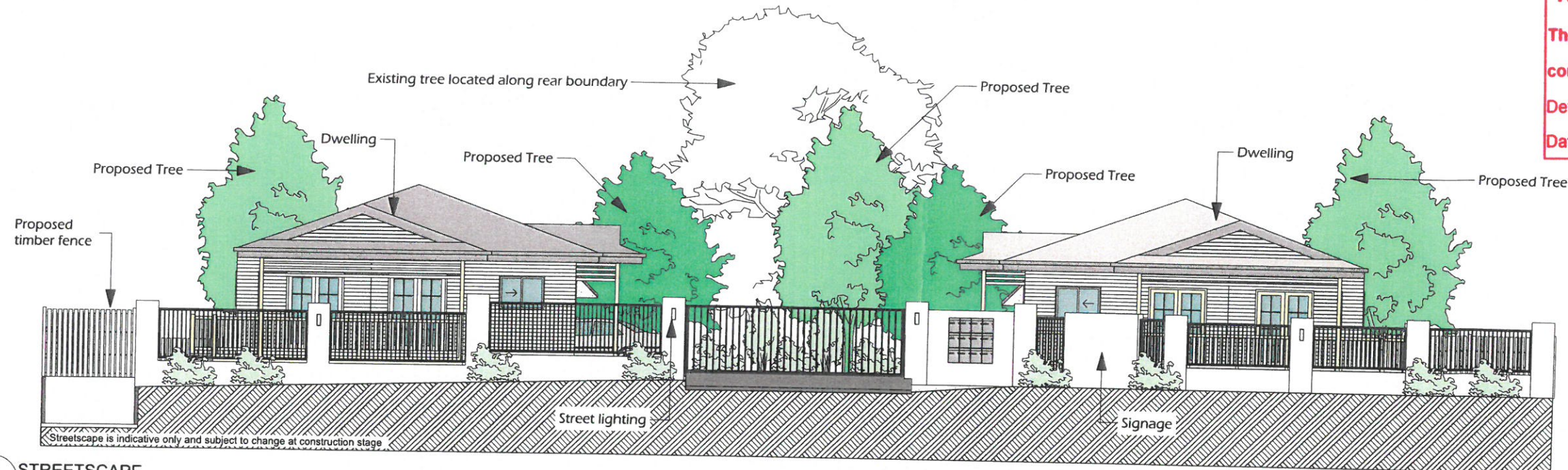
Sheet: 3 of 8 Page Number:  
**DA - 03**

Drawn By: rjd

Print: 12:30 PM 25/03/2015

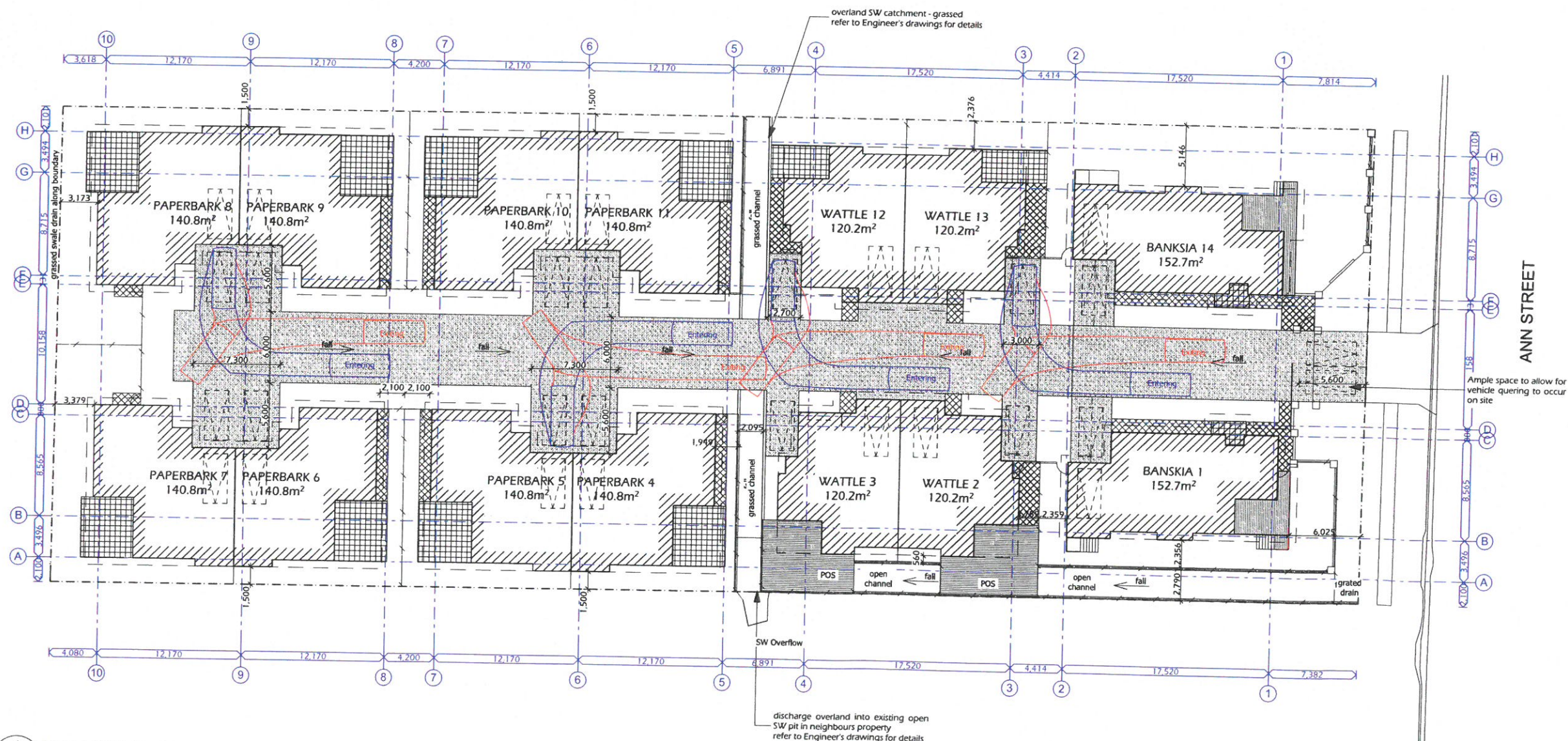


These plans are approved subject to the current conditions of approval associated with Development Permit No. D/300-2014  
Dated: 18.12.2015



2 STREETScape

Scale NTS



1 SITE LAYOUT : PARKING

Scale 1:200 at A1 / 1:400 at A3

rev	description	date
SK1.0	sketch issue	24.10.2014
SK1.1	sketch issue	03.11.2014
SK1.2	sketch issue	13.11.2014
DA1.0	development application issue	28.11.2014
DA1.1	development application issue	02.12.2014
DA1.2	response to information request	06.02.2015
DA1.3	further response to information request	13.03.2015



**BAEL**  
BUILDING DESIGN  
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*The Garden VILLAS*

Project Name:  
**PROPOSED MULTIPLE DWELLINGS**  
Client:  
**KELE PROPERTY GROUP (QLD) PTY LTD**  
Project Address:  
**12-14 ANN STREET, WEST ROCKHAMPTON 4700**  
Drawing Title:  
**SITE LAYOUT PLAN : CAR PARKING**

Status: Development Application Issue  
Issue #: DA1.3 Job Number:  
**1408-08**  
Scale: as shown  
Sheet: 4 of 8 Page Number:  
**DA - 04**  
Drawn By: rjd

Plot: 12.30 PM 25/03/2015



# ROCKHAMPTON REGIONAL COUNCIL

These plans are approved subject to the current conditions of approval associated with

Development Permit No. D/300-2014

Dated: 18-12-2015

**A1 DRAWING**  
NOTED SCALES RELATE TO A1 DRAWINGS

rev	description	date
SK1.0	sketch issue	24.10.2014
SK1.1	sketch issue	03.11.2014
SK1.2	sketch issue	13.11.2014
DA1.0	development application issue	28.11.2014
DA1.1	development application issue	02.12.2014
DA1.2	response to information request	09.02.2015
DA1.3	further response to information request	13.03.2015

**BD**  
Building Designers Association of Queensland Inc.



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Project Name:  
**PROPOSED MULTIPLE DWELLINGS**

Client:  
**KELE PROPERTY GROUP (QLD) PTY LTD**

Project Address:  
**12-14 ANN STREET, WEST ROCKHAMPTON 4700**

Drawing Title:

**DWELLING UNIT : BANSKIA**

Status: Development Application Issue

Issue #: DA1.3 Job Number:

Scale: as shown **1408-08**

Sheet: 5 of 8 Page Number:

Drawn By: rjd **DA - 05**

Plot: 1230 PM 25022015

**LEGEND**

A/C	SELECTED AIR CONDITIONER UNIT
BR	BROOM CUPBOARD
COL	COLUMN
DP	90mm DIA. DOWNPIPE
DR	DRYER
DW	DISHWASHER (UNDER BENCH)
HWS	HOT WATER SYSTEM
P	PANTRY
PIT	SW DRAINAGE PIT
REF	REFRIGERATOR
ROBE	WARDROBE
SA	HARDWIRED SMOKE ALARM
SHR	SHOWER
SK	SINK
SL	SKY LIGHT
ST	STOVE / OVEN / RANGEHOOD
TUB	WASHTUB
VB	VANITY BASIN
W	WASHING MACHINE
WC	DUAL FLUSH TOILET
WO	WALL OVEN

**AREA SCHEDULE**

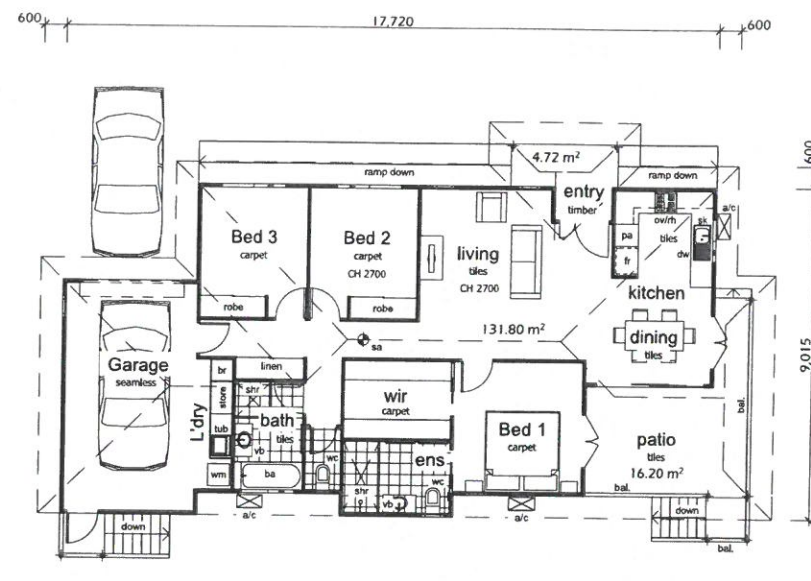
Banskia and Wattle Area	
Single Storey Dwelling Unit (3 Bed)	
Max. Building Height	5.8m
Lockable	131.8m <sup>2</sup>
Entry	4.7m <sup>2</sup>
Patio	16.2m <sup>2</sup>
<b>Gross Floor Area</b>	<b>152.7m<sup>2</sup></b>

**NOTE:**  
REFER TO DRAWING SHEET AD-7 FOR COMPLETE DIMENSIONS.

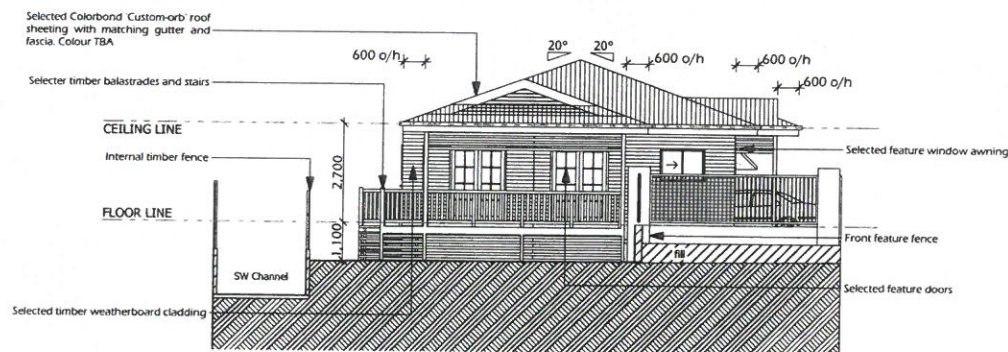
**PLEASE NOTE:**  
THE SUBSTITUTION OF ANY STRUCTURAL MEMBER AND/OR ANY VARIATION TO ANY PART OF THE DESIGN WILL VOID THE DESIGNERS RESPONSIBILITY FOR THE INTEGRITY AND PERFORMANCE OF THE BUILDING.

**FLOOR PLAN NOTES:**

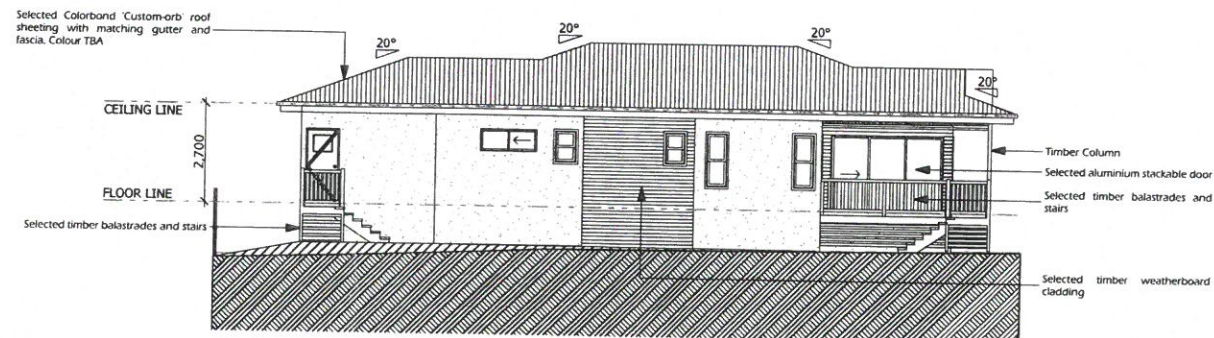
- Any changes made to the approved plans must be submitted to the Designer for approval.
- All materials and building products are to be installed in accordance with the Manufacturer's specifications.
- All workmanship and materials are to comply with the Building Code of Australia, relevant Australian Standards and all other standard Building Laws.
- All components and connections including bracing, tie-down, garage doors and windows are to be of a standard not less than that required by the relevant Cyclone Terrain Category C1.
- All smoke alarms are to be supplied and installed to comply with the BCA Volume 2 Part 3.7.2.
- All WC doors are to be readily removable or open outwards in accordance with the Standard Building Regulation.
- Builder and Contractors are to confirm all dimensions, site levels and finished floor levels on site before commencing construction.
- All construction details not shown on the plans are to be carried out in accordance with the Timber Framing Manual AS1684.
- All work is to comply with the Local Authority requirements.



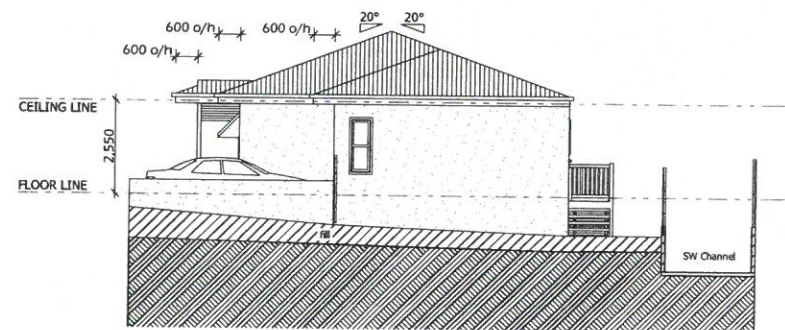
**1 PROPOSED FLOOR PLAN**  
Scale 1:100 at A1 / 1:200 at A3



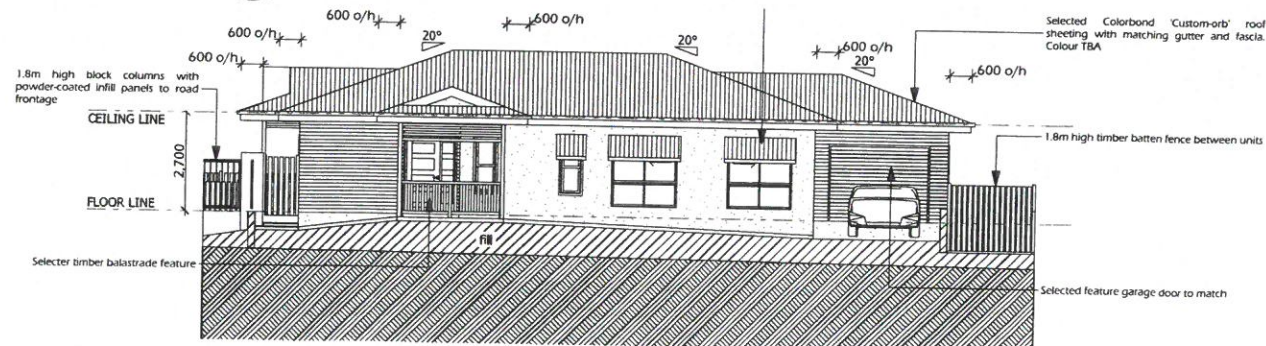
**2 BANSKIA : EAST (ROAD) ELEVATION**  
Scale 1:100 at A1 / 1:200 at A3



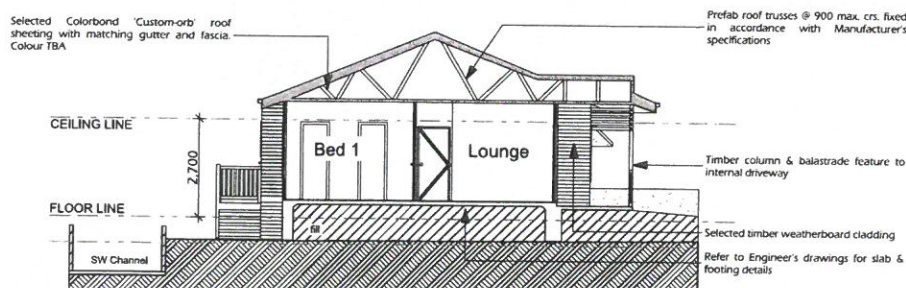
**3 BANSKIA : SOUTH (SIDE) ELEVATION**  
Scale 1:100 at A1 / 1:200 at A3



**4 BANSKIA : WEST (REAR) ELEVATION**  
Scale 1:100 at A1 / 1:200 at A3

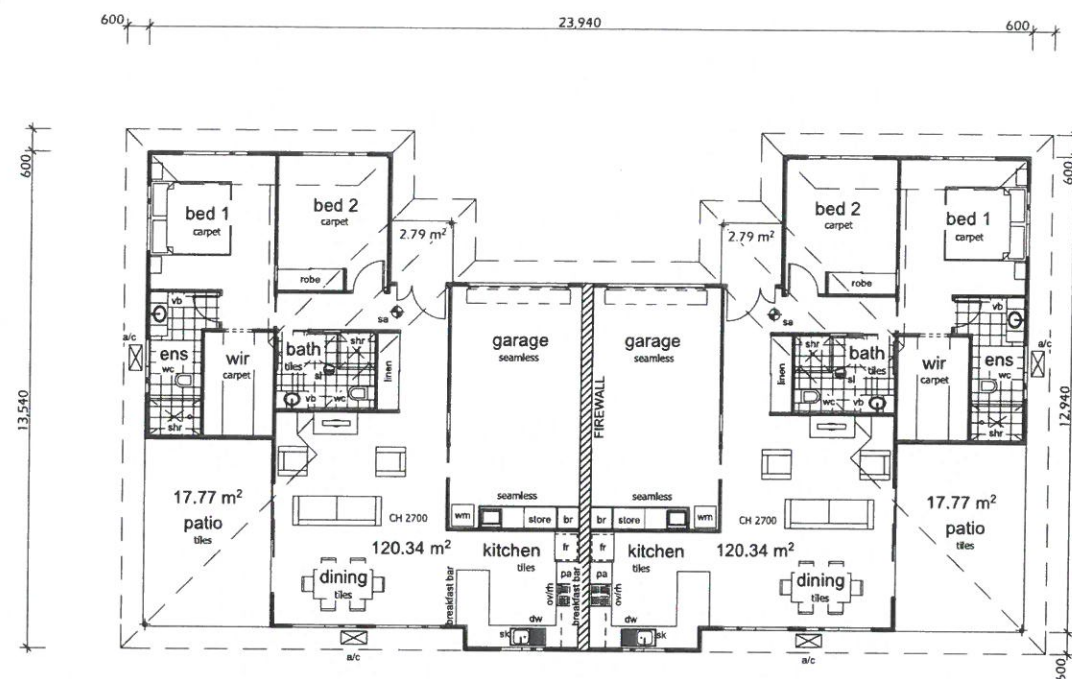


**5 BANSKIA : NORTH (DRIVEWAY) ELEVATION**  
Scale 1:100 at A1 / 1:200 at A3



**6 SECTION A**  
Scale 1:100 at A1 / 1:200 at A3





**LEGEND**

A/C	SELECTED AIR CONDITIONER UNIT
BR	BROOM CUPBOARD
COL	COLUMN
DP	90mm DIA. DOWNPIPE
DR	DRYER
DW	DISHWASHER (UNDER BENCH)
HWS	HOT WATER SYSTEM
P	PANTRY
PIT	SW DRAINAGE PIT
REF	REFRIGERATOR
ROBE	WARDROBE
SA	HARDWIRED SMOKE ALARM
SHR	SHOWER
SK	SINK
SL	SKY LIGHT
ST	STOVE / OVEN / RANGEHOOD
TUB	WASHTUB
VB	VANITY BASIN
W	WASHING MACHINE
WC	DUAL FLUSH TOILET
WO	WALL OVEN

**AREA SCHEDULE**

<b>Paperbark and Acacia Area</b>	
Single Storey Duplex Unit (2 Bed)	
Max. Building Height	5.4m
Lockable	123.06m²
Entry	2.8m²
Patio	17.77m²
<b>Gross Floor Area</b>	<b>143.6m²</b>

**NOTE:**  
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- FLOOR PLAN NOTES:**
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## ROCKHAMPTON REGIONAL COUNCIL

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Dated: 18.12.2015

**A1 DRAWING**  
NOTED SCALES RELATE TO A1 DRAWINGS

REV	DESCRIPTION	DATE
SK1.0	SKETCH ISSUE	24.10.2014
SK1.1	SKETCH ISSUE	03.11.2014
SK1.2	SKETCH ISSUE	13.11.2014
DA1.0	DEVELOPMENT APPLICATION ISSUE	28.11.2014
DA1.1	DEVELOPMENT APPLICATION ISSUE	02.12.2014
DA1.2	RESPONSE TO INFORMATION REQUEST	08.02.2015
DA1.3	FURTHER RESPONSE TO INFORMATION REQUEST	13.03.2015



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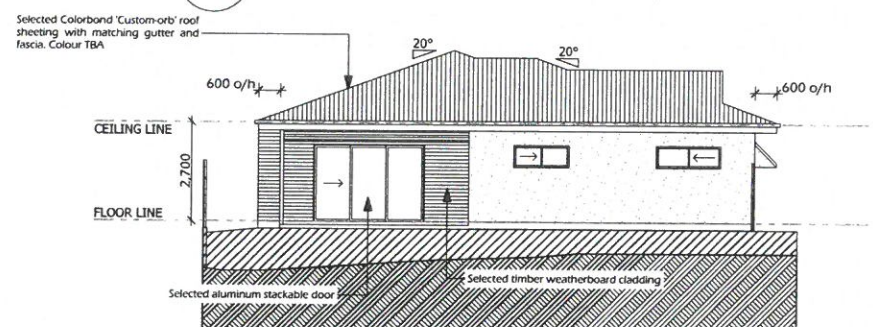
Project Name:  
**PROPOSED MULTIPLE DWELLINGS**  
Client:  
**KELE PROPERTY GROUP (QLD) PTY LTD**  
Project Address:  
12-14 ANN STREET,  
WEST ROCKHAMPTON 4700  
Drawing Title:

**DWELLING UNIT : PAPERBARK**

Status: Development Application Issue	
Issue #: DA1.3	Job Number:
Scale: as shown	<b>1408-08</b>
Sheet: 6 of 8	Page Number:
Drawn By: rjd	<b>DA - 06</b>

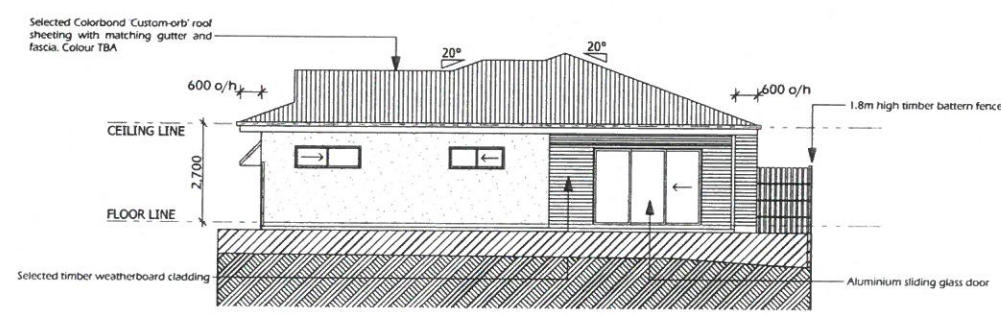
### 1 PROPOSED FLOOR PLAN

Scale 1:100 at A1 / 1:200 at A3



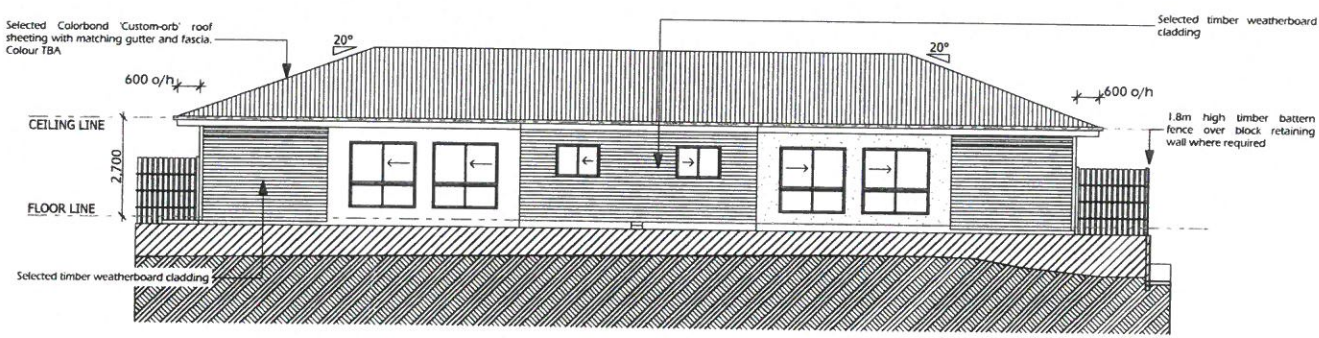
### 2 PAPERBARK : EAST (ROAD) ELEVATION

Scale 1:100 at A1 / 1:200 at A3

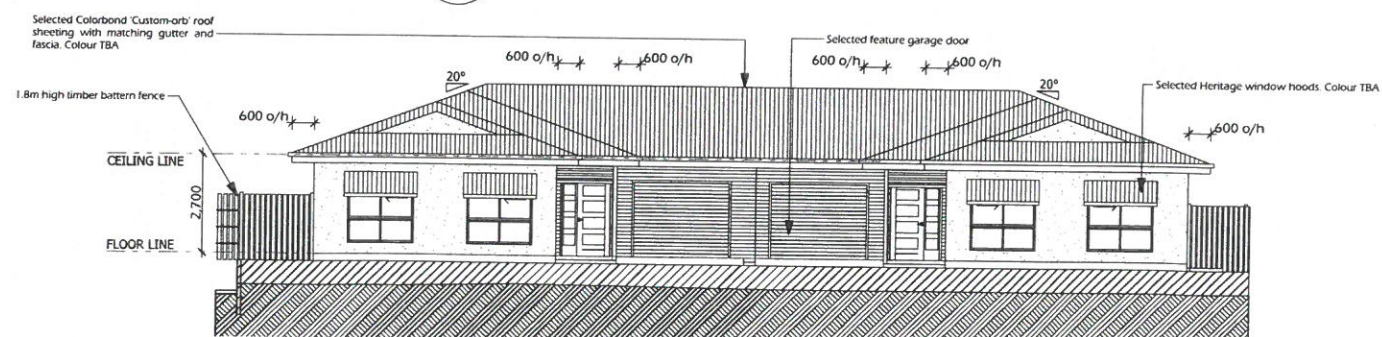


### 4 PAPERBARK : WEST (REAR) ELEVATION

Scale 1:100 at A1 / 1:200 at A3



### 3 PAPERBARK : SOUTH (SIDE) ELEVATION



### 5 PAPERBARK : NORTH (DRIVEWAY) ELEVATION

Scale 1:100 at A1 / 1:200 at A3



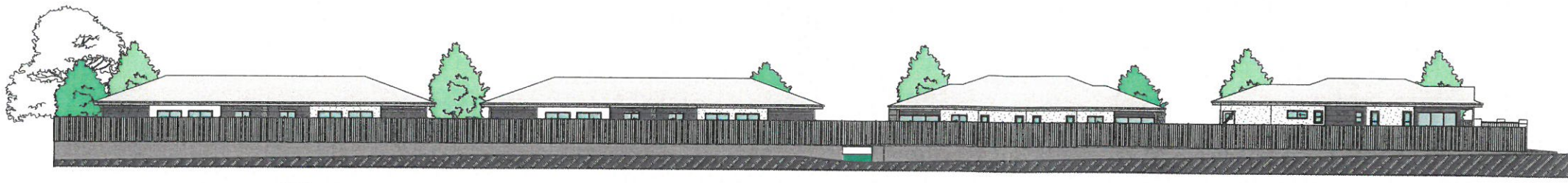




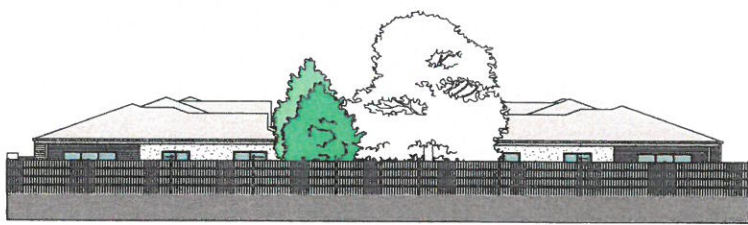
**ROCKHAMPTON REGIONAL COUNCIL**

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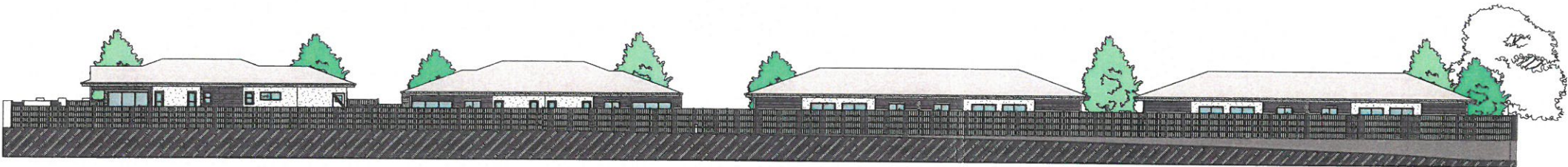
Dated: 18-12-2015



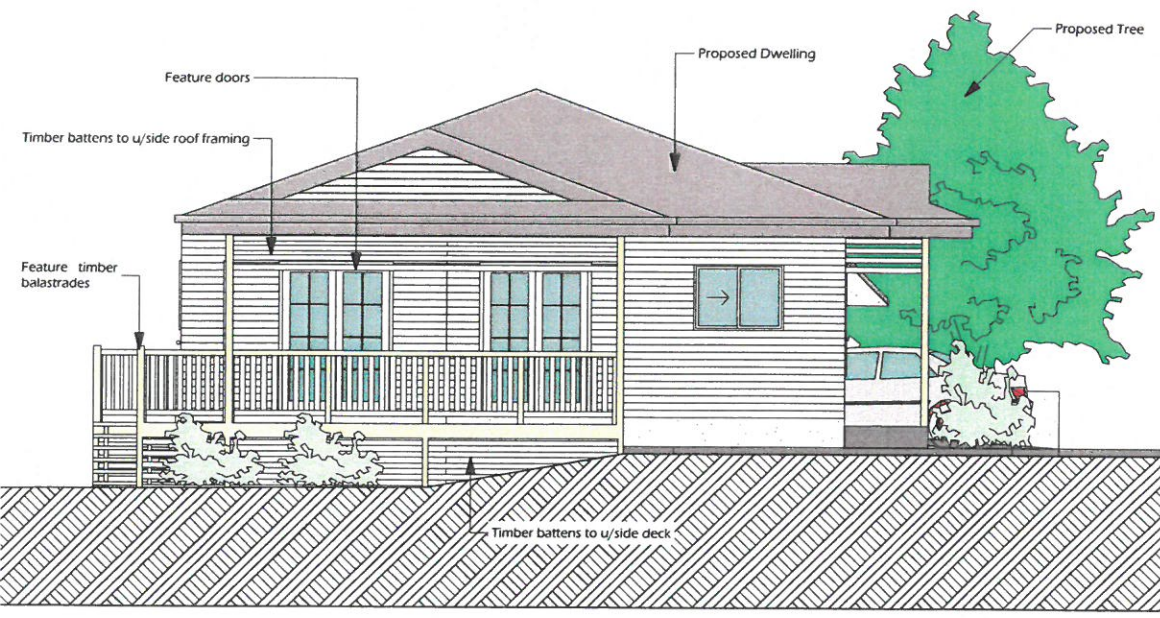
1 SOUTHERN BOUNDARY ELEVATION  
Scale 1:200 at A1 / 1:400 at A3



2 WESTERN BOUNDARY ELEVATION  
Scale 1:200 at A1 / 1:400 at A3



3 NORTHERN BOUNDARY ELEVATION  
Scale 1:200 at A1 / 1:400 at A3



4 BANKSIA UNIT STREETSCAPE  
Scale 1:50 at A1 / 1:100 at A3

rev.	description	date
SK1.0	sketch issue	24.10.2014
SK1.1	sketch issue	03.11.2014
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DA1.1	development application issue	02.12.2014
DA1.2	response to information request	09.02.2015
DA1.3	further response to information request	13.03.2015



**BAEL**  
BUILDING DESIGN

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Project Name:  
**PROPOSED MULTIPLE DWELLINGS**

Client:  
**KELE PROPERTY GROUP (QLD) PTY LTD**

Project Address:  
**12-14 ANN STREET, WEST ROCKHAMPTON 4700**

BOUNDARY ELEVATIONS	
Status: Development Application Issue	
Issue #: DA1.3	Job Number: 1408-08
Scale: as shown	
Sheet: 8 of 8	Page Number: DA - 08
Drawn By: rjd	

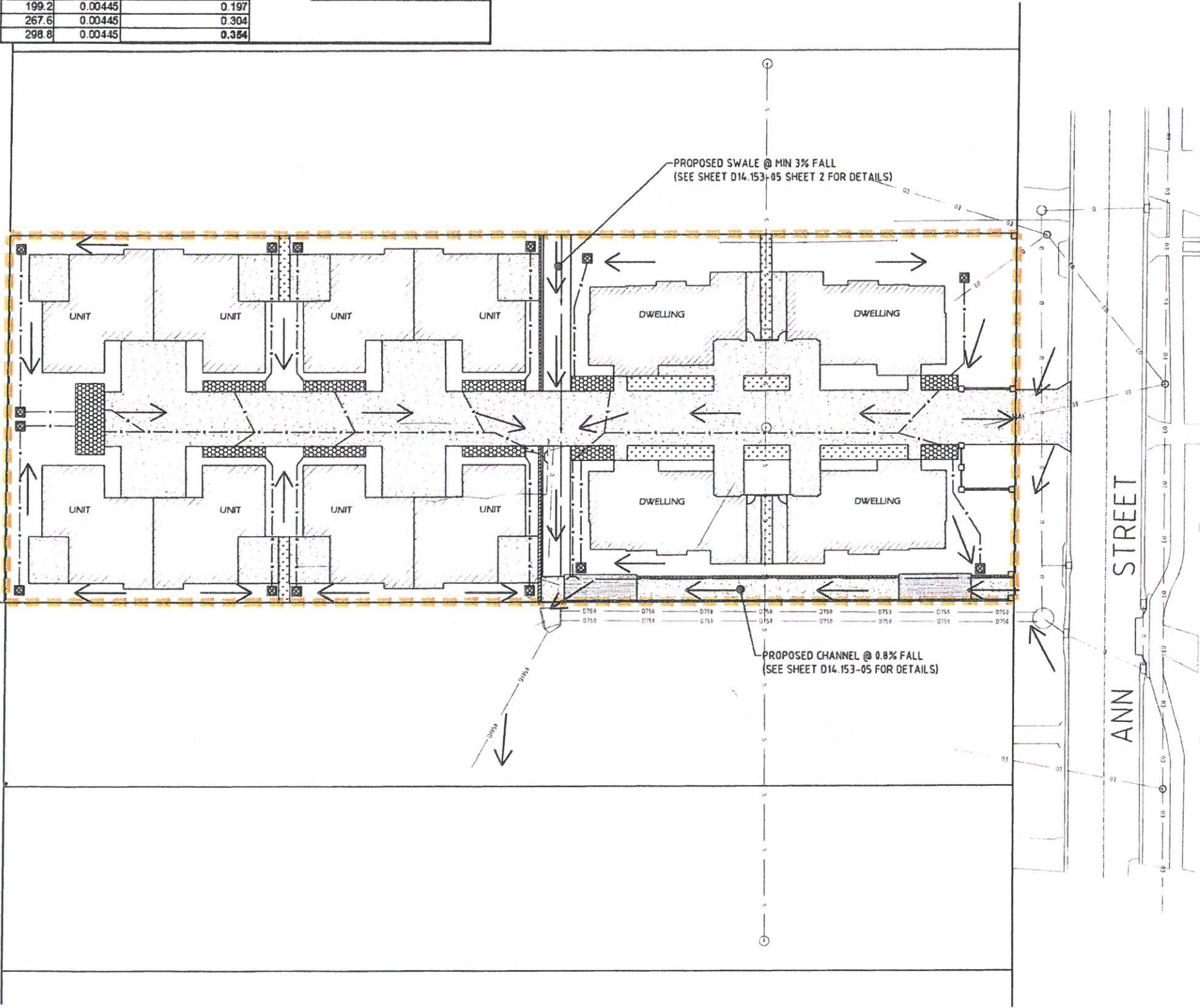
Plot: 12:30 PM 25/03/2015



Q= F C I A Q						TC= 5 min	
POST DEVELOPED ENTIRE SITE							
SITE	F	C	I	A	Q		
	sq kms	coeff	mm/hr	sq kms	m3/sec		
Q2	0.278	0.6783	128.4	0.00445	0.108	FI	0.590
Q5	0.278	0.7581	169.2	0.00445	0.159	I <sub>10</sub>	64.9 mm/hr
Q10	0.278	0.798	199.2	0.00445	0.197	C <sub>10</sub>	0.798
Q50	0.278	0.9177	267.6	0.00445	0.304		
Q100	0.278	0.9576	298.8	0.00445	0.354		



LOT 4  
RP 892683

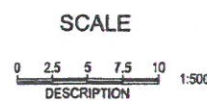


- LEGEND**
- EXISTING OVERHEAD ELECTRICITY
  - EXISTING SEWER MAIN & ACCESS CHAMBER
  - EXISTING FENCE
  - PROPOSED CONCRETE DRIVEWAY
  - PROPOSED LANDSCAPING
  - PROPOSED DRAINAGE INLET + PIPE
  - PROPOSED RETAINING WALL
  - PROPOSED INTERNAL CATCHMENT BOUNDARY
  - SITE FALLS
  - PROPOSED BIO-RETENTION AND DETENTION CELL (SEE SHEET D14.153-05)
  - DRAINAGE OUTLET TO SWALE OR CHANNEL

**ROCKHAMPTON REGIONAL COUNCIL**  
 These plans are approved subject to the current conditions of approval associated with Development Permit No. D/300-2014  
 Dated: 18.12.2015

- STORMWATER MANAGEMENT NOTES:**
- ALL CALCULATIONS CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND URBAN DRAINAGE MANUAL
  - SITE PRE AND POST DEVELOPED CATCHMENT TAKEN FROM ACTUAL SITE AREAS USING ACTUAL FRACTION IMPERVIOUS

PROPOSED INTERNAL CATCHMENT		
AREA	IMPERVIOUS AREAS	FRACTION IMPERVIOUS
4454m <sup>2</sup>	2630m <sup>2</sup>	0.590



REV	REVISION	DATE
A	MATERIAL CHANGE OF USE	12/2014

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Drawn by	CER
Checked by	RAJ
Approved	GBA SIMPERS
RPEQ	Sign
4585	

**KELE PROPERTY GROUP**  
 MULTI-UNIT DEVELOPMENT  
 12-14 ANN STREET, WEST ROCKHAMPTON  
 PROPOSED SITE PLAN

D14.153-02
SHEET 2 OF 6
A



# EXTERNAL CATCHMENT E1

Q= F'C<sup>0.4</sup>I<sup>0.77</sup>A

PRE DEVELOPED

E1	F	C	I	A	Q
	sq kms	coeff	mm/hr	sq kms	m3/sec
Q2	0.278	0.6545	88.5	0.22000	3.543
Q5	0.278	0.7315	117.375	0.22000	5.251
Q10	0.278	0.77	137.625	0.22000	6.481
Q50	0.278	0.8855	186.375	0.22000	10.094
Q100	0.278	0.924	208.5	0.22000	11.783

TC= 16 min

FI	0.450
I <sub>10</sub>	64.9 mm/hr
C <sub>10</sub>	0.77

## Friends Equation - E1

L	n	S	t	tc
m		%	minutes	$tc = \frac{(107 \cdot n \cdot L^{0.333})}{S^{0.2}}$
50	0.04	10	9.95	

# EXTERNAL CATCHMENT E2

Q= F'C<sup>0.4</sup>I<sup>0.77</sup>A

POST DEVELOPED

E2	F	C	I	A	Q
	sq kms	coeff	mm/hr	sq kms	m3/sec
Q2	0.278	0.631125	91.2	0.00451	0.072
Q5	0.278	0.705375	120.8	0.00451	0.107
Q10	0.278	0.7425	141.6	0.00451	0.132
Q50	0.278	0.853875	191.6	0.00451	0.205
Q100	0.278	0.891	214.4	0.00451	0.240

TC= 15 min

FI	0.330
I <sub>10</sub>	64.9 mm/hr
C <sub>10</sub>	0.7425

## Friends Equation - E2

L	n	S	t	tc
m		%	minutes	$tc = \frac{(107 \cdot n \cdot L^{0.333})}{S^{0.2}}$
50	0.045	2.8	14.44	

## EXTERNAL CATCHMENT NOTES:

1. ALL CALCULATIONS CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND URBAN DRAINAGE MANUAL

90m OVERLAND FLOW AT 10% USING FRIENDS EQUATION (MAX SHEET FLOW 50m) T<sub>st</sub> = 10 MINUTES (QUDM eq 4.5)

KERB FLOW 240m @ 6.7% SLOPE T<sub>tu</sub> = 2.5 MINUTES (QUDM FIG 4.8)

PIPE FLOW 60m @ 6.7% SLOPE T<sub>ux</sub> = 0.5 MINUTES (QUDM FIG 4.8)

PIPE FLOW 90m WITH 3m DROP T<sub>xy</sub> = 12 MINUTES (QUDM FIG 4.8)

PIPE FLOW 230m WITH 4m DROP T<sub>yz</sub> = 3 MINUTES (QUDM FIG 4.8)

TOTAL T<sub>c</sub> CATCHMENT E1 = 16 MINUTES

TOTAL T<sub>c</sub> CATCHMENT E2 = 15 MINUTES

POINT P-Q 50m SHEET FLOW @ 2.8% T<sub>pq</sub> = 14.5 MINUTES

POINT Q-R 35m CONCENTRATED FLOW T<sub>qr</sub> = 0.5 MINUTES

## ROCKHAMPTON REGIONAL COUNCIL

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Dated: **18.12.2015**

## SCALE

0 12.5 25 37.5 50  
DESCRIPTION 1:2500

REV	REVISION	DATE
A	MATERIAL CHANGE OF USE	12/2014

**DILEIGH**  
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Checked by: RAJ  
Approved: GBA SHAWERS  
RPEQ: 4585

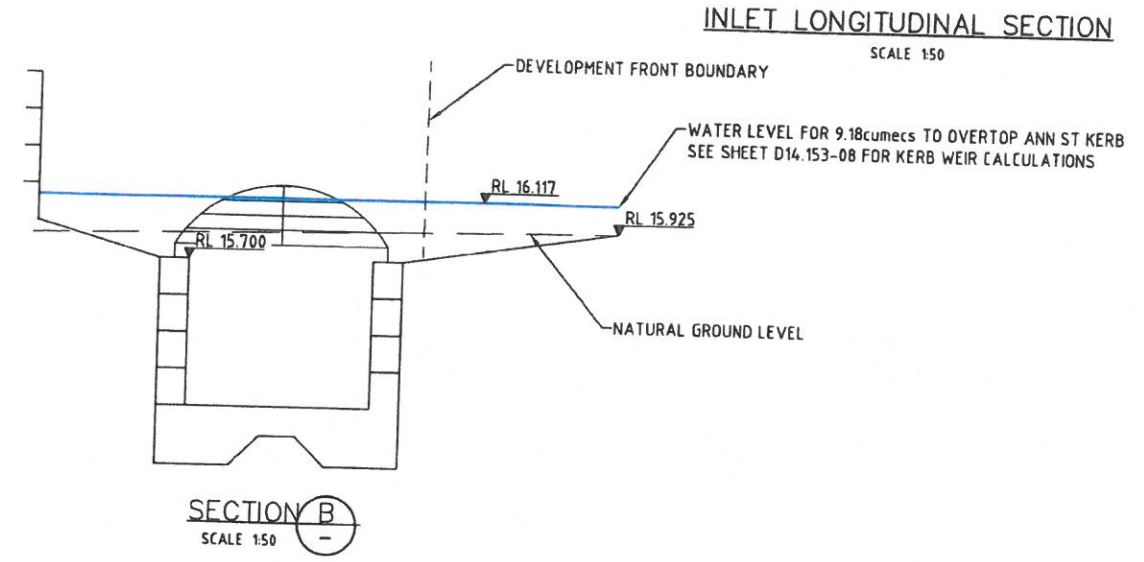
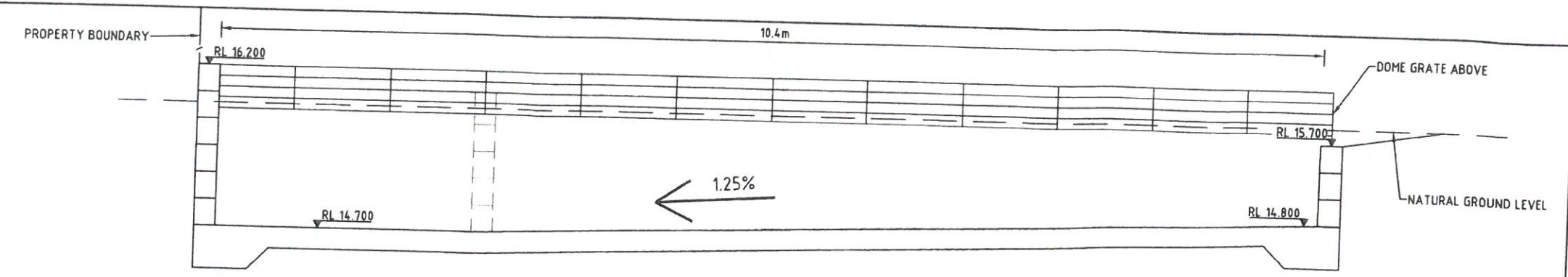
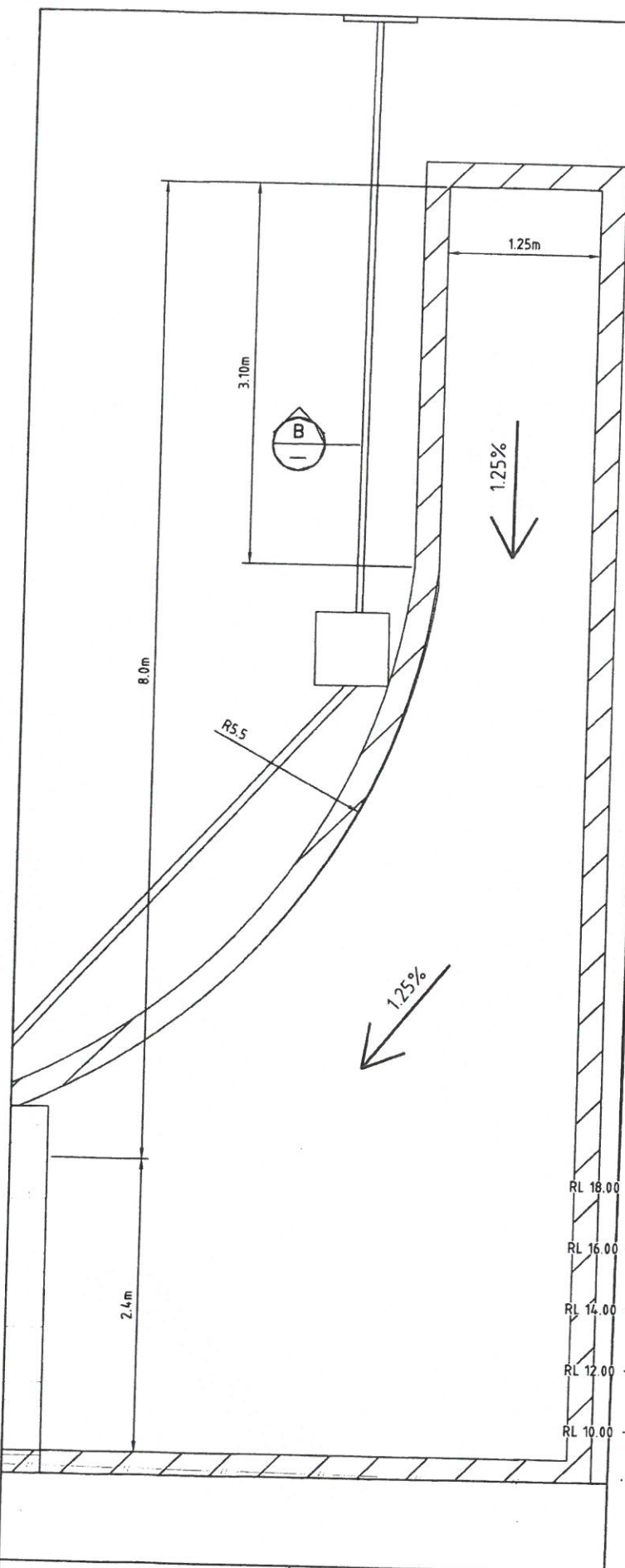
KELE PROPERTY GROUP  
MULTI-UNIT DEVELOPMENT  
12-14 ANN STREET, WEST ROCKHAMPTON  
EXTERNAL CATCHMENT PLAN

D14.153-03

SHEET 3 OF 6

A



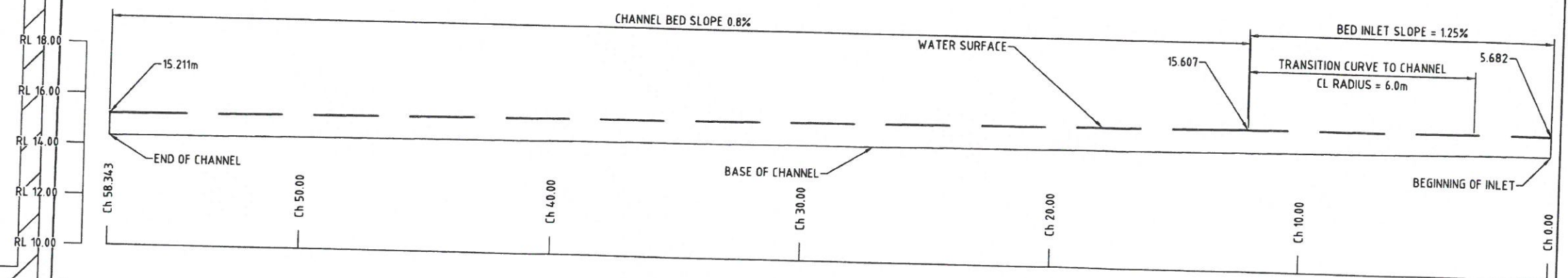


**Inlet Dimensions**

Length	I	10.4 m
Width	w	1.25 m
Total Length	L	23.3 m
Grate clear Ratio	G	0.85
Area	Ag	11.05 sq.m
Blockage Factor	BF	0.5
Gravity	g	9.81 m/s/s
Water Head	h	0.4 m
Qg for Given Head	Qg	9.286734507 cumecs
Under	ORIFICE	Conditions

**INLET CAPACITY CALCULATIONS**

**ROCKHAMPTON REGIONAL COUNCIL**  
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 Dated: 18.12.2015



**INLET & CHANNEL LONGITUDINAL SECTION**  
 SCALE 1:200

REV	REVISION	DATE
A	MATERIAL CHANGE OF USE	12/2014
B	RFI RESPONSE	02/2015

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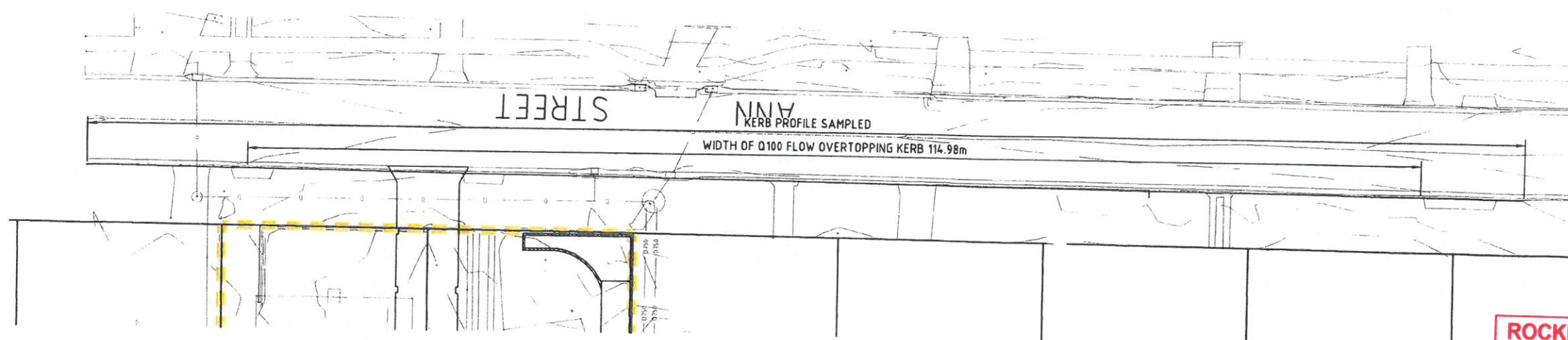
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Drawn by	CER
Checked by	RAJ
Approved	GBA SIMMERS
RPEQ	Sign
4585	

**KELE PROPERTY GROUP**  
 MULTI-UNIT DEVELOPMENT  
 12-14 ANN STREET, WEST ROCKHAMPTON  
 PROPOSED INLET DETAILS

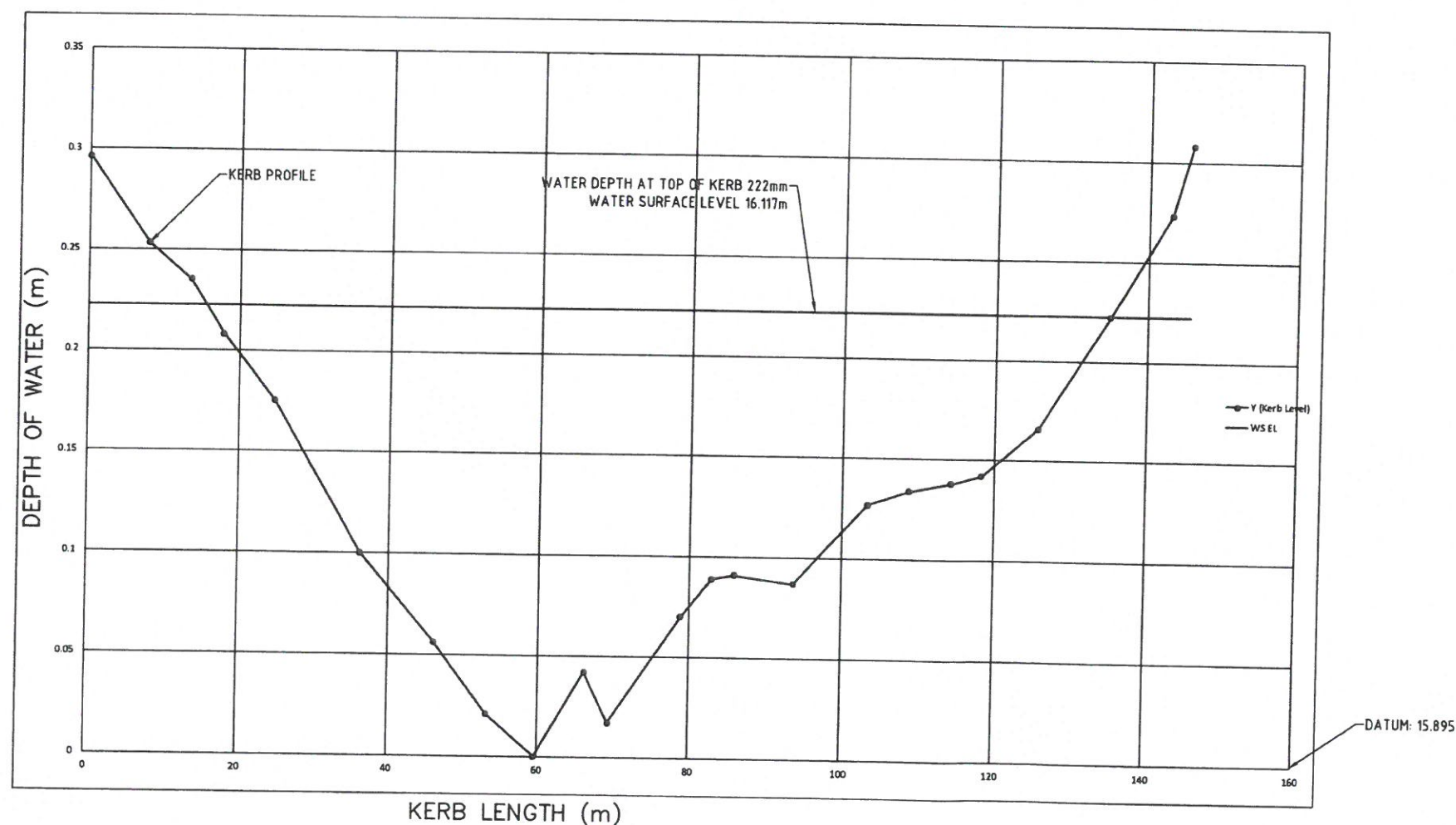
SCALE  
 NTS





**ROCKHAMPTON REGIONAL COUNCIL**

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**KERB WEIR PROFILE**  
NTS

SCALE  
NTS

REV	REVISION	DATE
A	MATERIAL CHANGE OF USE	12/2014
B	RFI RESPONSE	02/2015

**DILEIGH**  
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Checked by: RAJ  
Approved: GBA SIMMERS  
RPEQ: 4585  
Sign: *[Signature]*

**KELE PROPERTY GROUP**  
MULTI-UNIT DEVELOPMENT  
12-14 ANN STREET, WEST ROCKHAMPTON  
KERB WEIR CALCULATIONS

D14.153-08

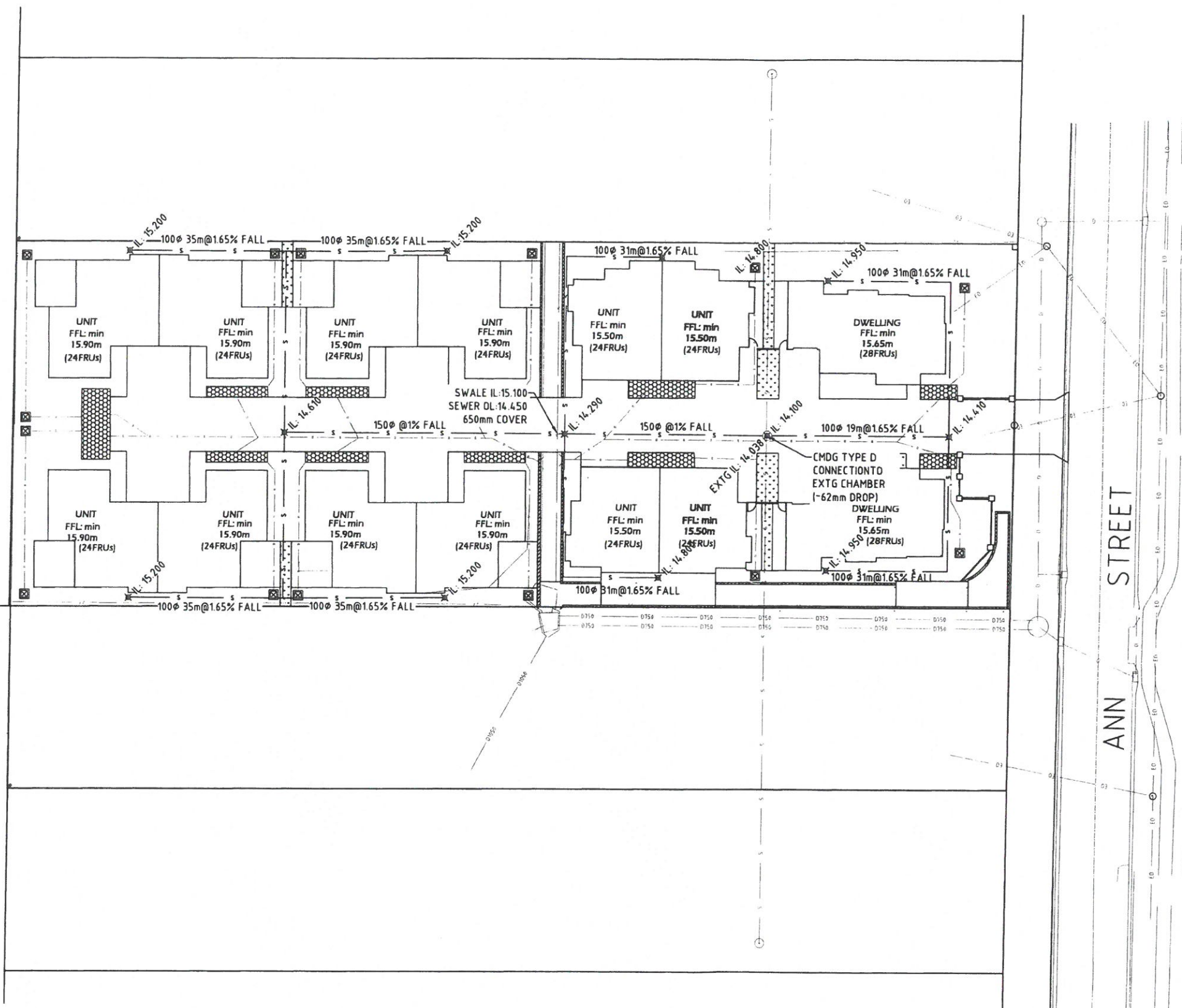
SHEET 8 OF 9

A B





LOT 4  
RP 892683



#### LEGEND

- EO EXISTING OVERHEAD ELECTRICITY
- TELSTRA (CABLE & PIT)
- EXISTING WATER
- EXISTING SEWER MAIN & ACCESS CHAMBER
- EXISTING SEWER RISING MAIN
- EXISTING FENCE
- PROPOSED DRAINAGE INLET & PIPE
- PROPOSED FIELD INLET
- PROPOSED BIO-RETENTION & DETENTION CELL (SEE SHEET D14.153-05)
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER FLOW PATH

#### ROCKHAMPTON REGIONAL COUNCIL

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Dated: 18.12.2015

ANN STREET

#### SCALE

0 2.5 5 7.5 10  
DESCRIPTION 1:500

REV	REVISION	DATE
A	MATERIAL CHANGE OF USE	12/2014
B	RFI RESPONSE	02/2015

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RPEQ	Sign
4585	

KELE PROPERTY GROUP  
MULTI-UNIT DEVELOPMENT  
12-14 ANN STREET, WEST ROCKHAMPTON  
SEWER CONNECTION STRATEGY

D14.153-09

SHEET 9 OF 9

A B