

STORMWATER DRAINAGE NOTES:

1. GENERAL

All roofwater and stormwater drainage shall be constructed to the limits shown on the drawings and to the Local Authorities requirements.

The minimum cover to all roofwater and stormwater lines shall be 300mm (no vehicle loading) and 450mm (non-road vehicle loading) wherever possible.

2. PIPES

All polyvinyl chloride (PVC) pipes and fittings to comply with AS1254, AS/NZS1260, AS1273, AS/NZS1477, AS/NZS2179.2 and AS2032. All pipes installed shall be new and free from any damage or cracks.

The Contractor shall submit alternative pipes and fittings details to the Engineer for approval.

3. BEDDING AND BACKFILL

All pipes and fittings shall be bedded to produce a solid and uniform support for the full length. The Contractor shall place an approved bedding material in the bottom of all trenches to a minimum depth of 350mm under the invert of all pipes and fittings. The whole of the pipe and fittings shall then be encased in approved bedding to a minimum of 150mm cover.

Approved bedding shall be well graded material with a maximum particle size of 10mm and a maximum of 5% passing the 75um Australian Standard sieve and be free of all organic material.

All bedding, surrounds and backfill material shall be compacted in maximum 150mm layers to a minimum 95% standard compaction dry density as determined by AS1289 E.6.1.

4. LAYING AND JOINTING

All pipe laying and jointing to be installed in accordance with AS/NZS2032 and Manufacturers' specifications.

Pipe laying shall begin at the down stream end of the line with the socket ends of the pipe facing upstream. All drainage lines over and 30m length shall be constructed with a tolerance of +/- 15mm in line and level from the from the alignment shown on the drawings.

All pipes must for in the required direction.

5. CONCRETE WORK

Concrete work and other items not specifically covered in the job specification shall be constructed in accordance with the relevant drawings and/or attached specification.

All cast in situ concrete work shall be carried out in accordance with relevant Australian Standards.

All concrete work shall be Class N32 unless otherwise specified.

6. HEADWALLS

All headwalls shall be Humes precast or approved equivalent installed in accordance with the Manufacturers' specifications.

LIGHTING:

1. Office building is to have external security lighting fixed to Owners' Specifications and Requirements.

2. Locate light poles for parking security as required.

LANDSCAPING NOTES:

Landscaping is as follows:

Indicating types of plants, number and heights of plants at maturity.

All garden areas to be well mulched and be suitably edged with covered kerbing.

Provide suitable timed watering system complying with Council requirements.

Note: Landscaping plan is indicative only. All types, numbers and locations to be verified by a suitably qualified Landscaping Consultant.

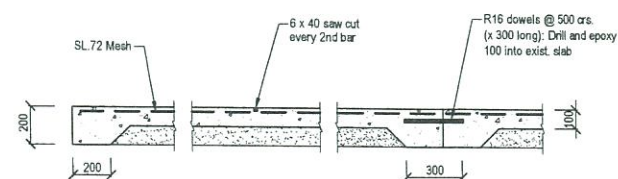
ITEM	PLANT TYPE	HEIGHT	No.
1	Gardenia Augusta	0.5-1.5m	122
2	Syzygium - Northern Lights	1-2m	22
3	Duranta - Blue Cascade	0.5-1.5m	118
4	Jasminum Sambac	1-2m	
5	Murraya Paniculata	3-4m	14

SITE PLAN LEGEND:

---	TURNING CIRCLES
[Pattern]	LANDSCAPING (Species as Noted)
[Pattern]	GRASSED AREAS
---	BUILDING LINE
---	ROOF LINE
---	SEWER LINE
*dp	125Ø DOWNPIPE (TYPICAL)

LANDSCAPING LEGEND:

[Pattern]	Concrete slab
[Pattern]	Lawn
[Pattern]	Garden (species as noted)
[Pattern]	Building
[Pattern]	Roadbase

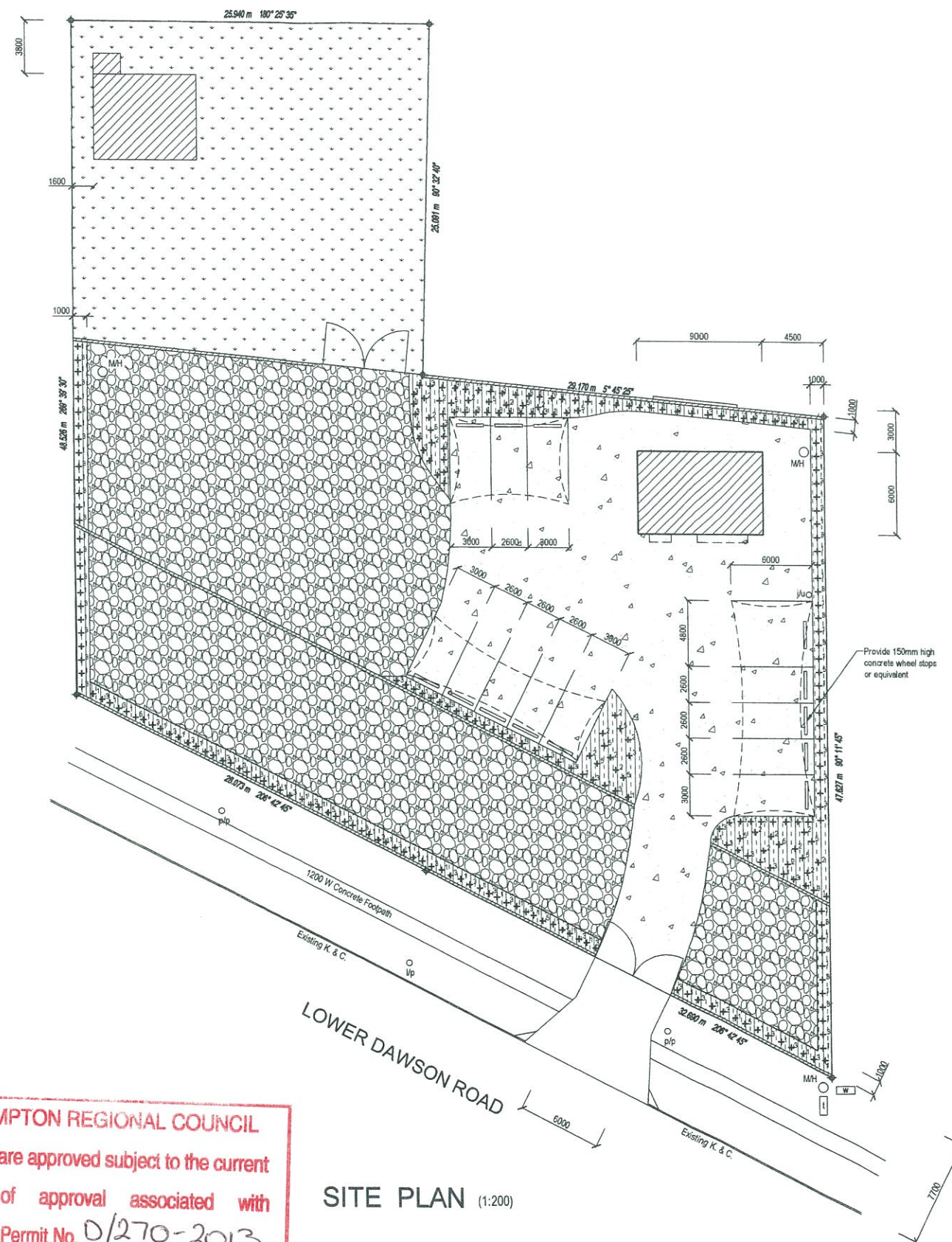


ET1 SJ DJ

DRIVEWAY DETAILS

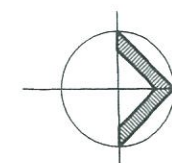
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ROCKHAMPTON REGIONAL COUNCIL
These plans are approved subject to the current
conditions of approval associated with
Development Permit No. D/270-2013
Dated 21 November 2013



SITE PLAN (1:200)

No.	Date	Amendment
1	18.06.13	For MCU Approval
P1	19.11.12	Preliminary Issue



LANDSCAPING & EXTERNAL WORKS PLAN

SK Drafting
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BSA LIC No 06/9429



PROPOSED SHOWROOM/DISPLAY
AT 322 & 326 LOWER DAWSON
ROAD, ROCKHAMPTON.
FOR BINGFORD PTY. LTD.

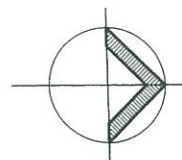
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Drawn	TEM	Sheet	2/3	Drawing No.	12-055
Checked					
Approved					

SITE PLAN NOTES:

- Earthworks to comply with AS3798 and AS2870.1.
- Figured dimensions shall be taken in preference to those scaled from the drawing. Builder to verify all dimensions on site prior to construction.
- Finished surface lines shown on elevations and platform layout shall be confirmed on site prior to commencement of building work.
- Structure designed for Wind Gust Speed: C1
- All construction shall be in accordance with the requirements of the Building Code of Australia, the Building Act 1975 and the Local Authorities' requirements.
- Builder to provide a fall around the building of:
1 in 20 for the first 1.0m around building
1 in 80 for the next 1.0m around building
- Connect all new downpipes as shown and fall pipes to kerb and channel or intra allotment drainage system. Stormwater drainage design is indicative only. Plumber to verify on site the suitability of the design and adjust accordingly to suit conditions. All plumbing work to comply with relevant plumbing codes and standards.
- Install a sleeve joint where wall downpipes meet ground stormwater lines to allow for movement.
- Confirm location of any underground services prior to commencement of building work.
- Check position of current mains water connection and provide connecting link to building to the requirements of the Local Authority and current Water & Sewerage Supply Act. Good pressure to be achieved in supply line to building.
- Extent of principal Builder and relevant Subcontractors to be within the confines of the property boundaries and portion of the footpath immediately adjoining front property alignment. Seek neighbours consent if access or additional construction is required outside the confines of the subject property.

SITE PLAN LEGEND:

TURNING CIRCLES	INDICATES STORMWATER PIT
LANDSCAPING (Species as Noted)	INDICATES MANHOLE
GRASSED AREAS	INDICATES LIGHT POLE
BUILDING LINE	INDICATES TELECOM
ROOF LINE	INDICATES FIRE HYDRANT
SEWER LINE	INDICATES WATER

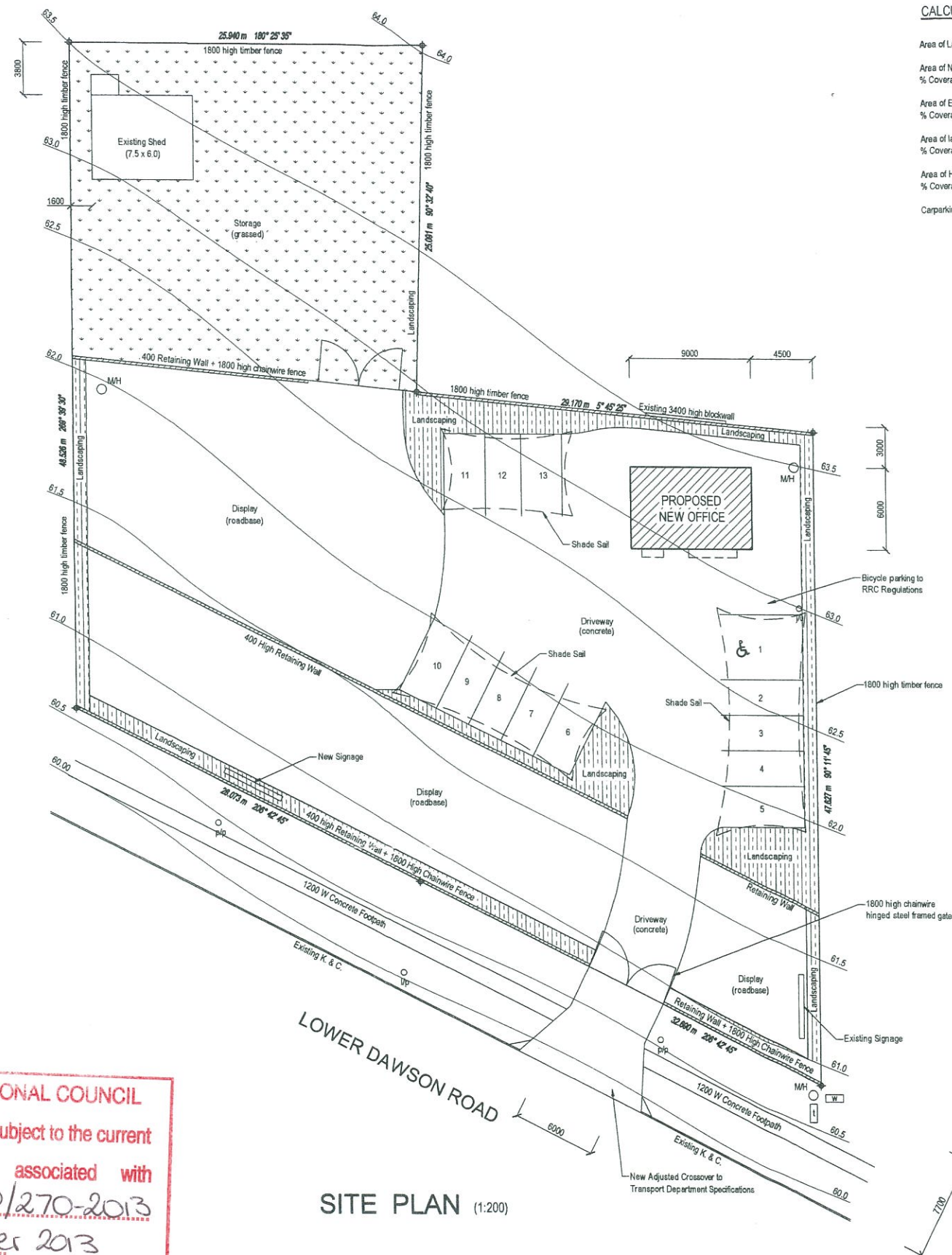


PROPERTY DETAILS:

LOT 1 ON RP605479 & LOT 1 ON SP125027
PARISH OF ROCKHAMPTON
COUNTY OF LIVINGSTONE
AREA: 2618 sq.m

ROCKHAMPTON REGIONAL COUNCIL

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SITE PLAN (1:200)

CALCULATION SCHEDULE:

Area of Land:	2618.00 sq.m
Area of New Building:	54.00 sq.m
% Coverage:	2.06%
Area of Existing Building:	48.14 sq.m
% Coverage:	1.84%
Area of Landscaping:	749.62 sq.m
% Coverage:	28.63%
Area of Hardstand:	1766.24 sq.m
% Coverage:	67.47%
Carparking Spaces:	13 Provided

SITE PLAN

SK Drafting
building designs

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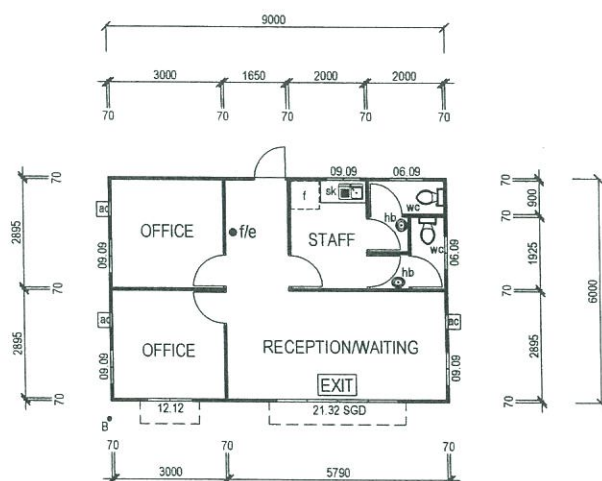
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FLOOR PLAN NOTES:

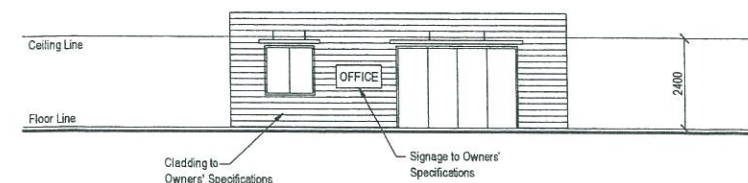
- Figured dimensions shall taken in preference to those scaled from the drawing.
- Builder to verify all dimensions on site prior to commencement of building work.
- Finished surface lines shown on elevations and platform layout shall be confirmed on site prior to commencement of building work.
- Structure designed for Wind Gust Speed - C1 (W41C)
- Construction to be in accordance with the Building Code of Australia, Old Home Building Manual and all other relevant SAA Codes and Standards.
- Builder to ensure adequate surface drainage and that no low spots capable of ponding are created during construction.
- Where applicable, WC doors that swing inwards to be fitted with demountable hinges. Gaps to be provide at the top to allow door to be lifted off when in the closed position.
- Termite protection to be installed in accordance with AS3660. A certificate is to be supplied to the Building Approval Authority as evidence of treatment where necessary.

LEGEND

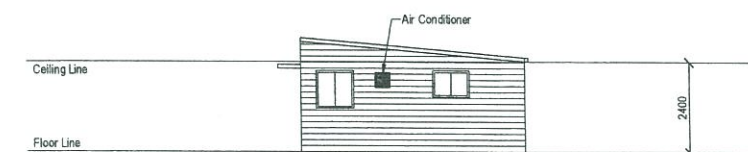
- f/e — INDICATES DRY CHEMICAL FIRE EXTINGUISHER
- EXIT — INDICATES ILLUMINATED EXIT SIGN
- B — INDICATES BOLLARD



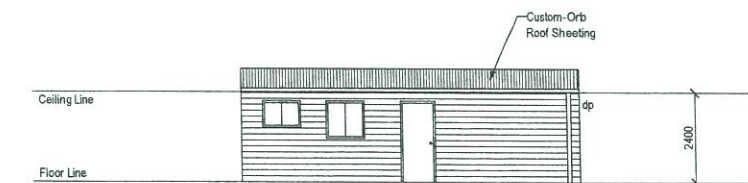
PROPOSED OFFICE FLOOR PLAN (1:100)



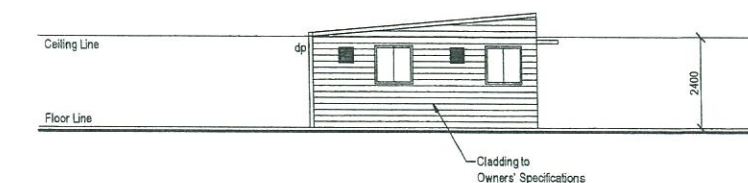
EAST ELEVATION (1:100)



NORTH ELEVATION (1:100)



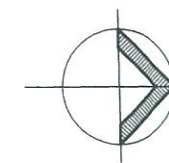
WEST ELEVATION (1:100)



SOUTH ELEVATION (1:100)

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P2	13.12.12	Preliminary Issue
P1	19.11.12	Preliminary Issue



OFFICE FLOOR PLAN & ELEVATIONS

SK Drafting
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