

HJs BUILDING AREA	248.0m <sup>2</sup>
BIN ROOM	22.0m <sup>2</sup>
PLANT ROOM	10.0m <sup>2</sup>
CAR PARKING :	13 SPACES
DISABLED PARKING	1 SPACE
WAITING BAY :	2 SPACE
TOTAL CAR PARKING :	16 SPACES
CAR STACK:	16 CARS

**HJs Building Area**  
measured from the external face of external walls, exclude bin enclosure and plant enclosure

**EXTENT OF LANDSCAPE AREA**  
PLANTS BY LANDSCAPE SPECIALIST.

**EXTENT OF BLACK CONCRETE PAVEMENT**

### SIGNAGE LEGEND

REFER TO DA06-DA07 FOR SIGNAGE DETAILS

- S01 - 9.0M HIGH PYLON SIGN
- S02 - ILLUMINATED DIRECTIONAL SIGN
- S03 - ILLUMINATED DIRECTIONAL SIGN
- S04 - 2.4m SQUARE ILLUMINATED BUN LOGO
- S05 - DRIVE THRU GANTRY HEIGHT BAR
- S06 - DRIVE THRU PREVIEW BOARD
- S07 - DRIVE THRU MENUBOARDS
- S08 - ILLUMINATED RED FASCIA LIGHTBOX
- S09 - BICYCLE PARKING SIGN
- S10 - WAITING BAY POST & GROUNDMARKING SIGNS
- S11a - DRIVE THRU WINDOW SIGN 'PAY HERE'
- S11b - DRIVE THRU WINDOW SIGN 'PICK UP HERE'
- S12 - ILLUMINATED HUNGRY JACK'S LETTERSET
- S13 - PRINTED GRAPHIC (DT LANE)
- S14 - ILLUMINATED BURGER STRIP SIGN
- S15 - PAINTED GRAPHIC (SHOPFRONT)
- S16 - BANNER POLES
- S17 - PAINTED BURNT LOGO
- S18 - PEDESTRIAN SIGNAGE POST

LAWRIE STREET

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DA/ PP	8	12.12.22	PEDESTRIAN FOOTPATH & SIGNAGE ADDED	AM
AMENDED DA	9	16.12.22	LANDSCAPE BUFFER ADDED	AM
BA/CC				
TENDER				
CONSTRUCTION				

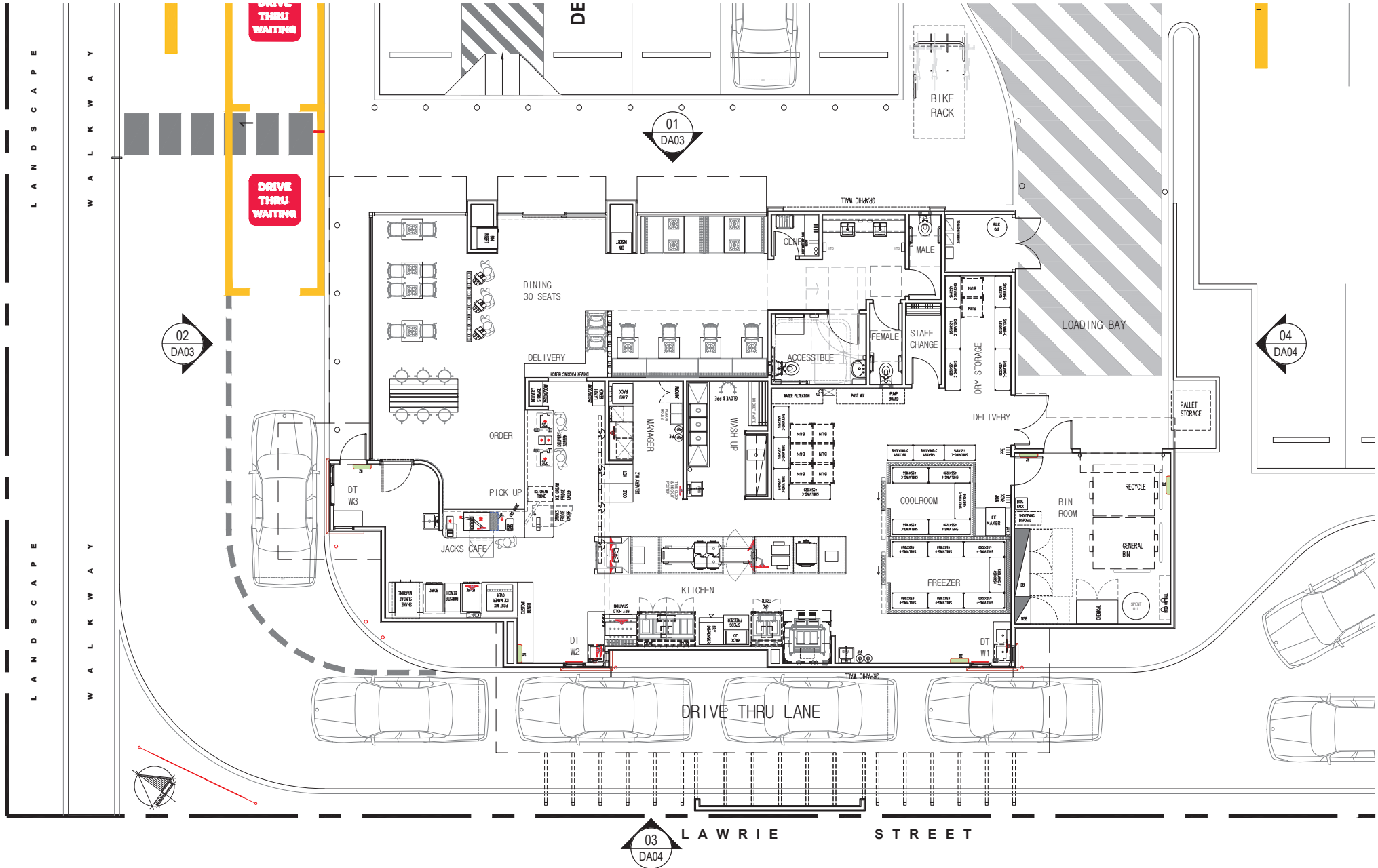
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**GRACEMERE**  
CORNER OF LAWRIE &  
JOHN STREET GRACEMERE  
QLD 4702

DRAWING		
PROJECT NO. 211103	DATE	NOVEMBER 2021
SCALE	DRAWING NO.	REV.
1:250@A3	DA01	9

63 WYNDHAM STREET  
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Nominated Architect: Shiyun Fang (Reg 7958)

**FANG ARCHITECTS**



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DA/PP	2	16.11.21	REVISED SITE LOCATION	SF
AMENDED DA	3	28.11.22	DA SET FOR HJ REVIEW	AM
BA/CC	4	30.11.22	ISSUE FOR DA	AM
TENDER	5	12.12.22	PEDESTRIAN FOOTPATH ADDED	AM
CONSTRUCTION	6	14.12.22	LANDSCAPE BUFFER ADDED	AM

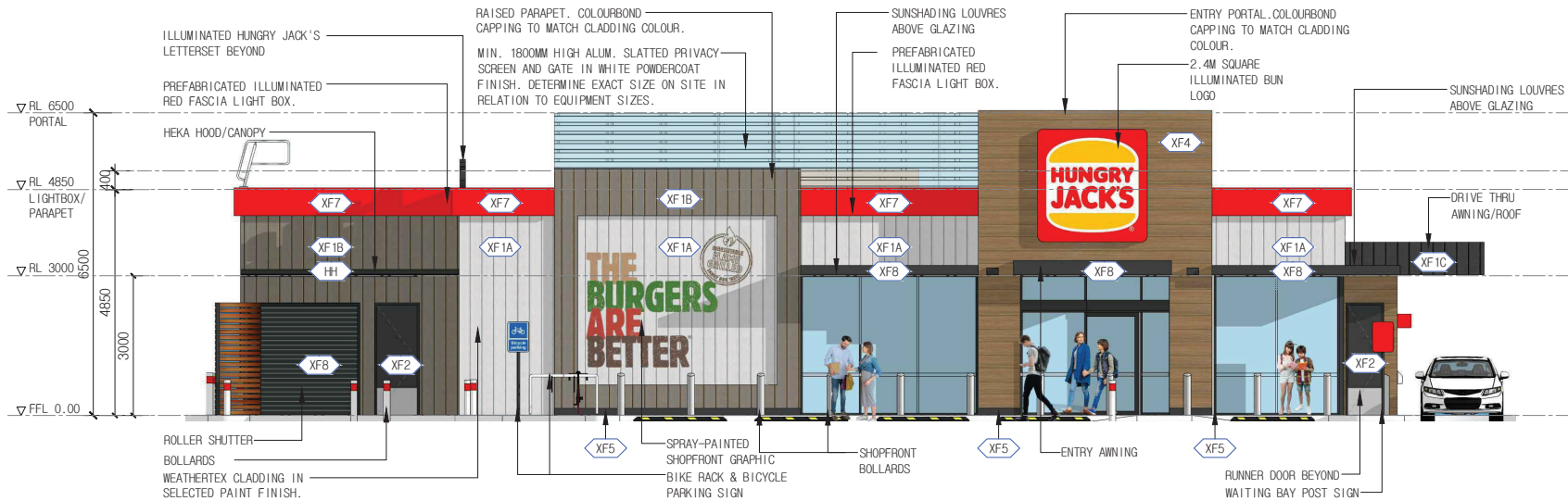
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SCALE	DRAWING NO.	REV.
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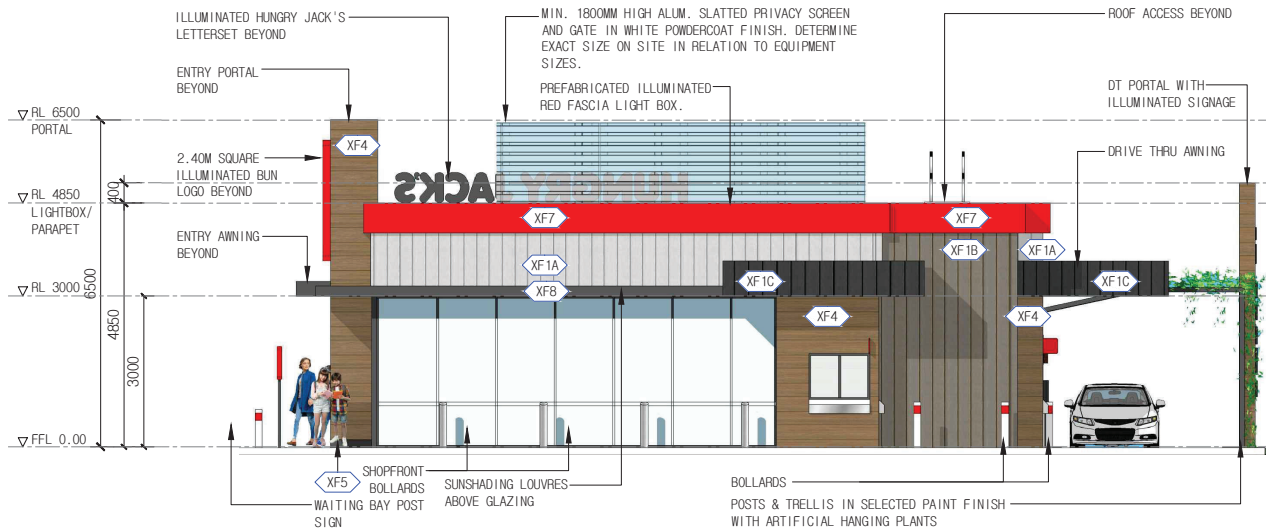
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 PH : 02 8590 5185  
 info@fangarchitects.com.au

Nominated Architect: Shyan Fang (Reg 7958)





01 NORTH-EAST ELEVATION  
DA02 1:100



02 NORTH-WEST ELEVATION  
DA02 1:100

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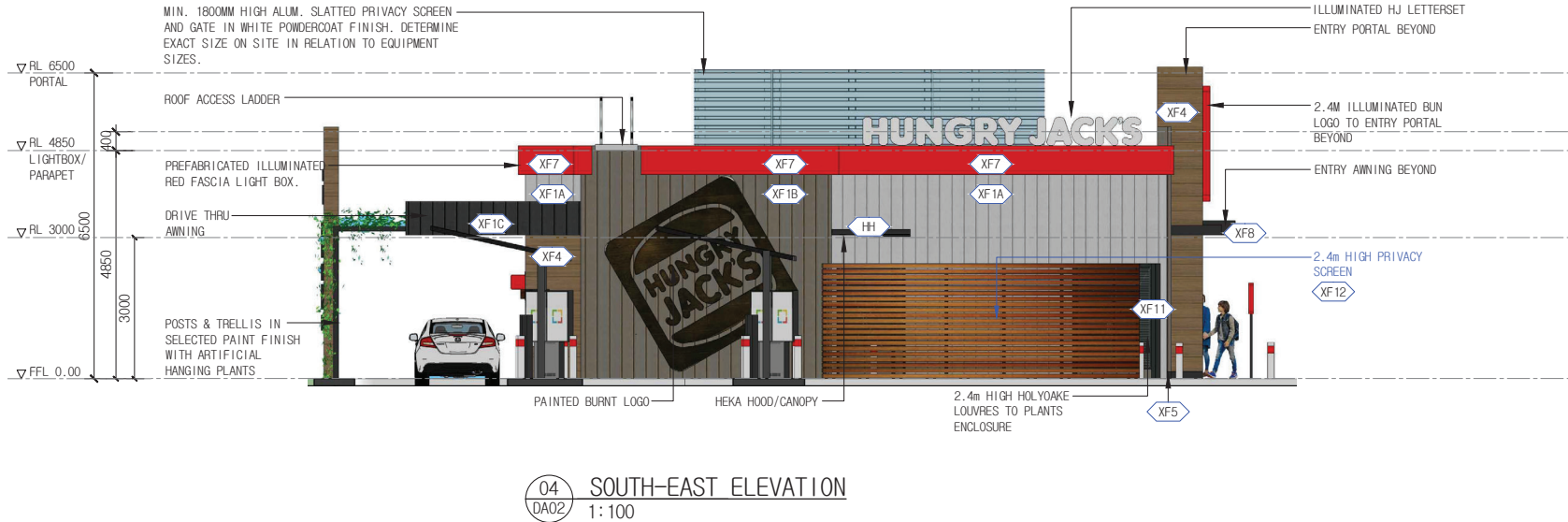
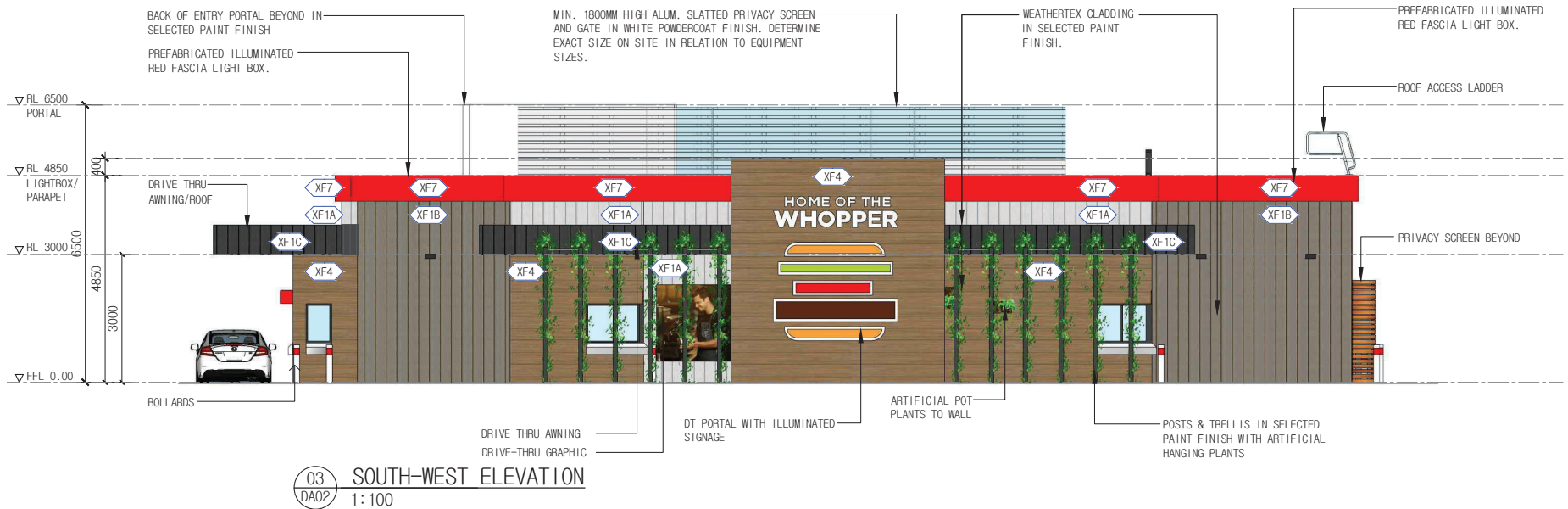
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BA/CC				
TENDER				
CONSTRUCTION				

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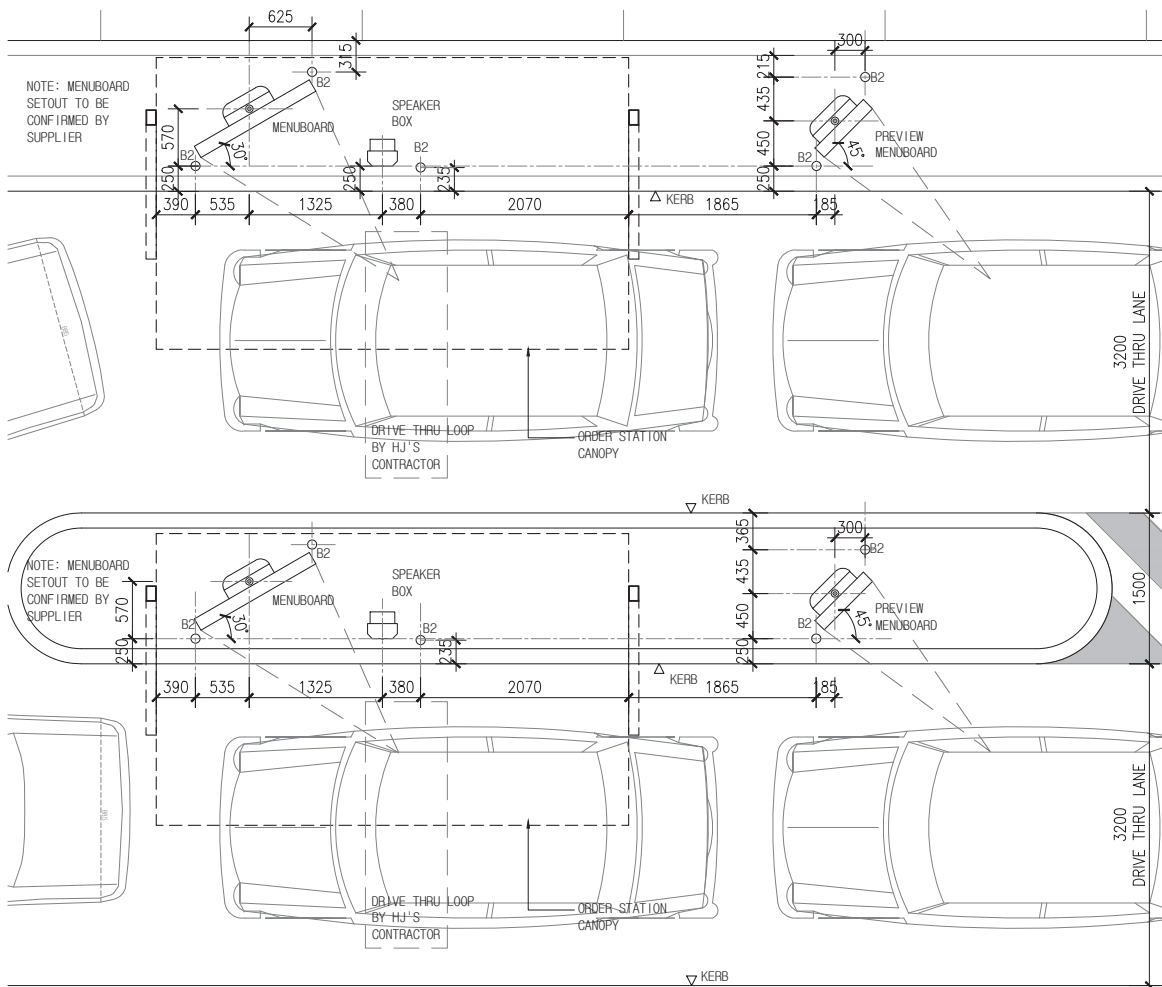
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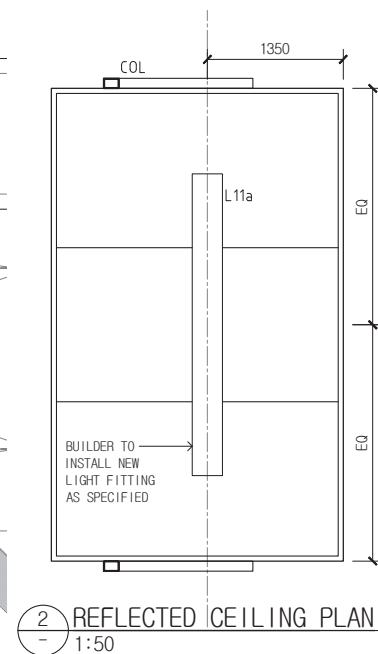


1 ORDER STATION CANOPY & MENUBOARD SETOUT  
1:50

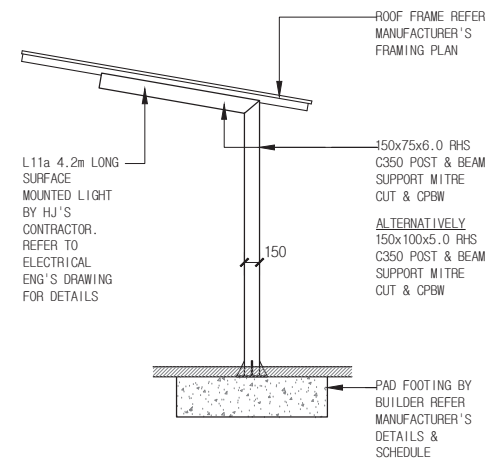
NOTE: CONSTRUCTION

C01. BUILDER SHALL ALLOW TO EXTEND POWER FROM THE HUNGRY JACK'S ELECTRICAL SWITCHBOARD TO NEW SIGNAGE WHERE NECESSARY

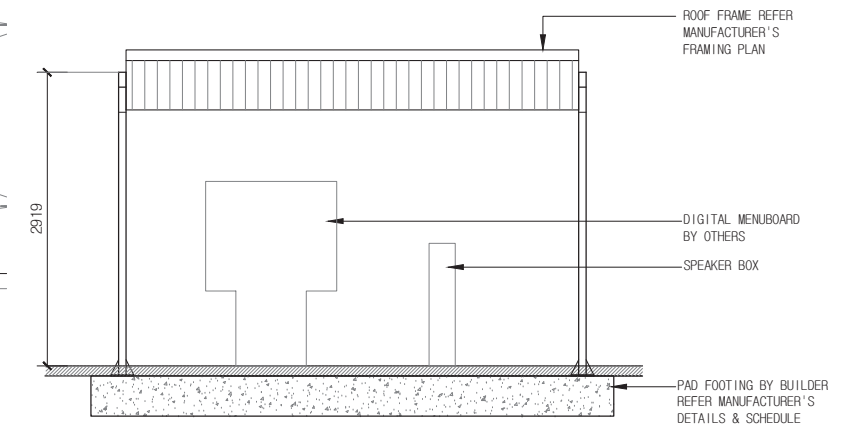
C02. REFER TO ELECTRICAL ENG'S DRAWING FOR DETAILS.



2 REFLECTED CEILING PLAN  
1:50



3 SIDE ELEVATION  
1:50



4 FRONT ELEVATION  
1:50

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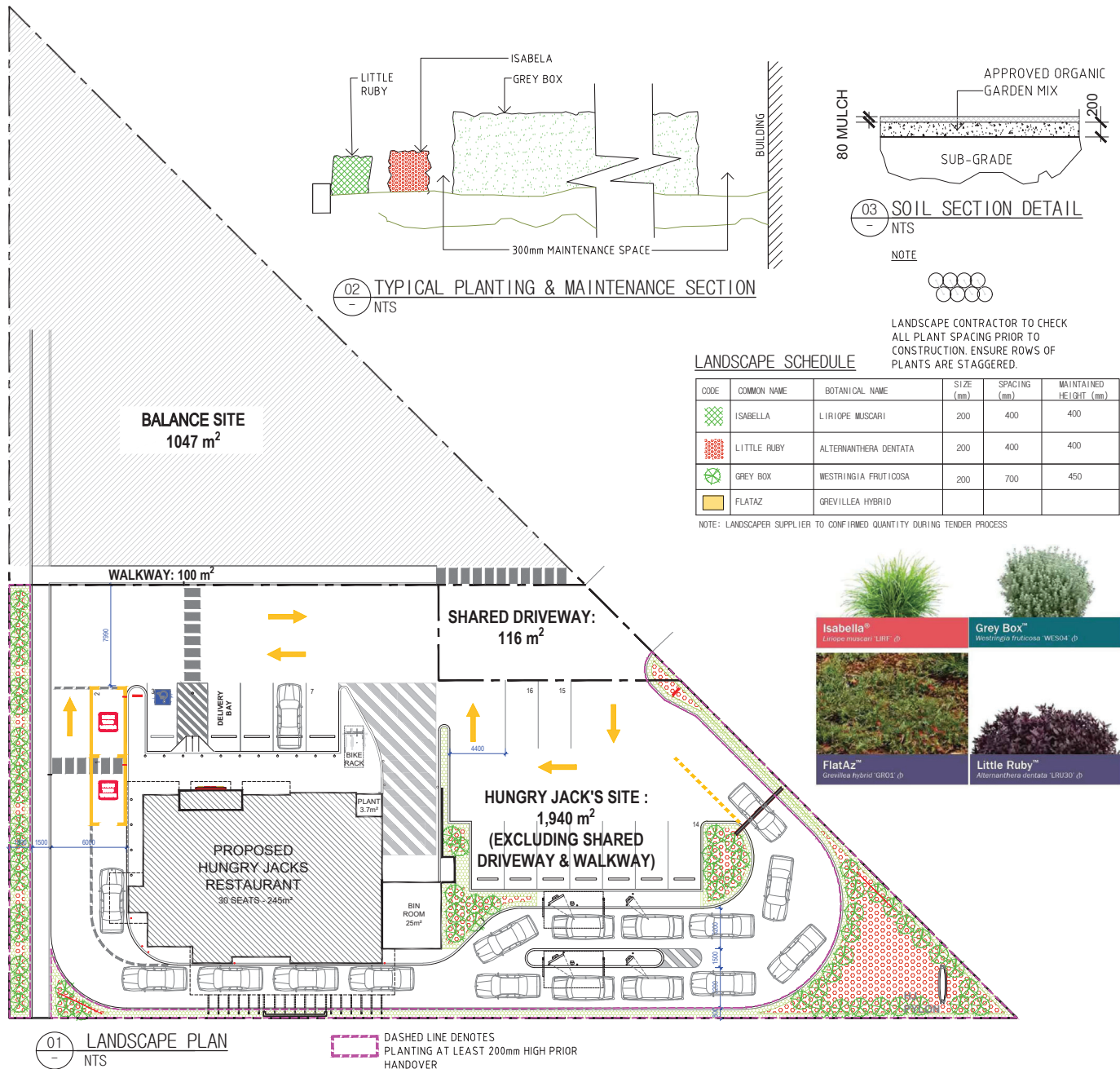
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DRAWING	PROJECT NO.	DATE	DRAWING NO.	REV.
<b>DRIVE THRU ORDER STATION CANOPY DETAILS</b>	211103	NOVEMBER 2021	DA07	2
SCALE	1:50 @A3			

63 WYNDHAM STREET  
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Nominated Architect: Shyan Fang (Reg 7958)  
**FANG ARCHITECTS**



## NOTES

### 1.0 SITE PREPARATION

ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED & PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF THE CONSTRUCTION WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED. IF POSSIBLE ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS TO ENSURE THE SURVIVAL AND GROWTH OF EXISTING PLANTS. PROTECT BY FENCING OR ARMOURING WHERE NECESSARY. TREES SHALL NOT BE REMOVED OR LOPPED UNLESS SPECIFIC WRITTEN APPROVAL TO DO SO IS GIVEN OR IS INDICATED ON PLAN. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS & REFUELING, SITE OFFICE / SHEDS AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE METRES OF ANY EXISTING TREES. DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS, WITHIN THE DRIP LINE OF EXISTING TREES. VEHICULAR ACCESS SHALL NOT BE PERMITTED WITHIN THREE METRES OF ANY TREE.

### 2.0 SOIL PREPARATION

ALL PROPOSED PLANTING AREAS ARE TO BE DEEP RIPPED TO 200MM AND CLAY SOILS TO BE TREATED WITH CLAY BREAKER. 150MM DEPTH OF GOOD QUALITY PLANTING MIX TO BE IMPORTED AND COMBINED WITH 50MM OF AUSTRALIAN NATIVE LANDSCAPES GREEN LIFE COMPOST OR APPROVED EQUIVALENT. TO BE WORKED IN WITH ROTARY HOE. CARE SHALL BE TAKEN TO HAND CULTIVATE ANY AREA WHERE EXISTING TREE ROOTS EXIST TO PRESERVE HEALTH OF TREES.

### 3.0 NEW PLANTINGS

NEWLY PLANTED TREES AND LARGE SHRUBS SHOULD BE SECURED TO STAKES WITH HESSIAN TIES TO PREVENT ROCKING BY WIND. PLANTING HOLES FOR PLANT MATERIAL SHOULD BE LARGE ENOUGH IN SIZE TO TAKE ROOT BALL WITH ADDITIONAL SPACE TO TAKE BACK FILLING OF GOOD QUALITY PLANTING MIX. MATURE HEIGHTS OF PLANTINGS ARE THE GREATEST HEIGHT POSSIBLE IN IDEAL CONDITIONS. THESE HEIGHTS ARE SUBJECT TO PARTICULAR SITE CONDITIONS, POSSIBLE CONTAINER ENVIRONMENTS AND INTENDED HEDGING OR PRUNING FOR FUNCTIONAL REQUIREMENTS SUCH AS AVAILABLE WIDTH, INTENDED ACCESS UNDER BRANCHES AND SOLAR ACCESS. ALL PLANTS TO BE WELL GROWN, DISEASE FREE SOURCED FROM LOCAL NURSERY STOCK AND TRUE TO SPECIES TYPE. NO SPECIES TO BE SUBSTITUTED WITHOUT APPROVAL FROM ARCHITECT. NO VARIEGATED VARIETY TO BE USED UNLESS SPECIFIED IN PLANTING SCHEDULE. TREES: SHALL COME IN CONTAINERS 35 LITRE IN SIZE OR MORE, IN POTS OR IN EQUIVALENT GROWING BAGS, TO HAVE A DEVELOPED STRAIGHT STEM AND TRUNK CALLIPER AND TOTAL HEIGHT AND SPREAD EQUAL TO BEST NURSERY QUALITY AND SIZE FOR THE CONTAINER. ADVANCED SHRUBS SHALL BE WELL ESTABLISHED CONTAINER GROWN PLANTS WITH A SINGLE LEADING SHOOT WELL FURNISHED WITH BUDS AND LEAVES AND BE OF A TOTAL HEIGHT AND SPREAD EQUAL TO BEST NURSERY QUALITY AND SIZE FOR EACH NOMINATED SPECIES AND CONTAINER SIZE. SEMI-ADVANCED GROUNDCOVERS: SHALL COME IN 150MM 5 LITRE POTS SHALL HAVE A STRONG PRIMARY SHOOT WITH DEVELOPING SECONDARY SHOOT.

### 4.0 MULCHING

ALL PLANTING AREAS TO BE MULCHED WITH A MINIMUM 75MM THICK COVER OF 10-25mm FOREST MULCH AS SPECIFIED. MULCH AND THOROUGHLY SOAK ALL PLANTED AREAS WITH WATER. ALL MULCH SHALL BE FREE OF VEGETATIVE REPRODUCTIVE PARTS OF ALL WEED SPECIES. FINISH HEIGHT OF MULCH IS TO BE 20mm BELOW THE HEIGHT OF ADJOINING KERBS / PAVING.

### 5.0 FERTILISER

ALL PLANTING AREAS TO BE FERTILISED WITH 9 MONTH 'NPK' SLOW RELEASE FERTILISER. MASS PLANTED AREAS: ALLOW ONE SLOW RELEASE AGRIFORM PELLETT PER 5-25 LITRE PLANT. ALL FERTILISERS TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. TURFED AREAS: SUPPLY AND INSTALL AGRIFORM SLOW RELEASE FERTILISER OR APPROVED EQUIVALENT LAWN START FERTILISER APPLIED AT THE RATE RECOMMENDED BY THE MANUFACTURER.

### 6.0 STAKING

TO THOSE PLANTS INDICATED ON THE PLANTING SCHEDULES PROVIDE: HARDWOOD STAKES AS NOMINATED AND DRIVEN INTO GROUND TO A DEPTH ABLE TO ACHIEVE RIGID SUPPORT AND TO FINISH A MINIMUM OF 800-1000MM ABOVE FINISHED LEVELS. PLACE STAKE AT EDGE OF PLANTS ESTABLISHED ROOT ZONE AND SUPPORT PLANT WITH HESSIAN TIED IN FIGURE EIGHT APPROXIMATELY 300-800MM (DEPENDENT ON PLANT) ABOVE FINISHED LEVELS AS REQUIRED. HESSIAN TO BE SECURELY STAPLED TO THE STAKE.

### 7.0 PLANT REQUIREMENTS

A MINIMUM SPACING BETWEEN SPECIES TO BE ACHIEVED AT ALL TIMES UNLESS OTHERWISE INDICATED. MASS PLANTED AREAS ARE TO BE ALIGNED IN NEAT ROWS USING THE SPACING GUIDE PROVIDED IN THE PLANTING SCHEDULE FOR EACH INDIVIDUAL SPECIES.

### 8.0 SUB SOIL

EXTENT OF ROCK AND OTHER SUB-SOIL MATERIAL TO BE DETERMINED ON SITE. ALTERATIONS FOR ROCK EXCAVATION AND ADDITIONAL SUB-SOIL DRAINAGE TO BE APPROVED PRIOR TO PROCEEDING.

### 9.0 IRRIGATION SYSTEM

REFER TO SPECIFICATION FOR DRIP IRRIGATION SYSTEM REQUIREMENTS. IRRIGATION LINES MUST BE BURIED IN THE SOIL. SURFACE MOUNTED INSTALLATIONS COVERED BY MULCH ONLY WILL BE REJECTED. IRRIGATION IS TO BE PROVIDED TO ALL PLANTED AREAS.

### 10.0 MAINTENANCE

MAINTAIN ALL LANDSCAPING AS NECESSARY TO ESTABLISH A HIGH QUALITY OUTCOME. REFER TO THE SPECIFICATION FOR LANDSCAPE MAINTENANCE REQUIREMENTS AND TIMEFRAME / FREQUENCY. REFER TO THE SPECIFICATION FOR LANDSCAPE MAINTENANCE FORM WHICH IS REQUIRED TO BE FILLED OUT BY THE LANDSCAPE CONTRACTOR AND SIGNED BY THE STORE MANAGER AT EACH SITE VISIT.

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DA/PP	2	30.11.22	ISSUE FOR DA	AM
AMENDED DA	3	12.12.22	ADDED PEDESTRIAN FOOTPATH	AM
BA/CC	4	14.12.22	LANDSCAPE BUFFER ADDED	AM
TENDER				
CONSTRUCTION				

PROJECT HUNGRY JACK'S  
**GRACEMERE**  
CORNER OF LAWRIE &  
JOHN STREET GRACEMERE  
QLD 4702

LANDSCAPE PLAN		
PROJECT NO. 211103	DATE	NOVEMBER 2021
SCALE	DRAWING NO.	REV.
NTS@A3	DA08	4

63 WYNDHAM STREET  
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Nominated Architect: Shyan Fang (Reg 7958)

**FANG ARCHITECTS**

# Engineering Report

**PROPOSED FOOD AND DRINK OUTLET**

**Lot 604 on R2642**

**6 Lawrie Street, Gracemere, QLD**

**For BELO DEVELOPMENTS**

**Rev B1 – 23 Jan 2023**



**Davey Engineering**

**Solutions Pty Ltd**

**Yeppoon, QLD 4703**

**0419 872 040**

**[admin@daveyes.com.au](mailto:admin@daveyes.com.au)**



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Revision History  
Issue A – 13 April 2022  
Issue B1 – 23 Jan 2023

*Jeff Davey*  
**Jeff Davey**

*B.Eng (Hons), RPEQ 8386, JP (Qual)*

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## 1.0 INTRODUCTION

Davey Engineering Solutions Pty Ltd has prepared the following report to address the engineering services and infrastructure connections associated with an amendment to the Material Change of Use (MCU) for a proposed Food and Drink development under D/48-2022. The development frontage is located on the corner of Lawrie & John Streets on existing Lot 604 on R2642. The site is 3,187 square metres in area. The proposed alternative layout as part of this application rotates the Hungry Jacks building to occupy less area and removes the second tenancy (T2). The proposed development seeking approval is shown in the image below.



Figure 1 – Site Locality

## 2.0 SITE WORKS / EROSION CONTROL / EARTHWORKS

Site works for the proposed development will be relatively minor shaping to ensure stormwater controls and site discharge is managed and controlled from site. From historical aerial photos from 1970's it appears a house once was onsite located in the southern corner of the allotment. No evidence of concrete footings or slab were observed onsite. The surface falls from its southern corner generally in a north-westerly. Surface levels range from approx. 28.50m AHD in the southern eastern corner fronting John Street and down to approx. 26.20m AHD in the site northern corner.

The proposed works associated with this application will consist of the following stages;

- Minor reshaping and detailed earthworks involving shaping the car park, access driveways and building pad. The proposed building pad will be slightly elevated from the existing site surface levels to create positive fall for stormwater drainage and to improve the ground foundation for the proposed development.
- Underground services installation.
- Roadworks and stormwater drainage works
- Sewer and Water road crossings
- Building construction works

All materials brought onto the site for use with the construction of the proposed development will be stockpiled and segregated into pavements, sand/gravels and protected with appropriate silt traps and fences. Stockpiles are to be accessed from the upstream side to reduce erosion and need to be maintained constantly throughout the construction stage.

Erosion control measures are to be implemented during the construction in accordance with Rockhampton Regional Council requirements. The Principal Contractor will be responsible to reinstate and maintain all erosion control measures routinely and after all rain events and vandalism during the construction period.



### 3.0 ROADWORKS

The Department of Transport & Main Roads (DTMR) controlled intersection of Lawrie and John Street is currently under construction being upgraded to a signalised intersection. An aerial image taken during December 2022 shows new road widening and footpath has been constructed along John Street. It is understood the upgrade works to widening to a Major Urban Collector width as per Council requirements to over 85% of the John Street frontage. It appears a section of kerb and channel has been left out in the location of the approved two crossover as part of the approved site development. The layout proposed as part of this application will have on shared access for entry and egress. Refer to project Traffic Consultants for external works.



Aerial Image – supplied by Developer Lawrie & John Street December 2022

### 4.0 SEWER

An existing 150mm sewer main runs on the eastern side of John Street adjacent to the development site. Council records show an existing house connection with an invert of 26.88m AHD located in the high elevation area of the site adjacent to John Street. The exact location has not been confirmed onsite by survey (unable to be located) nor the condition or sizing of the connection has been confirmed. The invert for this connection has insufficient depth to service the entire allotment parcel.

To service this development with sufficient depth for the proposed building and balance area a new sewer main is required to be constructed across the road. It is proposed that a new manhole is constructed on the southern side boundary of lot 14A John Street (~30m upstream to the closest existing manhole). The edge of the manhole can be offset the required distance to comply with Capricorn Municipal Development Guidelines (CMDG) as generally shown on drawing SKR01. A new sewer will extend below John Street to inside the development property boundary. Working off 1% grade for road crossing results in an invert of 24.69m then from the property connection working on 1 in 40 for a distance to the bin enclosure of Hungry Jacks plus 0.5m results in a serviceable floor level of at least 27m AHD and therefore sufficient depth is available to service the site.

#### 4.1 Demand Calculations

The CMDG, Sewer Network Design & Construction Guidelines – Rev L January 2022, list the following Typical Loadings Per Development Type as:

- Fast Food Services – Sewer load is 3.5ET per 100sqm of gross floor area
- Central Business - Sewer load is 21.3ET per Hectare

Where the Design Average Dry Weather Flow (ADWF) for Rockhampton Regional Council is 540L/d/ET.

Based on the above guidelines, the table below outlines the loading of the proposed development on the sewer network:

##### *Proposed Development:*

<i>0.1047ha of Central Business (Balance Area)</i>	1,204 L/day
<i>245m<sup>2</sup> of Fast Food Services (Hungry Jacks) GFA</i>	4,631 L/day
<i>Estimated Total Demand</i>	<i>~5,800 L/day</i>

Davey Engineering Solutions does not have access to a calibrated hydraulic model of the existing system however, we understand the proposed sewer connection and adjacent network will have sufficient capacity to service this development. It should be noted that the existing sewer down John Street has an approximate grade of 3.8% which will have ample spare capacity for this development. Due to the proposed road crossing being an end of line, the CMDG minimum grade is 1%.

## 5.0 WATER

A 100mm watermain is located on the eastern (opposite) side of John Street Road frontage of the lot. It is proposed to extend a new 100mm main via John Street road crossing to provide a new Fire hydrant and also service the development. The water connection size will be determined during detailed design. An existing 200mm diameter water main is located on the opposite side of Lawrie Street, however this main is not proposed to be utilised for this development. Refer to SKR01 in Appendix 1 for proposed water connection.

### 5.1 Demand Calculations

Planning Guidelines for Water Supply and Sewerage - March 2014, indicate development usage averages are:

- Fast Food Store – Water demand is 1,400 – 4,200L per 100sqm of gross floor area
- Central Business - Water demand is 14,000 – 20,000L per hectare

*Proposed Development:*

<i>0.1047ha of Central Business (Balance Area)</i>	1,466 – 2,094 L/day
<i>245m<sup>2</sup> of Fast Food Services (Hungry Jacks) GFA</i>	3,430 – 10,290 L/day
<i>Total Demand Range</i>	4,896 – 12,384 L/day

Davey Engineering Solutions does not have access to a calibrated hydraulic model of the existing water infrastructure for the area, however we understand Council can complete a network analysis on request. Considering the proximity to the 200mm truck main in Lawrie Street and substantial level difference from the Gracemere reservoir and the site elevation of ~27.6m it is not expected to pose any issues for the proposed use of the site.

## 6.0 STORMWATER MANAGEMENT

### 6.1 Existing Site / Pre-Development Conditions

Currently the land is a vacant block with light grass cover and few scattered trees. The site generally grades from south to north. Majority of the runoff from the site will discharge on to John Street while a small portion of southern catchment will discharge on to Lawrie Street. The above two discharge locations are the Lawful Point of Discharge for this site. The site is not impacted by any



external catchments and post development discharge will be assessed to ensure that there will be no adverse impacts on downstream infrastructures.

The intent of this section is to provide guidelines and recommendations to be incorporated into the future Operational Works design to minimise the impact this development has on the surrounding environment, infrastructure and nearby properties. Refer to drawing in Appendix A for proposed drainage catchment details. Catchment 'B' is unchanged in post-development scenario and therefore it is omitted from hydrology and hydraulic assessment.

## 6.2 Hydrology Assessment

Hydrologic calculations have been undertaken using XPSTORM 2020.1 for pre and post development scenarios as part of the Stormwater Management Report as approved layout under D/48-2022. The modelling within XPSTORM environment was undertaken to estimate the peak discharge for storms up to 1% AEP. Hydrologic modelling has been undertaken using the Laurenson Runoff Routing Method. Laurenson's Method is an industry leading hydrologic routing method that can be used for catchments ranging between 10m<sup>2</sup> up to 20,000km<sup>2</sup>.

Table 1 and 2 summarise the input data for the development site in pre-development and post-development condition as originally modelled in comparison to proposed amended layout and the previously approved layout.

Table 1: Pre-Development Model Parameters (XP Storm)

Parameter		Existing Site (Catchment A)
		Vacant Land
Area (ha)		0.283
Impervious (%)		0.0
Slope (%)		2.0
Laurenson 'n' (storage non-linearity exponent)		-0.285
Infiltration	Initial Loss (mm/hr)	0.0
	Continuing Loss (mm/hr)	2.5
Manning's Roughness (n)		0.030

Table 2a: Post-Development Model Parameters (XP Storm) – Approved Layout with T2

Parameter	Approved Post-Development (Catchment A) to John Street	
	Pavement and Roof	Landscape
Area (ha)(2,830m <sup>2</sup> )	0.257	0.026
Impervious (%)	100	0.0
Catchment (%)	90.8% Impervious	

Table 2b: Post-Development Parameters - Proposed Layout with balance Area

Parameter	Amended Post-Development (Catchment A) to John Street	
	Pavement and Roof	Landscape
Hungry Jacks Area (ha) 2,971m <sup>2</sup> )	0.1800	0.0124
Impervious (%)	100	0.0
Balance Area (ha)	0.0057	0.0990
Impervious (%)	100	0.0
Catchment (%)	63% Impervious	

As can be seen above between Table 2a & 2b the net change to the catchment post development between the approved layout and the proposed amended layout as part of this application results in a reduction of impervious area of in excess of ~590 square meters or about 20% less which will result in a smaller amount runoff during storm events. Completed modeling indicated that approximately 62m<sup>3</sup> of stormwater detention was required onsite and was to be controlled through an outlet of 200mm in size then directed to John Street underground stormwater drainage network. During detailed design the detention volumes can be confirmed, however adopting 62m<sup>3</sup> of detention can be achieved onsite and as such shows that the change to layout can be managed onsite with impact no to downstream properties. Refer to S01 Rev 1 for Stormwater concepts in Appendix A

Table 3: Proposed Storage Model Parameters

<b>5m Wide Kerb Break (Weir – Major Flow) Surface level</b>	27.275m
<b>Maximum Ponding Depth over Inlet / Surcharge Pit</b>	0.075m
<b>Inlet / Surcharge Pit Surface level</b>	27.2m
<b>Approximate Ponding Area over Inlet / Surcharge Pit</b>	16m <sup>2</sup>
<b>Assumed Pavement Depth</b>	0.300m
<b>Underground Detention Tank Level below Pavement</b>	26.8m
<b>Underground Detention Tank Depth</b>	1.0m
<b>Invert Level of 200mm Low Flow Outlet at the base of the Underground Detention Tank</b>	25.8m
<b>Approximate Detention Volume</b>	62m <sup>3</sup>

### 6.3 Stormwater Quality

The following section describes the preliminary design of the Stormwater Quality Improvement Devices (SQID's) that form a treatment train for the operational phase of the development that complies with State Planning Policy 2017 water quality objectives as follows:

- 85% Reduction of Total Suspended Solids
- 60% Reduction in Total Phosphorus
- 45% Reduction in Total Nitrogen
- 90% Reduction in Gross Pollutants

The following guidelines and parameters have been followed in modelling the catchment in MUSIC;

- MUSIC Version 6.3.0
- Rainfall Station 39083 Rockhampton, 6 Minute Time Step From 1980 To 1989



- Water by Design's MUSIC Modelling Guidelines Version 1.0 - 2010 utilizing modified % impervious area, rainfall threshold, soil properties & pollutant concentration
- No drainage routing between nodes

Upon modelling the site's stormwater treatment design, the following Ocean Protect systems are proposed to meet the above prescribed stormwater pollutant reduction:

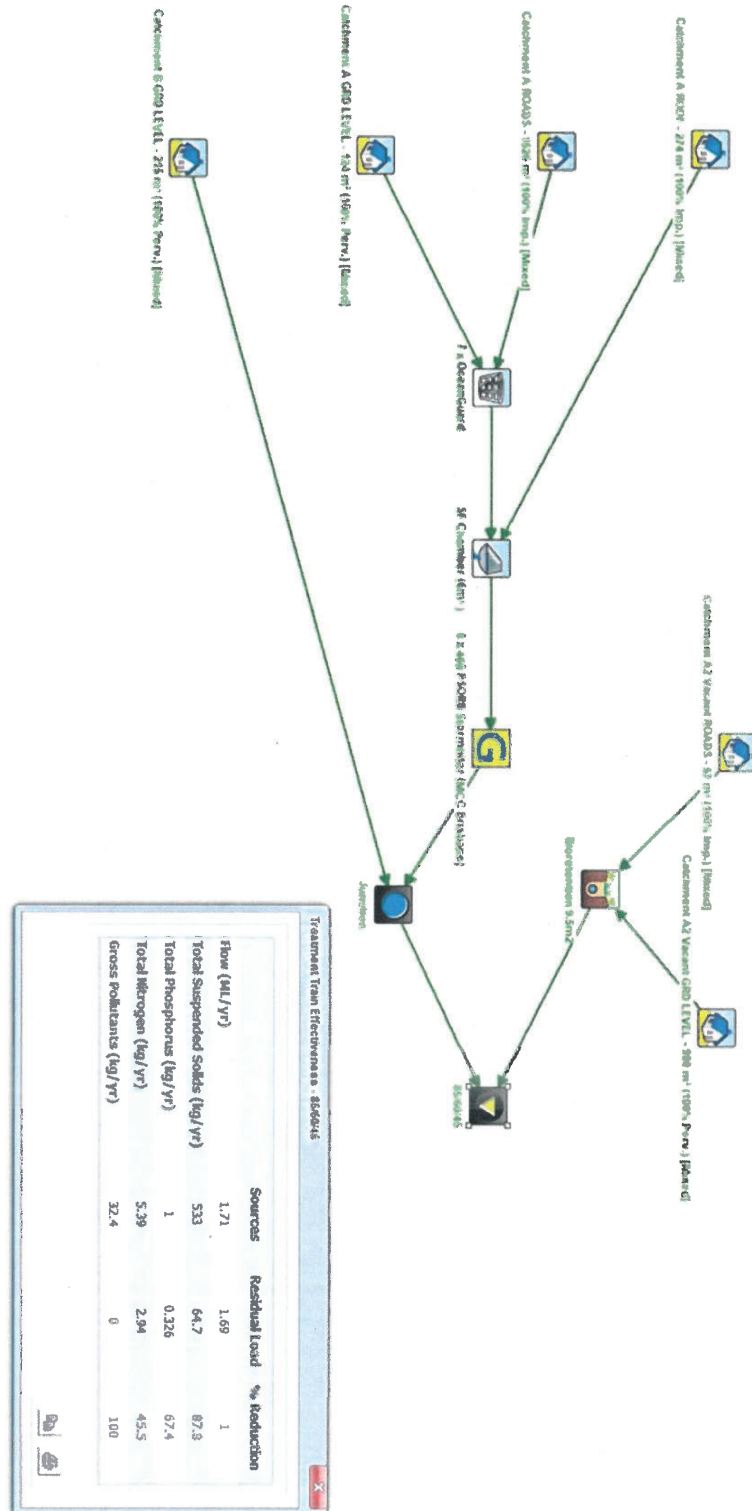
Hungry Jack Area:

- 6 x Standard (460) PSorb cartridge StormFilter system within a **6m<sup>2</sup> StormFilter chamber**, inside the Underground Tank.
- 7 x OceanGuards with 200µm mesh bags (OG-200)

Balance Area

- 9.5m<sup>2</sup> of Sand filter bio basin as per Water By Design standards

Electronic copies of the MUSIC models can be provided upon request.



## 7.0 CONCLUSION

There appears to be no engineering infrastructure difficulties with the proposed Food and Drink outlet and balance area located on the corner of Lawrie and John Street, Gracemere QLD. A review of the services proposed for this development and their impact on existing services indicated that there is no impediment to development.

There is a suitable design strategy for sewer, water supply, and stormwater where the results of the assessment in conjunction with the proposed onsite detention and water quality treatment devices demonstrate that the proposed development can occur without causing any actionable impact external to the site.

The analysis and overall approach was specifically catered for the particular project requirements at Material Change of Use stage, and may not be applicable beyond this scope. As the development is subject to detailed design, further supporting analysis may be required as part of future Operational Works applications.

Minor alterations in design are expected to eventuate from future operational works applications and detailed design phase where all design objectives are co-ordinated, however the fundamentals of this design strategy ensures that service provisions will not pose a serious constraint to the proposed development.

## APPENDIX 1

### Engineering Sketches





## DAVEY ENGINEERING SOLUTIONS

CAPRICORN COAST  
23 DUNE CIRCLE  
LAMMERMOOR  
Queensland 4703

Telephone: +61 419 872 040  
Email: admin@daveyee.com.au

### REVISION / ISSUE REGISTER

No.	DATE	REMARKS
A	01/23	MCU AMENDMENT

### DESIGN DRAWN

JJD	JJD	
NAME	SIGNATURE	R.P.E.Q.
J. DAVEY		8386

For & on behalf of Davey Engineering Solutions Pty Ltd

### SCALES:

0 2.5 10.0m 1:500

DATUM: AHD  
COORDINATES: GDA94

CAPRICORN SURVEY GROUP  
132 Victoria Pde, Rockhampton 4700  
PH: (07) 492 75199  
E: reception@csagcq.com.au

### BELO DEVELOPMENTS

HUNGRY JACKS GRACEMERE  
CNR JOHN & LAWRIE STREETS  
GRACEMERE

### PROPERTY CONNECTIONS LAYOUT

FILE No. 2204

DWG No. 2204-R01 A

PLOT DATE: 13/1/2023 6:35:56 PM  
DO NOT SCALE - IF IN DOUBT ASK

PROPOSED  
PROPERTY  
STORMWATER  
CONNECTION

PROPOSED PROPERTY  
SEWER CONNECTION  
MANHOLE / LAMPHOLE  
SL: 26.60m  
IL: 24.69m

APPROX RETAINING WALL EXTENTS

PRIVATE SEWER / HOUSE DRAINAGE 1 IN 40

PRIVATE STORMWATER

VACANT 1047 m<sup>2</sup>

PROPOSED  
PROPERTY  
WATER  
CONNECTION

100mm ROAD CROSSING FOR  
WATER CONNECTION WITH  
FIRE HYDRANT AT END OF  
LINE

SHARED DRIVEWAY:  
116 m<sup>2</sup>

HUNGRY JACKS SITE:  
1940 m<sup>2</sup>  
EXCLUDING SHARED  
DRIVEWAY

NEW MANHOLE  
SL: 26.15m  
IL: 24.17m  
ROAD CROSSING IL: 24.40m





## DAVEY ENGINEERING SOLUTIONS

CAPRICORN COAST  
23 Dune Circle  
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Queensland 4703

Telephone: +61 418 872 040  
Email: admin@daveyee.com.au

### REVISION / ISSUE REGISTER

No.	DATE	REMARKS
A	01/23	MCU AMENDMENT

DESIGN		DRAWN	
JJD		JJD	
NAME	SIGNATURE	R.P.E.Q.	
J. DAVEY		8386	

For & on behalf of Davey Engineering Solutions Pty Ltd

SCALES:
0 2.5 10.0m 1:500

DATUM: AHD  
COORDINATES: GDA94

CAPRICORN SURVEY GROUP  
132 Victoria Pde, Rockhampton 4700  
PH: (07)49275199  
E: reception@csagcq.com.au

### BELO DEVELOPMENTS

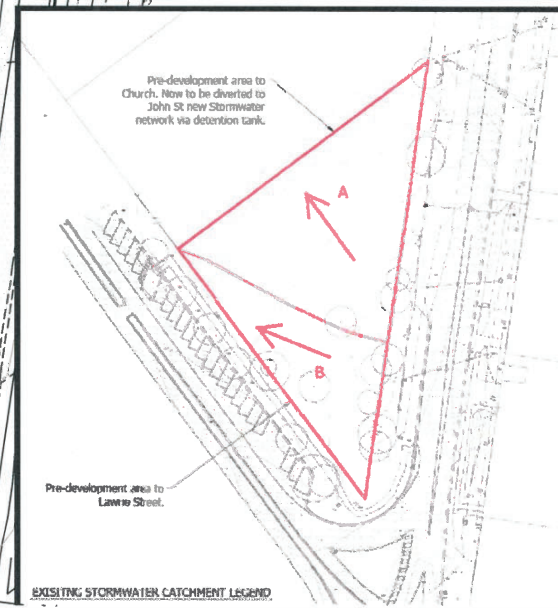
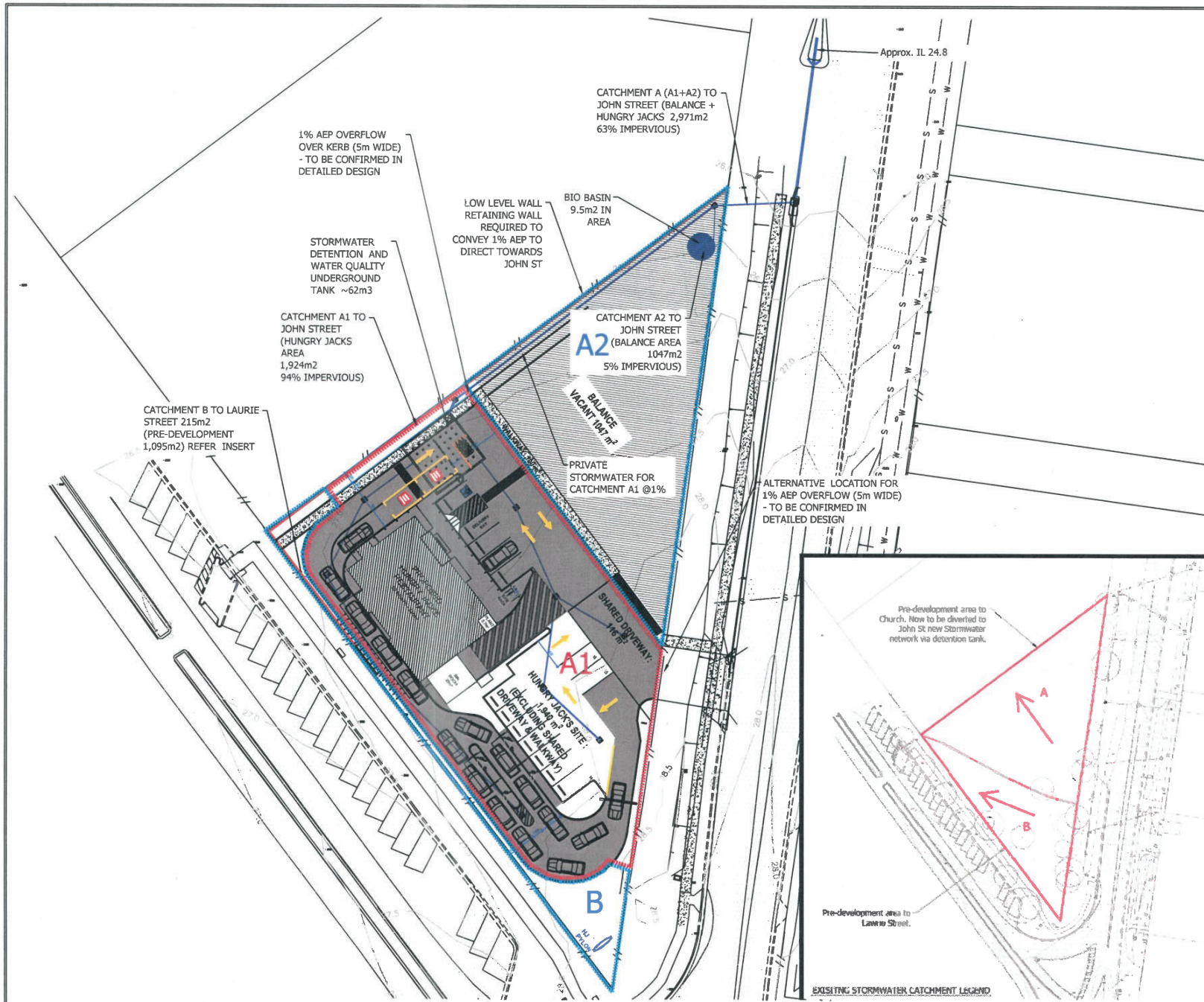
HUNGRY JACKS GRACEMERE  
CHR JOHN & LAURIE STREETS  
GRACEMERE

### STORMWATER LAYOUT

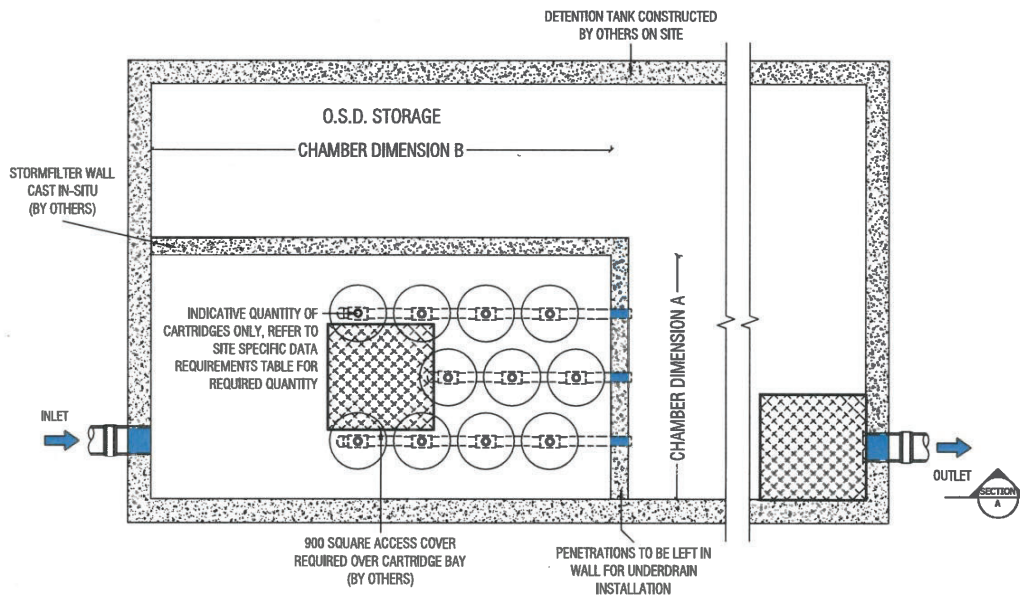
FILE No. 2204

DWG No. 2204-501 A

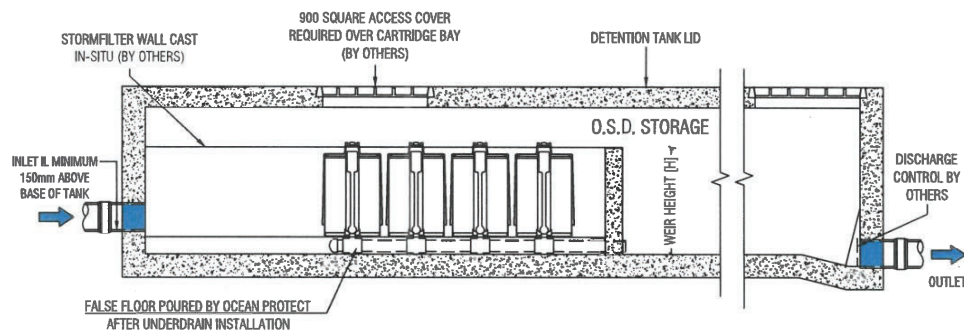
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DO NOT SCALE - IF IN DOUBT ASK



EXISTING STORMWATER CATCHMENT LEGEND



**PLAN LAYOUT**

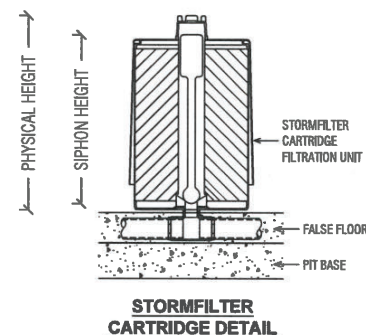


**SECTION A**

**STORMFILTER DESIGN TABLE**

- STORMFILTER TREATMENT CAPACITY VARIES BY NUMBER OF FILTER CARTRIDGES INSTALLED.
- THE STANDARD CONFIGURATION IS SHOWN. ACTUAL CONFIGURATION OF THE SPECIFIED STRUCTURE(S) PER CERTIFYING ENGINEER WILL BE SHOWN ON SUBMITTAL DRAWING(S).
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 178mm.

CARTRIDGE NAME / SIPHON HEIGHT (mm)	690	460	310
CARTRIDGE PHYSICAL HEIGHT (mm)	840	600	600
TYPICAL WEIR HEIGHT [H] (mm)	920	690	540
CARTRIDGE FLOW RATE FOR ZPG MEDIA (L/s)	1.6	1.1	0.7
CARTRIDGE FLOW RATE FOR PSORB MEDIA (L/s)	0.9	0.46	0.39



**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	[ ]
NUMBER OF CARTRIDGES REQ'D	[ ]
SIPHON HEIGHT (310 / 460 / 690)	[ ]
MEDIA TYPE (ZPG / PSORB)	[ ]
WATER QUALITY FLOW RATE (L/S)	[ ]
DIMENSION A	[ ]
DIMENSION B	[ ]

TOTAL CARTRIDGE BAY AREA (A x B)  
TO MATCH AREA REQUIRED BY MUSIC  
MODELLING OR COUNCIL SPECIFIC  
REQUIREMENTS

**GENERAL NOTES**

1. INLET AND OUTLET PIPES TO BE IN ACCORDANCE WITH APPROVED PLANS.
2. A HIGH FLOW BYPASS ARRANGEMENT OR DISSIPATION STRUCTURE MAY BE REQUIRED TO MINIMISE RE-SUSPENSION OF SOLIDS OR ANY SIGNIFICANT INERTIAL FORCES ON THE CARTRIDGES.
3. ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE. REFER TO OPERATION AND MAINTENANCE MANUAL FOR GUIDELINES AND ACCESS REQUIREMENTS.
4. SITE SPECIFIC PRODUCTION DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
5. THE INVERT LEVEL OF THE INLET PIPE MUST BE GREATER THAN THE RL OF THE FALSE FLOOR WITHIN THE CARTRIDGE CHAMBER.
6. CONCRETE STRUCTURE AND ACCESS COVERS DESIGNED AND PROVIDED BY OTHERS. ACCESS COVERS TO BE A MINIMUM 900 X 900 ABOVE CARTRIDGES. OH&S REGARDING ACCESS COVERS AND TANK ACCESS TO BE ASSESSED BY OTHERS ON SITE.
7. THE STRUCTURE THICKNESSES SHOWN ARE FOR REPRESENTATIONAL PURPOSES.
8. DRAWINGS NOT TO SCALE.

**INSTALLATION NOTES**

1. UNDERDRAIN AND FALSE FLOOR INSTALLED BY OCEAN PROTECT.

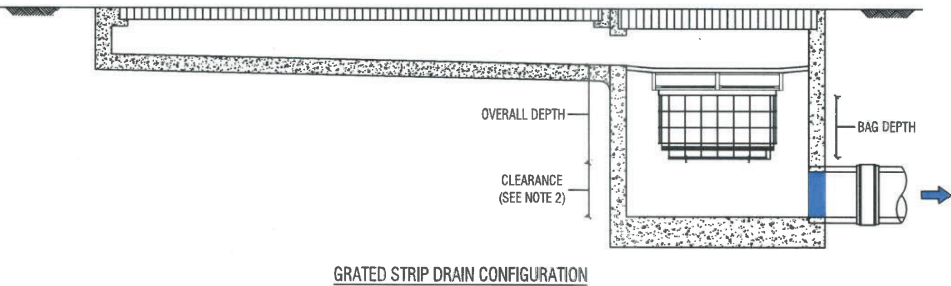
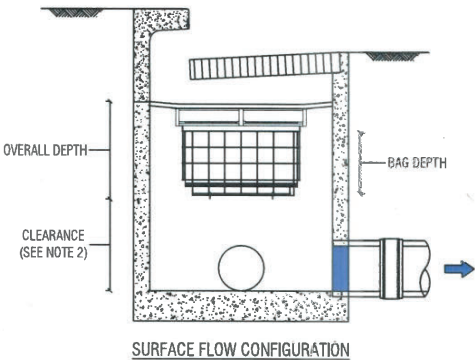
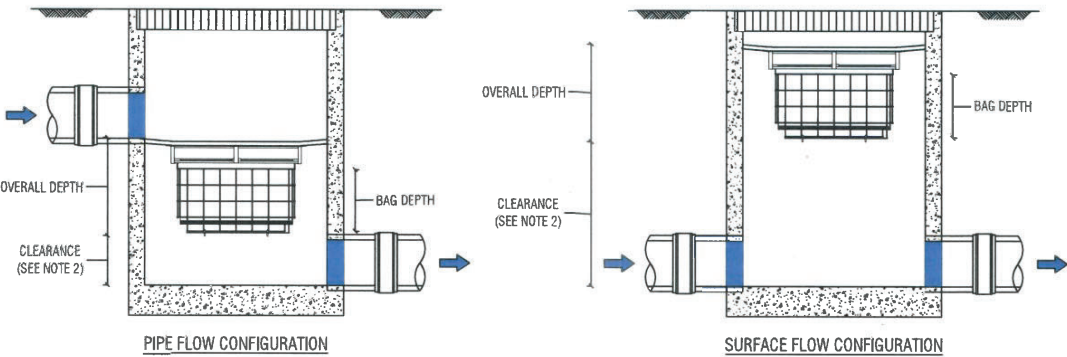


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OCEAN PROTECT  
STORMFILTER SYSTEM  
DETENTION TANK ARRANGEMENT  
SPECIFICATION DRAWING

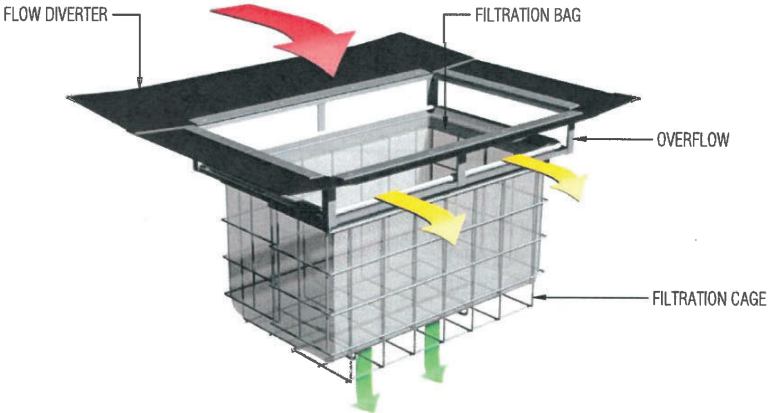




PLAN ID	MAXIMUM PIT PLAN DIMENSIONS
S	450mm x 450mm
M	600mm x 600mm
L	900mm x 900mm
XL	1200mm x 1200mm

DEPTH ID	BAG DEPTH	OVERALL DEPTH
1	170	270
2	300	450
3	600	700

PLAN ID		DEPTH ID		
		1	2	3
S		■	■	■
M		■	■	■
L		■	■	■
XL		■	■	■



**GENERAL NOTES**

1. THE MINIMUM CLEARANCE DEPENDS ON THE CONFIGURATION (SEE NOTE 2) AND THE LOCAL COUNCIL REQUIREMENTS.
2. CLEARANCE FOR ANY PIT WITHOUT AN INLET PIPE (ONLY USED FOR SURFACE FLOW) CAN BE AS LOW AS 50mm. FOR OTHER PITS, THE RECOMMENDED CLEARANCE SHOULD BE GREATER OR EQUAL TO THE PIPE OBVERT SO AS NOT TO INHIBIT HYDRAULIC CAPACITY.
3. OCEAN PROTECT PROVIDES TWO FILTRATION BAG TYPES:- 200 MICRON BAGS FOR HIGHER WATER QUALITY FILTERING AND A COARSE BAG FOR TARGETING GROSS POLLUTANTS.
4. DRAWINGS NOT TO SCALE.



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OCEAN PROTECT  
OCEANGUARD  
TYPICAL ARRANGEMENTS  
SPECIFICATION DRAWING



2 February 2023

Belo Developments  
C/- ADAMS + SPARKES Town Planning  
PO Box 100  
Buddina QLD 4575

Attention: Pete Sparks

Dear Pete,

**RE: 6 LAWRIE STREET, GRACEMERE  
TRAFFIC ENGINEERING ASSESSMENT**

## INTRODUCTION

This report has been prepared by PTT to review the traffic engineering implications of proposed modifications to the approved layout of a Hungry Jack's food and drink outlet located at 6 Lawrie Street, Gracemere. The aim of this report is to consider the traffic engineering impact of the proposed modifications to the approved layout.

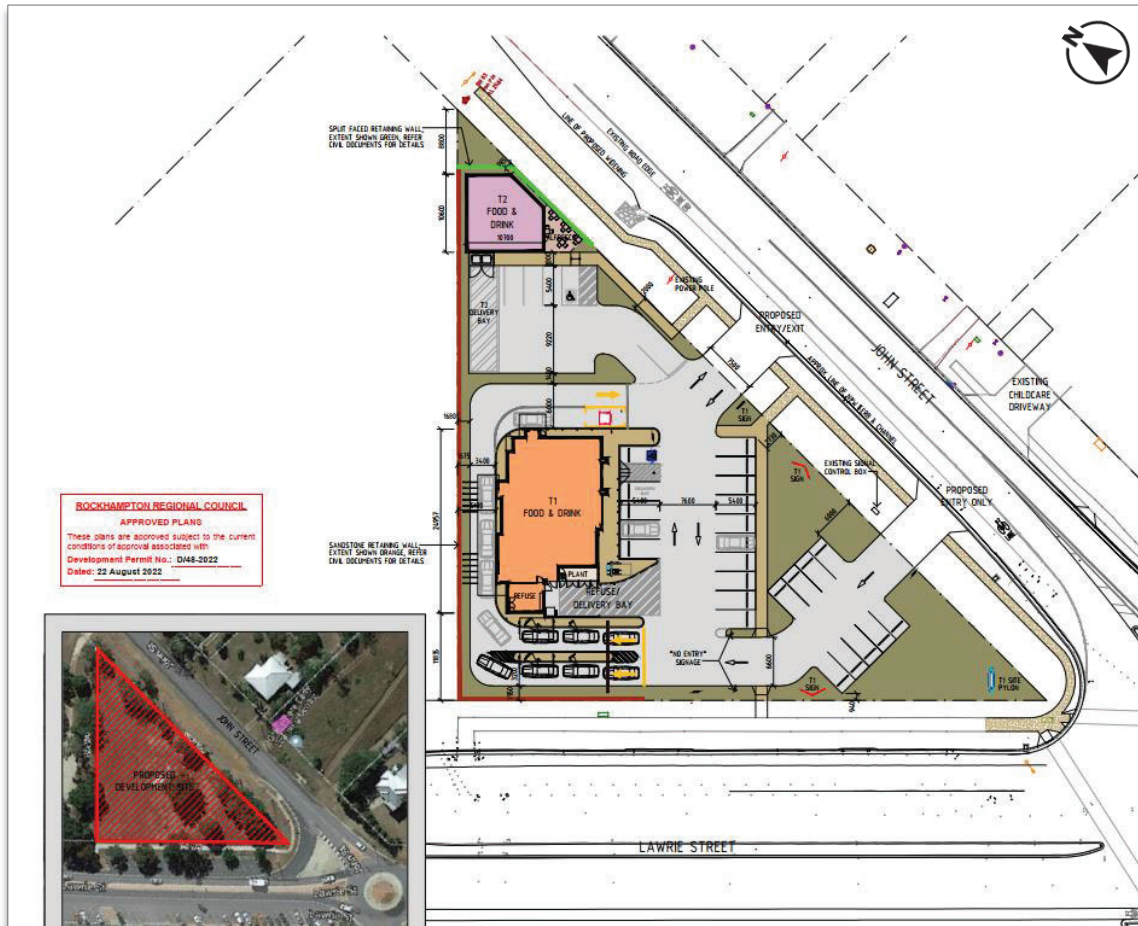
## APPROVED LAYOUT

In August 2022, development approval was granted by Rockhampton Regional Council (Development Application reference D/48-2022) for a Material Change of Use (MCU) for two food and drink outlets on the subject site. The approved development layout incorporated the following:

- two food and drink outlets incorporating 283m<sup>2</sup> GFA and 102m<sup>2</sup> GFA for tenancy 1 and 2 respectively
- a total of 29 on-site car parking spaces
- two access driveways on John Street

The approved development layout is shown in Figure 1.

**Figure 1: APPROVED DEVELOPMENT LAYOUT**



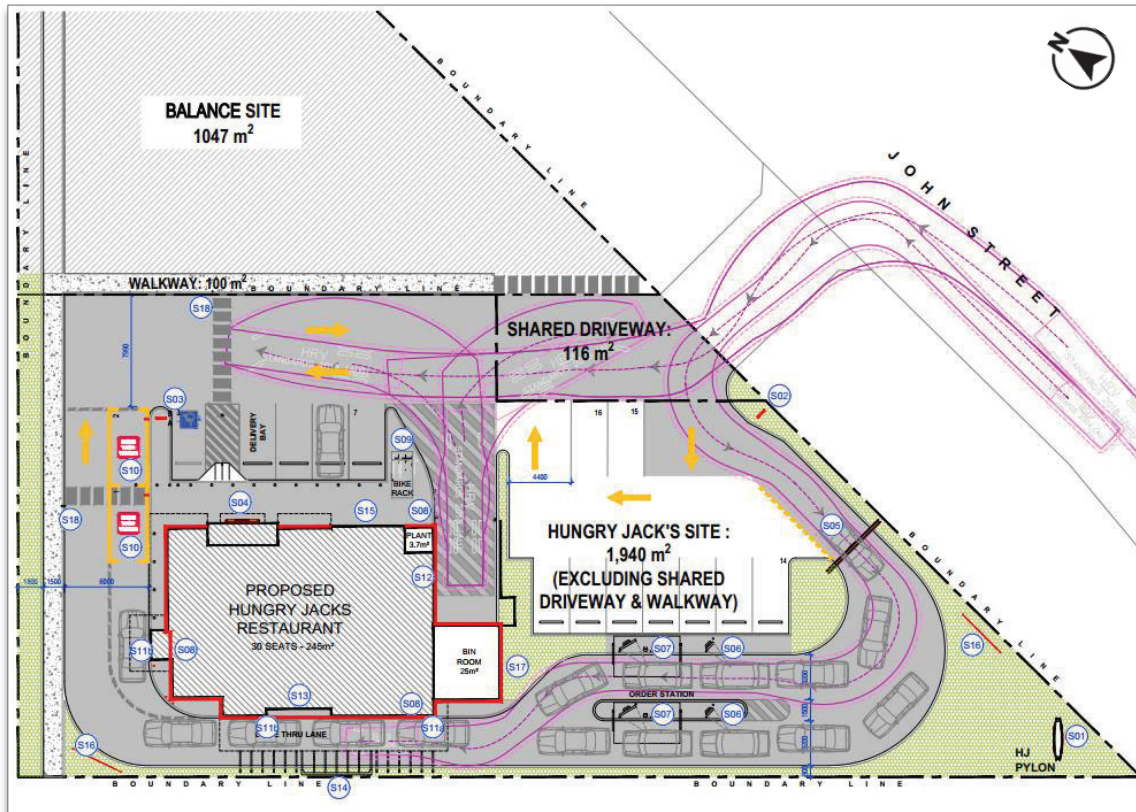
## PROPOSED LAYOUT MODIFICATIONS

The proposed modifications to the approved development layout incorporate the following:

- a rotated food and drink outlet (Hungry Jacks) on the southern lot comprising a total of 245m<sup>2</sup> GFA and supported by 16 on-site car parking spaces
- a single consolidated vehicle access on John Street with an access easement

The revised development layout is shown in Figure 1, with the proposed modifications to the access, car parking and servicing arrangements discussed in more detail below.

**Figure 2: REVISED DEVELOPMENT LAYOUT**



## ACCESS

Vehicle access to the site is proposed via a single shared driveway crossover on John Street. The access would be located approximately 45m north of the intersection with Lawrie Street and 65m from the northern property boundary. Therefore, the location of the driveway complies with relevant standards in terms of separation from neighbouring driveways and intersections.

In addition, the proposed access arrangements represent an improvement compared with the approved scheme in terms of a reduction in the number of driveways on John Street and greater separation between the crossover and the signalised intersection with Lawrie Street.

The access driveway accommodates all turn movements and would have a 7.5m wide 'General Wide' crossover design in accordance with the Institute of Public Works Engineering Australia (IPWEA) Standard Drawing.

Vehicle swept paths of a heavy rigid vehicle entering and egressing the proposed food and drink outlet on the southern lot are shown in Figure 4 and the attached Drawing 23-357-001.

## CAR PARKING

### Requirement

The Rockhampton Regional Council Access, Parking and Transport Code (Section 9.3.1 of the Planning Scheme) identifies minimum on-site car parking requirements for a food and drink outlet of one space per 15m<sup>2</sup> GFA for seating areas (including outdoor seating areas), with on-site queuing for at least 10 vehicles where involving a drive through facility.

Based on an assumed seating area of 125m<sup>2</sup> GFA (ie approximately 50% of the total GFA), the food and drink outlet would require a minimum provision of nine on-site car parking spaces.

The proposed layout provides 16 on-site car parking spaces including:

- 12 standard car parking bays
- one person with disability (PWD) bay
- two drive-through customer waiting bays
- one delivery bay (ie signed for two-minute parking)

Accordingly, the car parking provision for the development layout complies with the minimum Rockhampton Regional Council Planning Scheme Policy requirements and is expected to be sufficient to meet peak car parking demand.

The drive-through queuing provision (ie around 16 vehicles) exceeds the minimum queuing capacity identified in the Rockhampton Regional Council Access, Parking and Transport Code (ie 10 vehicles).

### Design

The design of the car parking layout is generally in accordance with the Australian Standard AS2890.1:2004 Parking Facilities Part 1: 'Off-Street Car Parking' (AS2890.1) requirements and is typified by:

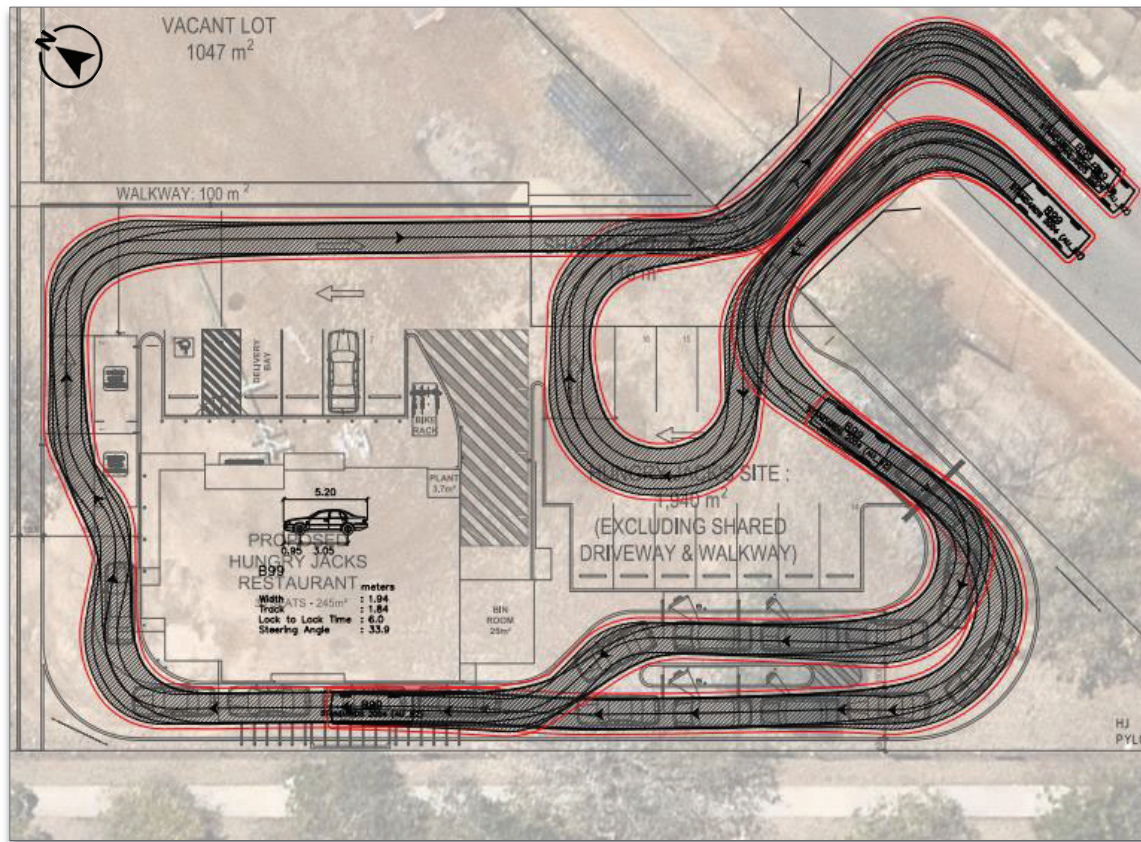
- general car parking spaces dimensioned 2.6m wide by 5.4m long (Class 3 parking)
- PWD space dimensioned 2.4m wide by 5.4m long, with an adjacent 2.4m wide shared area (Class 4 parking)
- customer waiting bay spaces dimensioned 2.7m wide by 5.4m long (Class 3 parking)
- parking aisles dimensioned (minimum) 5.8m wide

Vehicle swept paths for a large car (B99) are provided in Figure 3 (and Drawing 23-357-002) to demonstrate the following movements:

- a large car manoeuvring through the new drive-through facility
- a large car manoeuvring through the new car parking module and one-way circulation aisle



**Figure 3: B99 SWEEP PATHS**



## COMMERCIAL VEHICLE SERVICING

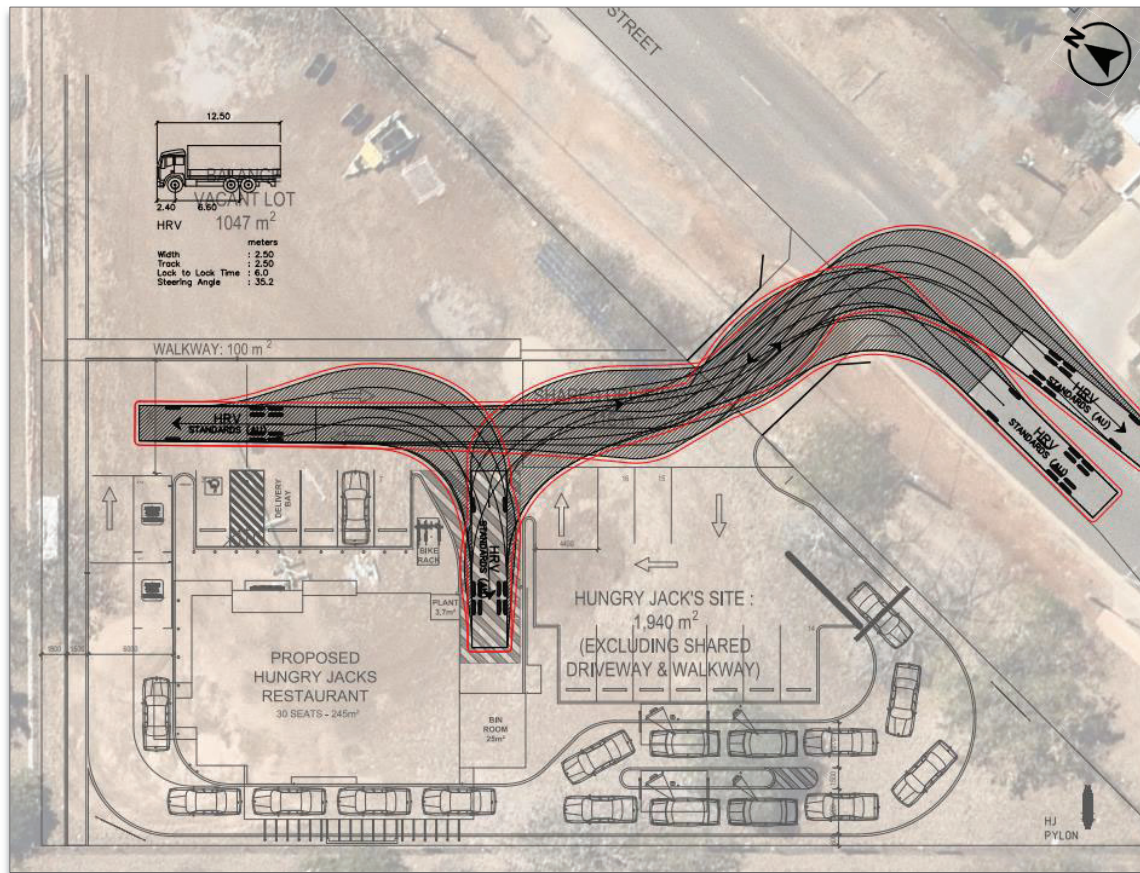
The proposed layout for the food and drink outlet provides a dedicated loading bay (4.5m wide by 12.5m long), which is capable of accommodating a HRV / RCV as demonstrated in Figure 4 and Drawing 23-357-001.

## ACTIVE TRANSPORT

Pedestrian access to the site is proposed via dedicated pedestrian entrances (ie separate from the driveway) on both the Lawrie Street and John Street frontages.

The proposed layout for the food and drink outlet provides four bicycle parking spaces in the form of racks in close proximity to the building entrance.

**Figure 4: HRV SWEEP PATHS**



## CONCLUSIONS

This report has reviewed the traffic engineering aspects of proposed modifications to the approved layout of a food and drink outlet located at 6 Lawrie Street, Gracemere. In our view, the revised development layout is consistent with relevant standards and guidelines with respect to the access, car parking and servicing arrangements.

If you have any questions regarding the issues discussed above, please do not hesitate to contact us.

Yours sincerely,

James Gannon  
Principal Engineer (RPEQ 22233)





# HUNGRY JACK'S GRACEMERE

CRN LAWRIE STREET & JOHN STREET, GRACEMERE QLD 4702



LOCATION PLAN SCALE 1:750

## DRAWING LIST

- DA00 COVER PAGE & LOCATION PLAN
- DA01 SITE PLAN & SIGNAGE LOCATION PLAN
- DA02 PROPOSED FLOOR PLAN
- DA03 ELEVATIONS SHEET 1
- DA04 ELEVATIONS SHEET 2
- DA05 SIGNAGE DETAILS SHEET 1
- DA06 SIGNAGE DETAILS SHEET 2
- DA07 DRIVE-THRU ORDER CANOPY
- DA08 LANDSCAPE PLAN
- DA09 EXTERNAL FINISHES SCHEDULE
- DA10 3D SKETCHES

VERIFY ALL DIMENSIONS AND LEVELS ON SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS. THE COMPLETION OF THE ISSUE DETAILS CHECKED AND AUTHORISED SECTION IS CONFIRMATION OF THE STATUS OF THE DRAWING. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE.

CLIENT

**HUNGRY JACK'S PTY. LTD.**  
L6 - 100 WILLIAM STREET  
WOOLLOOMOOLOO NSW 2011

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STATUS	REV	DATE	AMENDMENT	DRW
<input type="radio"/> SKETCH	1	11.11.21	ISSUE FOR HJ REVIEW	SF
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<input type="radio"/> TENDER	5	14.12.22	LANDSCAPE BUFFER ADDED	AM
<input type="radio"/> CONSTRUCTION				

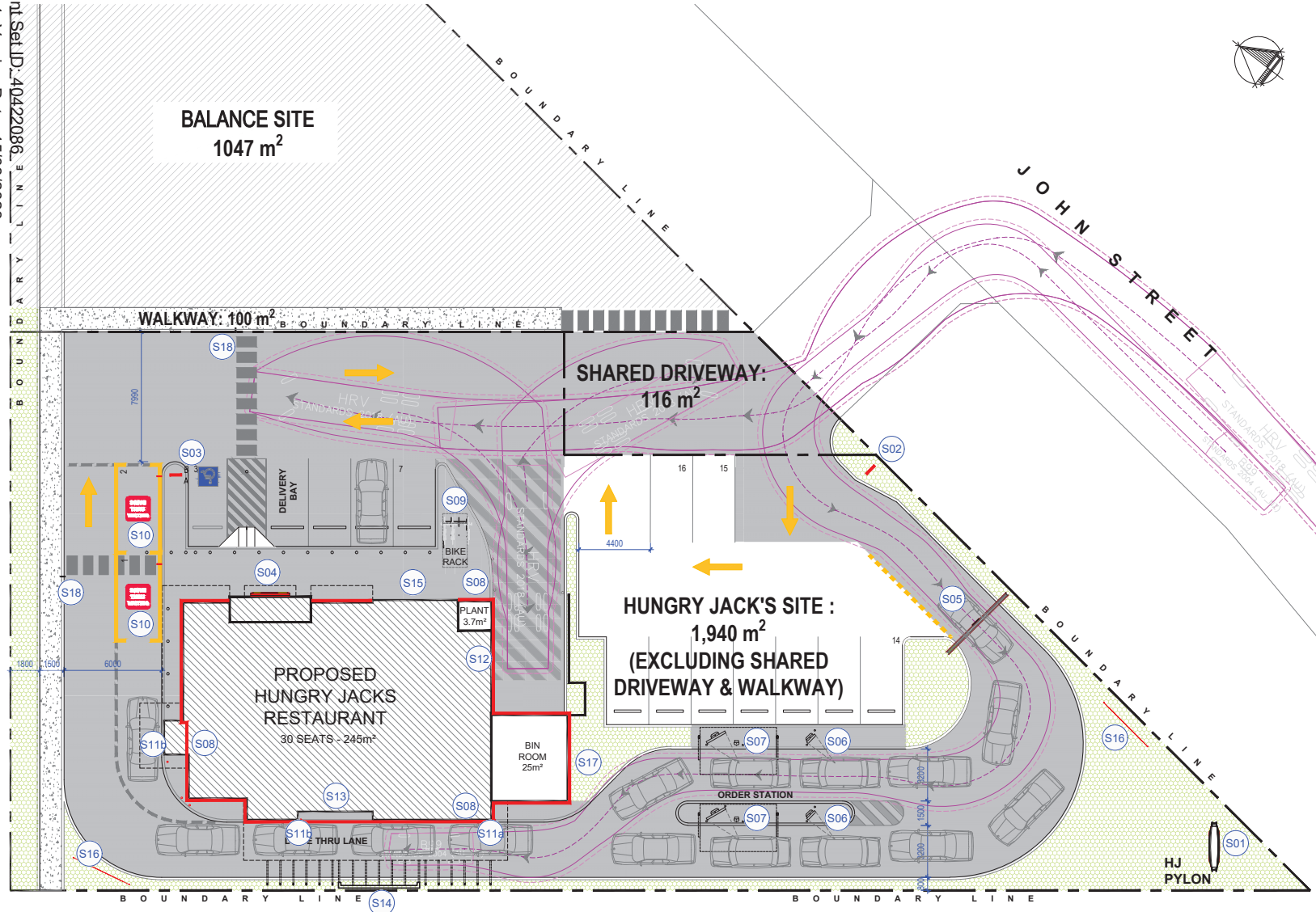
PROJECT HUNGRY JACK'S

**GRACEMERE**  
CORNER OF LAWRIE &  
JOHN STREET GRACEMERE  
QLD 4702

DRAWING		
COVER PAGE & LOCATION PLAN		
PROJECT NO. 211103	DATE	NOVEMBER 2021
SCALE	DRAWING NO.	REV.
NTS@A3	DA00	5

63 WYNDHAM STREET  
ALEXANDRIA NSW 2015  
ABN 47 627 526 881  
PH : 02 8590 5185  
info@fangarchitects.com.au

Nominated Architect: Shiyun Fang (Reg 7958)



HJs BUILDING AREA	248.0m²
BIN ROOM	22.0m²
PLANT ROOM	10.0m²
CAR PARKING :	13 SPACES
DISABLED PARKING	1 SPACE
WAITING BAY :	2 SPACE
TOTAL CAR PARKING :	16 SPACES
CAR STACK:	16 CARS

- HJs Building Area  
measured from the external face of external walls, exclude bin enclosure and plant enclosure
- EXTENT OF LANDSCAPE AREA  
PLANTS BY LANDSCAPE SPECIALIST.
- EXTENT OF BLACK  
CONCRETE PAVEMENT

- SIGNAGE LEGEND**  
REFER TO DA06-DA07 FOR SIGNAGE DETAILS
- S01 - 9.0M HIGH PYLON SIGN
  - S02 - ILLUMINATED DIRECTIONAL SIGN
  - S03 - ILLUMINATED DIRECTIONAL SIGN
  - S04 - 2.4m SQUARE ILLUMINATED BUN LOGO
  - S05 - DRIVE THRU GANTRY HEIGHT BAR
  - S06 - DRIVE THRU PREVIEW BOARD
  - S07 - DRIVE THRU MENUBOARDS
  - S08 - ILLUMINATED RED FASCIA LIGHTBOX
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PROJECT HUNGRY JACK'S

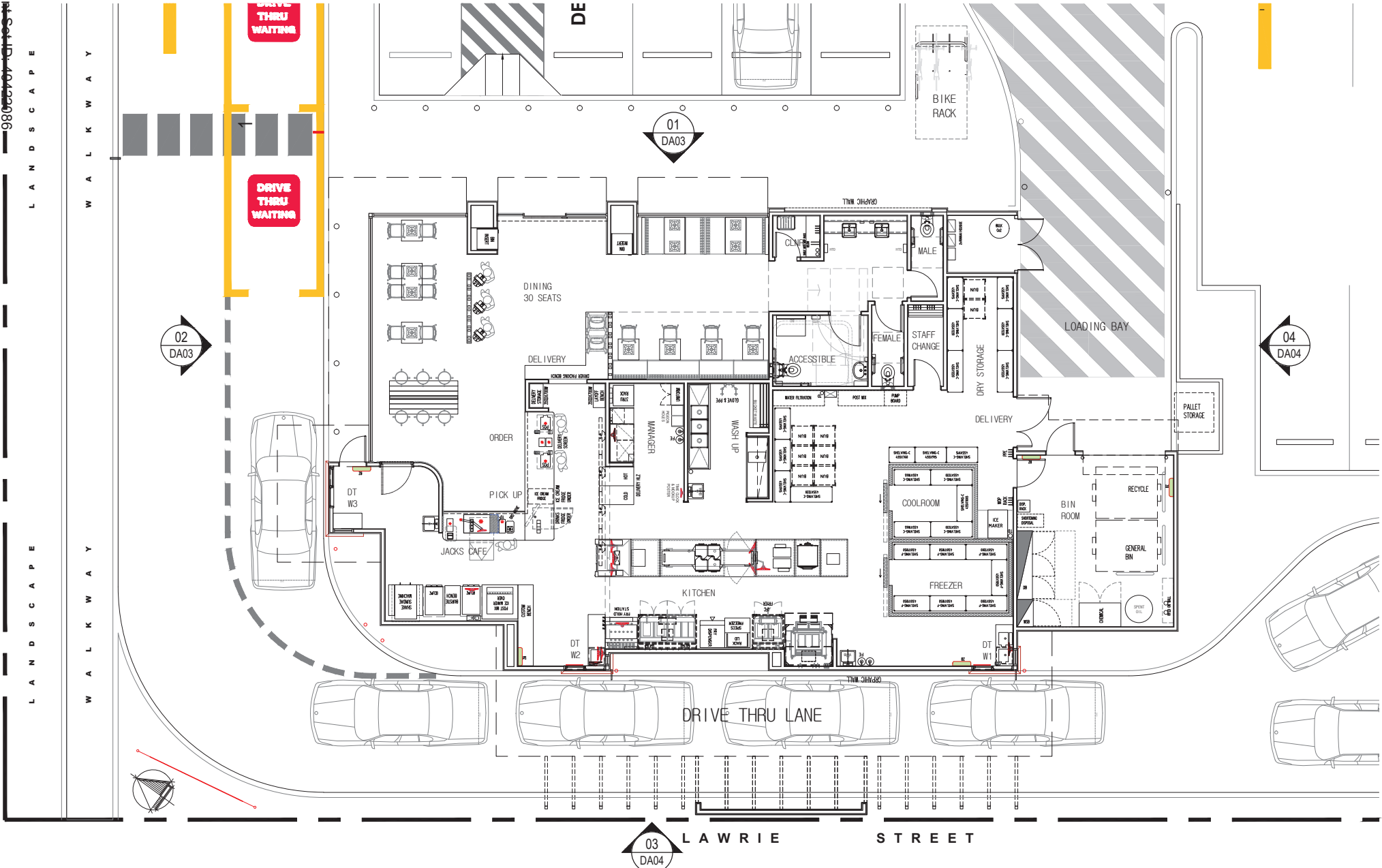
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CORNER OF LAWRIE &  
JOHN STREET GRACEMERE  
QLD 4702

DRAWING			
SITE PLAN & SIGNAGE LOCATION PLAN			
PROJECT NO. 211103	DATE	NOVEMBER 2021	
SCALE	DRAWING NO.	REV.	
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63 WYNDHAM STREET  
ALEXANDRIA NSW 2015  
ABN 47 627 526 881  
PH : 02 8590 5185  
info@fangarchitects.com.au

Nominated Architect: Shiyun Fang (Reg 7958)





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<input type="radio"/>	TENDER	5	12.12.22	PEDESTRIAN FOOTPATH ADDED	AM
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PROJECT HUNGRY JACK'S  
**GRACEMERE**  
CORNER OF LAWRIE &  
JOHN STREET GRACEMERE  
QLD 4702

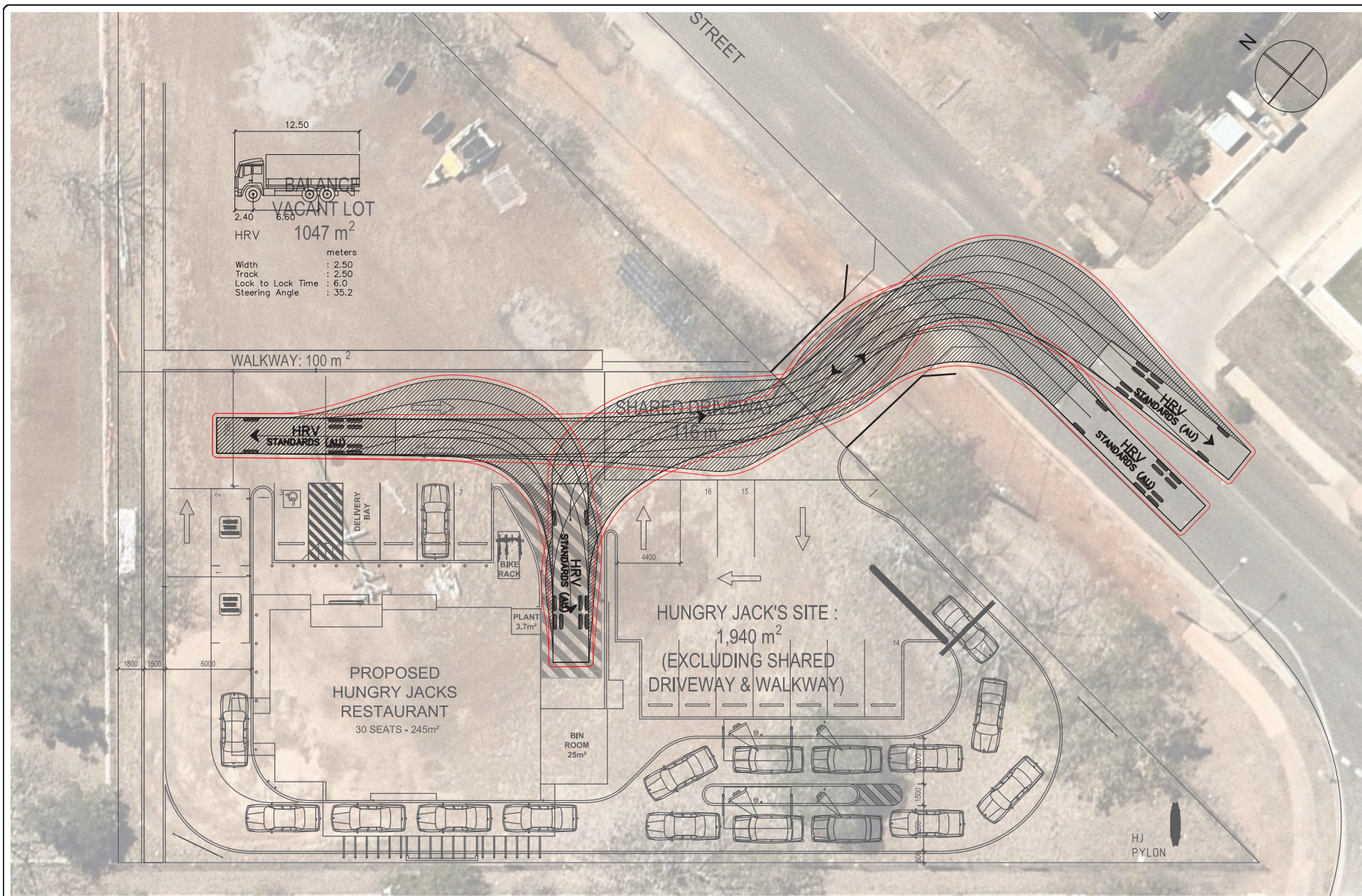
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PROJECT NO. 211103	DATE	NOVEMBER 2021
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63 WYNDHAM STREET  
ALEXANDRIA NSW 2015  
ABN 47 627 526 881  
PH : 02 8590 5185  
info@fangarchitects.com.au

Nominated Architect: Shyan Fang (Reg 7958)







**PTT**  
TRAFFIC & TRANSPORT ENGINEERING

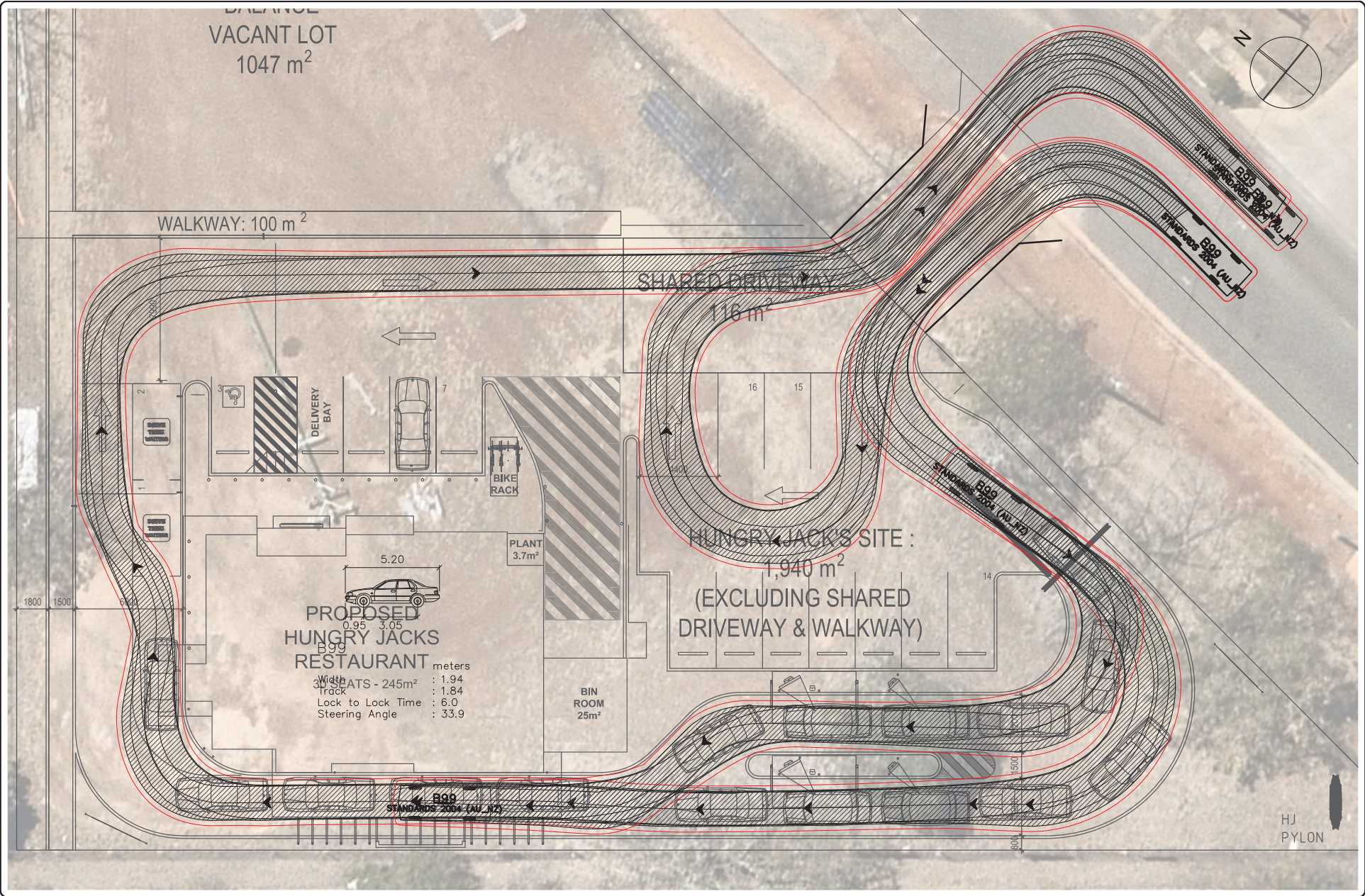
ABN 96 067 593 962  
P 07 3839 6771 [WWW.PTT.COM.AU](http://WWW.PTT.COM.AU)  
Level 2, 62 Astor Tce, Spring Hill QLD 4000

REV.	AMENDMENTS	DRN	DATE

PROJECT TITLE:	6 LAWRIE STREET, GRACEMERE
DRAWING TITLE:	HRV ACCESS AND MANOEUVRING

CLIENT:			
BELO DEVELOPMENTS			
DATE:	SCALE:	DRAWN:	APPROVED:
25/01/2023	1:250@A3	CB	JG
DRAWING NO.	REV	JOB NO.	
23-357-001		23-357	



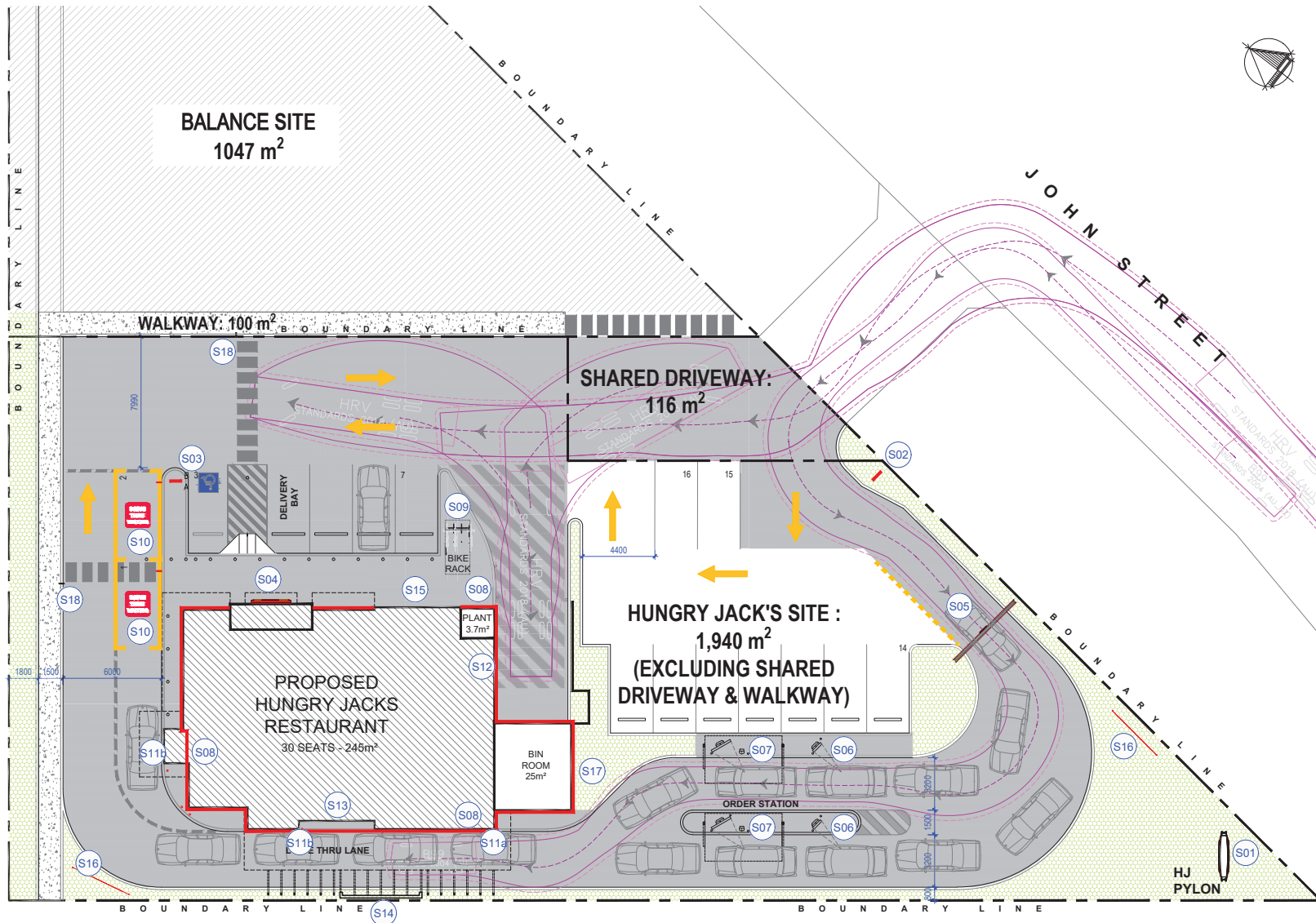


REV.	AMENDMENTS	DRN	DATE


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DRAWING TITLE:	B99 ACCESS AND MANOEUVRING


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DATE:	25/01/2023	SCALE:	1:200@A3	DRAWN:	CB	APPROVED:	JG	
DRAWING NO.		23-357-002		REV	JOB NO.			23-357






HJs BUILDING AREA	248.0m <sup>2</sup>
BIN ROOM	22.0m <sup>2</sup>
PLANT ROOM	10.0m <sup>2</sup>
CAR PARKING :	13 SPACES
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TOTAL CAR PARKING :	16 SPACES
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 **HJs Building Area**  
measured from the external face of external walls, exclude bin enclosure and plant enclosure

 EXTENT OF LANDSCAPE AREA  
PLANTS BY LANDSCAPE SPECIALIST.

 EXTENT OF BLACK  
CONCRETE PAVEMENT


### SIGNAGE LEGEND

REFER TO DA06-DA07 FOR SIGNAGE DETAILS

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- S02 - ILLUMINATED DIRECTIONAL SIGN
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L A W R I E S T R E E T

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DA/ PP	8	12.12.22	PEDESTRIAN FOOTPATH & SIGNAGE ADDED	AM
AMENDED DA	9	16.12.22	LANDSCAPE BUFFER ADDED	AM
BA/CC				
TENDER				
CONSTRUCTION				

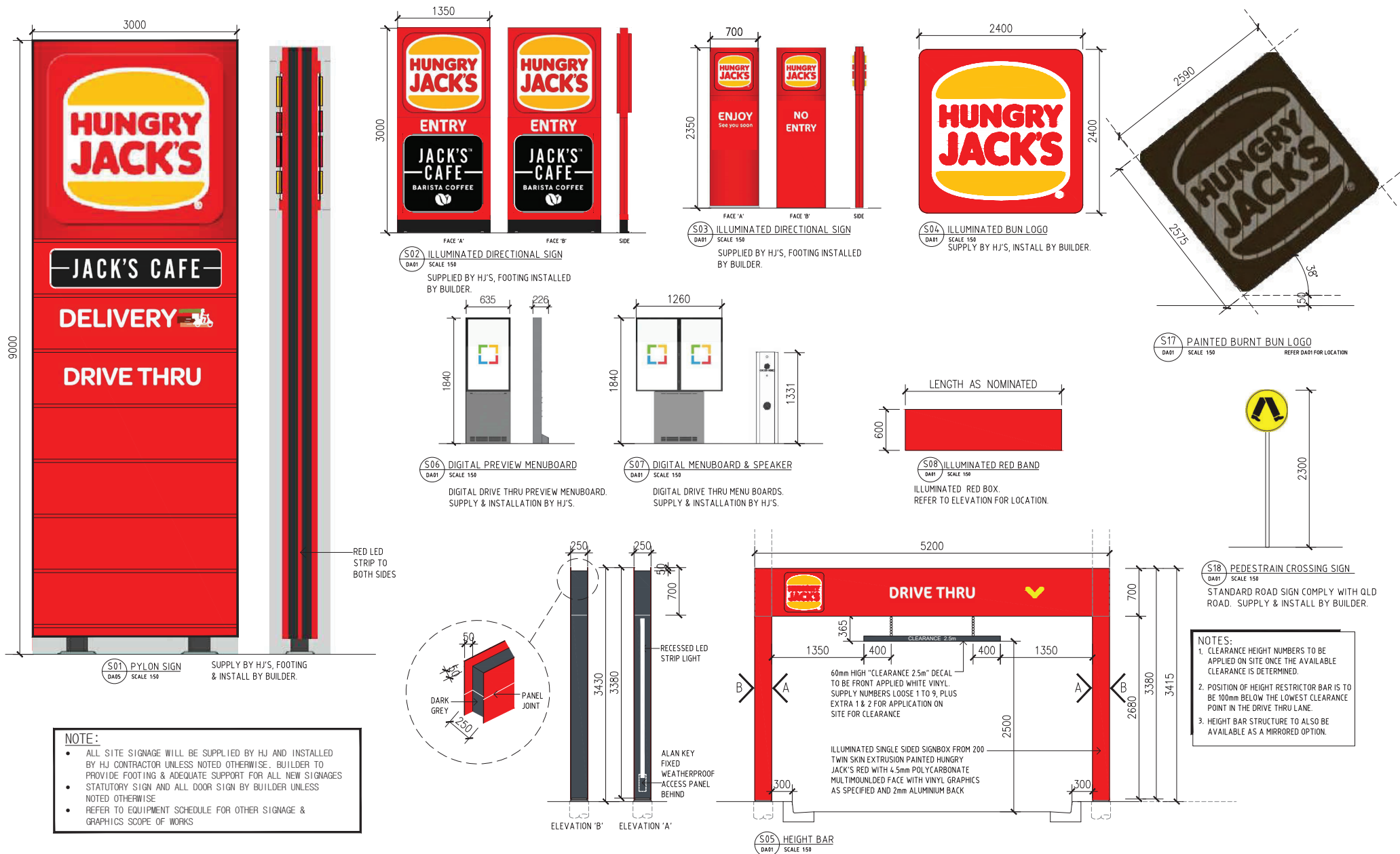
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**GRACEMERE**  
CORNER OF LAWRIE &  
JOHN STREET GRACEMERE  
QLD 4702

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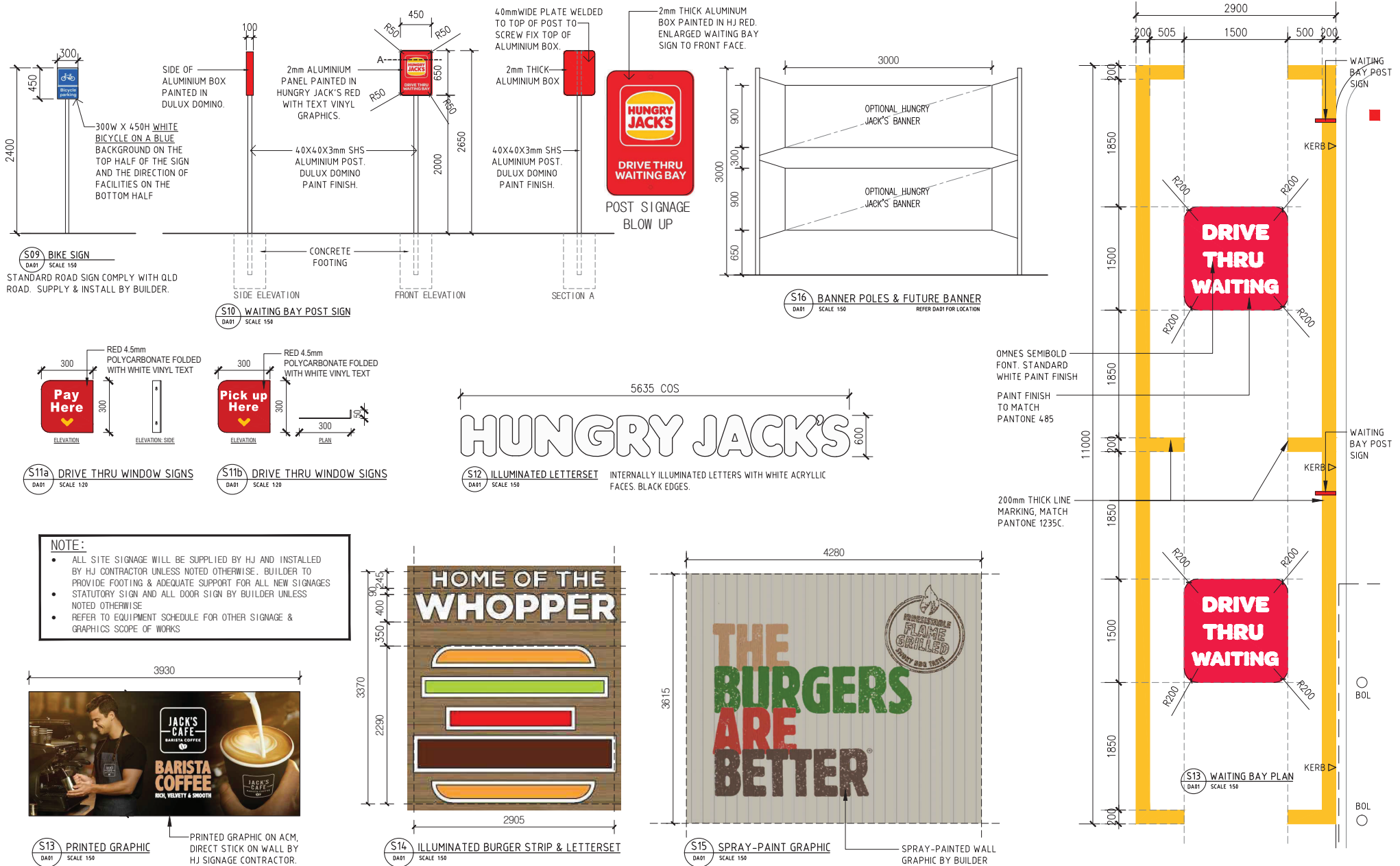
63 WYNDHAM STREET  
ALEXANDRIA NSW 2015  
ABN 47 627 526 881  
PH : 02 8590 5185  
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Nominated Architect: Shiyun Fang (Reg 7958)









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							<div>PROJECT NO. 211103</div> <div>SCALE 1:50@A3</div>	<div>DATE NOVEMBER 2021</div> <div>DRAWING NO. DA06</div>	<div>REV. 3</div>
<div>63 WYNDHAM STREET ALEXANDRIA NSW 2015 ABN 47 627 526 881 PH : 02 8590 5185 info@fangarchitects.com.au</div> <div><div>Nominated Architect: Shyan Fang (Reg 7958)</div><div><div>FANG ARCHITECTS</div><div></div></div></div>									



# Infrastructure Charges Notice (Amended)

PLANNING ACT 2016, SECTION 121

Application number:	D/48-2022	Contact:	Aidan Murray
Date of Decision:	8 March 2023	Contact Number:	07 4936 8099

## 1. APPLICANT DETAILS

Name:	Enhance Property Investments No 6		
Postal address:	C/- Adams + Sparkes Town Planning PO BOX 1000 BUDDINA QLD 4575		
Phone no:	(07) 4231 3200	Mobile no:	N/A
Email:	admin@astpd.com.au		

## 2. PROPERTY DESCRIPTION

Street address:	6 Lawrie Street, Gracemere
Property description:	Lot 604 on R2642, Parish of Gracemere

## 3. OWNER DETAILS

Name:	TMSF Pty Ltd Tte
Postal address:	Table Mountain Superannuation Fund 221 McEvoy Road, KABRA QLD 4702

## 4. DEVELOPMENT APPROVAL

**Development Permit for Material Change of Use for a Food and Drink Outlet and Operational Works for Advertising Devices**

## 5. CHANGES TO INFRASTRUCTURE CHARGES NOTICES

Changed	8 March 2023
---------	--------------

## 6. INFRASTRUCTURE CHARGE

For a change application (minor), Council must recalculate the levied charges in accordance with the version of the Charges Resolution in effect when the Infrastructure Charges Notice (ICN) was issued.

The below calculations are based on the impervious area identified in the approved Engineering Report (Drawing No. 2204-501, Stormwater Layout), that being 63% of Catchment A (2,971m<sup>2</sup>) directing to John Street. Catchment B directing to Lawrie Street is comprised of landscaping area and is not impervious.

Charges Resolution (No. 1) of 2022 for non-residential development applies to the application. The Infrastructure Charges are as follows:

This is based on the following calculations:

- (a) A charge of \$48,314.00 for Gross Floor Area being 245 square metres<sup>1</sup>;
- (b) A charge of \$20,495.44 for Impervious Area being 1,871.73 square metres (roof area, hardstand areas, access, and parking areas); and
- (c) An Infrastructure Credit of \$30,677.65 applicable for the existing one allotment.

In accordance with section 3.1 of Charges Resolution (No.1) of 2022, the base charge will be automatically increased using the Producer Price Index (PPI), adjusted according to the three (3) yearly PPI average quarterly percentage change between financial quarters; and

In accordance with Development Incentives Policy, section 3.5 of the Charges Resolution (No. 1) of 2022, the levied charge will be 85 per cent of the total charge calculated.

Column 1 Use Schedule	Column 1A Use	Column 2 Adopted Infrastructure Charge for non-residential development (\$)		Column 3 Calculated Charge
		(a) per m <sup>2</sup> of Gross Floor Area (GFA)	(b) per m <sup>2</sup> Impervious to Stormwater	
Commercial (retail)	Food and Drink Outlet	197.20	N/A	\$48,314.00
		N/A	10.95	\$20,495.44
Total Base Charge				\$68,809.44
Charge (including PPI)				\$70,300.01
Total Base Credit				\$30,677.65
Credit (including PPI)				\$31,342.20
TOTAL CHARGE				\$37,467.24
LEVIED CHARGE (15% discount applied)				\$31,847.15

Therefore, a total charge of \$31,847.15 is payable for the development.

No offsets or refunds are applicable for the development.

#### 7. WHEN CHARGE IS PAYABLE

The infrastructure charges of \$31,874.15 must be paid when the change of use happens.


#### 8. LAPSING OF INFRASTRUCTURE CHARGES NOTICE

This Infrastructure Charges Notice lapses if the development approval to which it pertains ceases to have effect in accordance with section 85 of the *Planning Act 2016*.

#### 9. ORIGINAL ASSESSMENT MANAGER

Name:	<b>Amanda O'Mara</b> <b>COORDINATOR</b> <b>DEVELOPMENT ASSESSMENT</b>	Date:	22 August 2022
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#### 10. ASSESSMENT MANAGER

Name:	<b>Brendan Standen</b> <b>ACTING COORDINATOR</b> <b>DEVELOPMENT ASSESSMENT</b>	Signature:		Date:	15 March 2023
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## PAYMENT METHODS

An invoice for the Infrastructure Charge amount, including automatic increase, can be requested by contacting Council on telephone 07 4932 9000 or via email [enquiries@rrc.qld.gov.au](mailto:enquiries@rrc.qld.gov.au).

Payment methods will be detailed in an invoice and include paying in person, by credit card or BPAY.

### IN PERSON

In person at any of Council's Customer Service Centres or Development Advice Centre.

### CREDIT CARD

Online via [eServices](#) on Council's website using payment reference:

7720741

OR

Call us on 1300 22 55 77

### BPAY



**Billers Code:** 129999  
**Ref:** 7720741

**Telephone & Internet Banking – BPAY®**  
Contact your bank or financial institution to make this payment from your cheque, savings, debit, credit card or transaction account. More info: [www.bpay.com.au](http://www.bpay.com.au)



SARA reference: 2204-28454 SRA  
 Council reference: D/48-2022  
 Applicant reference: 210730

29 June 2022

Chief Executive Officer  
 Rockhampton Regional Council  
 PO Box 1860  
 Rockhampton QLD 4700  
 enquiries@rrc.qld.gov.au

Dear Sir/Madam

## SARA response—6 Lawrie Street, Gracemere

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 26 April 2022.

### Response

Outcome:	Referral agency response – with conditions
Date of response:	29 June 2022
Conditions:	The conditions in <b>Attachment 1</b> must be attached to any development approval
Advice:	Advice to the applicant is in <b>Attachment 2</b>
Reasons:	The reasons for the referral agency response are in <b>Attachment 3</b>

### Development details

Description:	Development permit	Material change of use for two (2) food and drink outlets Operational work for an advertising device
SARA role:	Referral agency	
SARA trigger:	Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (Planning Regulation 2017)	
	Development application for a material change of use within 25m of a	

Fitzroy/Central regional office  
 Level 2, 209 Bolsover Street,  
 Rockhampton  
 PO Box 113, Rockhampton QLD 4700



## Representations

A copy of this response has been sent to the applicant for their information.

Yours sincerely

*James J. Lawrence*

cc	Gibb Group Development Management Pty Ltd, <a href="mailto:admin@astpd.com.au">admin@astpd.com.au</a>
enc	Attachment 1 - Referral agency conditions Attachment 2 - Advice to the applicant Attachment 3 - Reasons for referral agency response Attachment 4 - Representations about a referral agency response provisions Attachment 5 - Approved plan

## Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (A copy of the plan referenced below is found at Attachment 5)

No.	Condition	Condition timing
<b>Material change of use</b>		
Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition:		
1.	The development must be carried out generally in accordance with Section 5.0 and Appendix 1 of the Stormwater Management Report, prepared by Davey Engineering Solutions Pty Ltd, dated 13 April 2022, Issue A, as amended in red by SARA on 29 June 2022.	At all times.

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP) v3.0. If a word remains undefined it has its ordinary meaning.

## Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

### The reasons for SARA's decision are:

- The development is a material change of use for two (2) food and drink outlets located at 6 Lawrie, Street, Gracemere, described as Lot 604 on R2642 (the subject site).
- The subject site is located within 25 metres of Lawrie Street, which is a state-controlled road, and is also located near a state-controlled road intersection (John Street / Lawrie Street).
- The assessment benchmark relating to SARA's assessment is State Development Assessment Provisions (SDAP) State code 1: Development in a state-controlled road environment.
- Access to the development will be from two (2) crossovers from John Street. There is no direct access to proposed to Lawrie Street.
- The application material has demonstrated that the traffic generated from the development is unlikely to disrupt traffic onto John Street. Development-generated traffic will therefore not adversely impact the function of the state-controlled road (Lawrie Street) and the state-controlled road intersection (John Street / Lawrie Street).
- Stormwater discharge to the LPOD on Lawrie Street (state-controlled road) is not considered to create a safety hazard for users of this road as the peak discharge will be equal to or less than the pre-development scenario.
- A condition has been imposed (Condition 1) to ensure that the impacts of stormwater events associated with development are minimised and managed to avoid creating any adverse impacts on Lawrie Street.
- The development is considered to generally comply with the relevant performance outcomes of State Development Assessment Provisions (SDAP) State Code 1: Development in a state-controlled road environment.

### Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- The SDAP (version 3.0), as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- *Human Rights Act 2019*

## Attachment 4—Representations about a referral agency response provisions

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**Attachment 5—Approved plan**

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