

# PUBLIC NOTIFICATION



<b>Approval Sought:</b>	Material Change of Use
<b>Proposed Development:</b>	Health Care Services (Extension)
<b>Where:</b>	123 Denham Street, Allenstown
<b>Lot Description:</b>	Lot 24 on RP600323
<b>Application Reference:</b>	D/174-2023

**Make a submission from:**

**25 January 2024 to 19 February 2024**

**You may make a submission to Rockhampton Regional Council**

PO BOX 1860, Rockhampton QLD 4700

Email: [enquiries@rrc.qld.gov.au](mailto:enquiries@rrc.qld.gov.au)

Phone: 07 4932 9000 or 1300 22 55 77

[Click here to view the 'Guide to public notification of development and change applications'](#)

For more information on planning requirements within the Rockhampton Region feel free to visit [www.rrc.qld.gov.au](http://www.rrc.qld.gov.au)







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**Our Ref: 231277**

**8<sup>th</sup> December 2023**

Chief Executive Officer  
Rockhampton Regional Council  
PO Box 1860  
Rockhampton QLD 4700

**Attention: Development Assessment**

Dear Sir/Madam,

**RE: Application for Material Change of Use (MCU) for the Extension of Medical facility building over Lot 24 on RP600323, situated at 123 Denham Street, Rockhampton.**

We refer to the abovementioned proposed Material Change of Use (MCU) for the Extension of Medical facility building over Lot 24 on RP600323, situated at 123 Denham Street, Rockhampton and provide a full copy of the Development Application to Rockhampton Regional Council. This submission includes the following items:

- A full electronic copy of a Development Application with the relevant DA forms and landowner's consent.
- Council Fees of \$2,266 for health care services and \$1,561 for GFA up to 250 square metres are payable. Please contact our Rockhampton office to provide details of payment.

We hope this information is satisfactory to your requirements. Please contact our Rockhampton office if you require further information.

Yours sincerely,  
**GSPC**

**Bristi Basak**  
**Urban & Regional Planner**



# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	MSK Health Care Investments Pty Ltd.
Contact name (only applicable for companies)	Bristi Basak / Nirmala Kumar
Postal address (P.O. Box or street address)	C/- GSPC, PO BOX 379
Suburb	Gracemere
State	QLD
Postcode	4702
Country	Australia
Contact number	(07) 4922 7033
Email address (non-mandatory)	admin@gspc.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	(07) 4922 7044
Applicant's reference number(s) (if applicable)	231277

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	



## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		123	Denham Street	Allenstown
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	24	RP600323	Rockhampton Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode			

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

- ☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*



EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

#### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application  
☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use   
 ☐ Reconfiguring a lot   
 ☐ Operational work   
 ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit   
 ☐ Preliminary approval   
 ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment   
 ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Proposed Material Change of Use for Extension of the Medical facility Building over Lot 24 on RP600323

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use   
 ☐ Reconfiguring a lot   
 ☐ Operational work   
 ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit   
 ☐ Preliminary approval   
 ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment   
 ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

#### 6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application  
☒ Not required



## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Health care service	Health care service means the use of premises for medical purposes, paramedical purposes, alternative health therapies or general health care, if overnight accommodation is not provided on the premises.		202m <sup>2</sup>
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input checked="" type="checkbox"/> Yes			
<input type="checkbox"/> No			

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:



Number of parts created				

## 12) Boundary realignment

### 12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

### 12.2) What is the reason for the boundary realignment?

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## 13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

## Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

### 14.1) What is the nature of the operational work?

- |  |                                     |  |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work   | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure  |
| <input type="checkbox"/> Drainage work   | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping   | <input type="checkbox"/> Signage    | <input type="checkbox"/> Clearing vegetation   |
| <input type="checkbox"/> Other – please specify: <table border="1" style="display: inline-table; width: 400px; height: 20px;"></table> |                                     |  |

### 14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

☐ Yes – specify number of new lots:

☐ No

### 14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

### 15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

### 16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.



☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure



Matters requiring referral to: <ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council</b> : <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the <b>Minister responsible for administering the <i>Transport Infrastructure Act 1994</i></b> : <input type="checkbox"/> Ports – Brisbane core port land ( <i>where inconsistent with the Brisbane port LUP for transport reasons</i> ) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits ( <i>below high-water mark</i> )
Matters requiring referral to the <b>Chief Executive of the relevant port authority</b> : <input type="checkbox"/> Ports – Land within limits of another port ( <i>below high-water mark</i> )
Matters requiring referral to the <b>Gold Coast Waterways Authority</b> : <input type="checkbox"/> Tidal works or work in a coastal management district ( <i>in Gold Coast waters</i> )
Matters requiring referral to the <b>Queensland Fire and Emergency Service</b> : <input type="checkbox"/> Tidal works or work in a coastal management district ( <i>involving a marina (more than six vessel berths)</i> )

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application ( <i>if applicable</i> ).		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> Further advice about information requests is contained in the <a href="#">DA Forms Guide</a> .



## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements			
<b>Environmentally relevant activities</b>			
23.1) Is this development application also taken to be an application for an environmental authority for an <b>Environmentally Relevant Activity (ERA)</b> under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <b>Note:</b> Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at <a href="http://www.qld.gov.au">www.qld.gov.au</a> . An ERA requires an environmental authority to operate. See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information.			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			

<b>Hazardous chemical facilities</b>	
23.2) Is this development application for a <b>hazardous chemical facility</b> ?	
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <b>Note:</b> See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information about hazardous chemical notifications.	

<b>Clearing native vegetation</b>
23.3) Does this development application involve <b>clearing native vegetation</b> that requires written confirmation that the chief executive of the <i>Vegetation Management Act 1999</i> is satisfied the clearing is for a relevant purpose under section 22A of the <i>Vegetation Management Act 1999</i> ?



☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?



- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

#### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
- ☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

#### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

#### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
- ☒ No

#### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

#### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?



☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

### 25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.



## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			



**Company owner's consent to the making of a development application under the *Planning Act 2016***

I, Sudhakar Koduri

*[Insert name in full.]*

Director of the company mentioned below.

*[Delete the above where company owner's consent must come from both director and director/secretary]*

I, Sahitya Kamineni

*[Insert name in full.]*

Director of the company mentioned below.

of MSK Health Care Investments Pty Ltd A.C.N. 646 275 792

*[Insert name of company and ACN.]*

the company being the owner of the premises identified as follows:

Lot 24 on RP600323 situated at 123 Denham St., Allenstown

*[Insert street address, lot on plan description or coordinates of the premises the subject of the application.]*

consent to the making of a development application under the *Planning Act 2016* by:

Gracemere Surveying & Planning Consultants Pty Ltd (GSPC)

*[Insert name of applicant.]*


on the premises described above for:

All planning matters related to Lot 24 on RP600323

*[Insert details of the proposed development, e.g. material change of use for four-storey apartment building.]*

Company seal *[if used]*

Company Name and ACN: MSK Health Care Investments Pty Ltd A.C.N. 646 275 792

  
.....  
Signature of Director

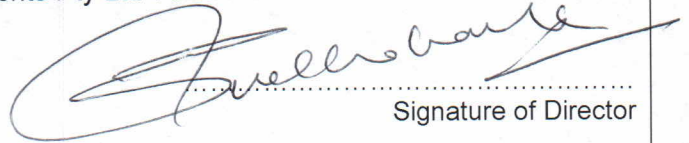
7/12/23  
.....  
Date

*[Delete the above where company owner's consent must come from both director and director/secretary.]*

The *Planning Act 2016* is administered by the Department of Local Government, Infrastructure and Planning, Queensland Government.



Company Name and ACN: MSK Health Care Investments Pty Ltd A.C.N. 646 275 792

  
.....  
Signature of Director

.....2/12/23.....  
Date

*[Delete the above where there is a sole director/secretary for the company giving the owner's consent.]*



A decorative graphic featuring three concentric blue circles of varying sizes. Two are in the upper right quadrant, and one is in the lower right corner. Thin blue lines intersect the circles and extend across the page.

# **Material Change of Use (MCU) for Extension of Medical facility building**

**over Lot 24 on RP600323, situated at 123 Denham Street, Rockhampton**

**Application on behalf of MSK Health Care Investments Pty Ltd.**

**December 2023**

**GSPC**

**Ref: 231277**



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### **Appendix A – Assessment against the Rockhampton Region Planning Scheme (2015)**

- Addressing Low-medium density residential zone code
- Addressing Access, parking and transport code
- Addressing Landscape code
- Addressing Stormwater management code
- Addressing Waste management code
- Addressing Water and sewer code
- Copy of Prelodgement Meeting Minutes

### **Appendix B – Proposal Plans**

### **Appendix C – Site Information**

### **Appendix D – Site Mapping**

### **Appendix E – Stormwater Management Report and Plan**



## 1. APPLICATION DETAILS AND OVERVIEW

<b>Proposed Development:</b>	Material change of use (MCU) for extension of Medical facility over Lot 24 on RP600323
<b>Site Address:</b>	123 Denham Street, Rockhampton
<b>Real Property Description:</b>	Lot 24 on RP 600323
<b>Existing Site Area:</b>	850m <sup>2</sup>
<b>Assessment Manager:</b>	Rockhampton Region Council
<b>Owner/Applicant Details:</b>	MSK Health Care Investments Pty Ltd.
<b>Referral Agency</b>	A state referral is not required for this development
<b>PLANNING INSTRUMENT DETAILS</b>	
<b>Local Government &amp; Planning Scheme:</b>	Rockhampton Region Planning Scheme (2015)
<b>Zone:</b>	Low-medium density residential zone
<b>Level of Assessment:</b>	Impact Assessment
<b>Applicable Overlay Codes:</b>	<ul style="list-style-type: none"> <li>• Acid Sulfate Soils - Above 5m and below 20m AHD</li> <li>• Airport Light Restriction Zone - Buffer 6km</li> <li>• Airport Obstacle - Height Limit 20m</li> <li>• Airport Wildlife Hazard Buffer Area - 3km</li> <li>• Bicycle Network Plan - Major urban on road routes</li> <li>• Property is within Sewer Supply Planning Area</li> <li>• Property is within Water Supply Planning Area</li> <li>• Road Hierarchy Overlay - Major urban collector</li> <li>• Road Hierarchy Overlay - Urban access street</li> </ul>
<b>State Planning Policy</b>	<b>NATURAL HAZARDS RISK AND RESILIENCE</b> - Flood hazard area - Level 1 - Queensland floodplain assessment overlay - Flood hazard area - Local Government flood mapping area <b>STRATEGIC AIRPORTS AND AVIATION FACILITIES</b> - Obstacle limitation surface area - Lighting area buffer 6km - Wildlife hazard buffer zone
<b>Zone Code:</b>	<ul style="list-style-type: none"> <li>• Low-medium density residential zone code</li> </ul>
<b>Development Codes:</b>	<ul style="list-style-type: none"> <li>• Access, parking and transport code;</li> <li>• Landscape code;</li> <li>• Stormwater management code;</li> <li>• Waste management code; and</li> <li>• Water and sewer code</li> </ul>
<b>Referral Agency</b>	A State referral is not required for this development
<b>Primary Contact</b>	Gracemere Surveying and Planning Consultants Pty Ltd (GSPC)

## 2. INTRODUCTION

The proponents, Sudhakar Koduri & Sahitya Kamineni, Directors of MSK Health Care Investments Pty Ltd., are proposing to extend the existing health care service over land described as Lot 24 on RP600323, situated at 123 Denham Street, Allenstown. The area of the Lot is 850m<sup>2</sup>. The Subject is situated within the Low-medium density residential zone, where a medical facility is Impact assessable development.

The purpose of this report is to describe the site and the proposed extension of the medical facility and address the relevant planning codes in respect of the proposed development. This report should be read in conjunction with the accompanying Development Application (DA) Form 1 and Proposed extension Plan prepared by AMF Building Design. Other relevant plans and site information are attached within the Appendices of this submission.



### 3. PLANS AND ILLUSTRATIONS

In support of this application and proposal, the following documents are attached as Appendices:

Appendices	Document / Plan / Report
<b>Appendix A</b> – Assessment against the Rockhampton Region Planning Scheme (2015)	<ul style="list-style-type: none"><li>• Addressing Low-medium density residential zone code;</li><li>• Addressing Access, parking and transport code;</li><li>• Addressing Landscape code;</li><li>• Addressing Stormwater management code;</li><li>• Addressing Waste management code;</li><li>• Addressing Water and sewer code; and</li><li>• Copy of Council’s Prelodgement Meeting Minutes.</li></ul>
<b>Appendix B</b> – Proposal Plan	<ul style="list-style-type: none"><li>• Proposed extension of medical facility building prepared by AMF Building Design.</li></ul>
<b>Appendix C</b> – Site Information	<ul style="list-style-type: none"><li>• SmartMap &amp; QLD Globe Image;</li><li>• Current Title Search; and</li><li>• Survey Plan RP600323.</li></ul>
<b>Appendix D</b> – Site Mapping	<ul style="list-style-type: none"><li>• Contour and Council’s Services plan;</li><li>• Ergon Energy Services plan;</li><li>• NBN and Telstra Plan.</li></ul>
<b>Appendix E</b> - Stormwater Management Report and Plan	<ul style="list-style-type: none"><li>• Stormwater Management Report and Plan prepared by Dileigh Consulting Engineers Pty Ltd.</li></ul>

### 4. SITE FEATURES AND REAL PROPERTY DESCRIPTION

The land subject to this application is located at 123 Denham Street, Allenstown. The proposed extension of existing medical facility is shown on the Proposed extension plans prepared by AMF Building Design, which are included in **Appendix B**. The property consisting of 850m<sup>2</sup> is described as:

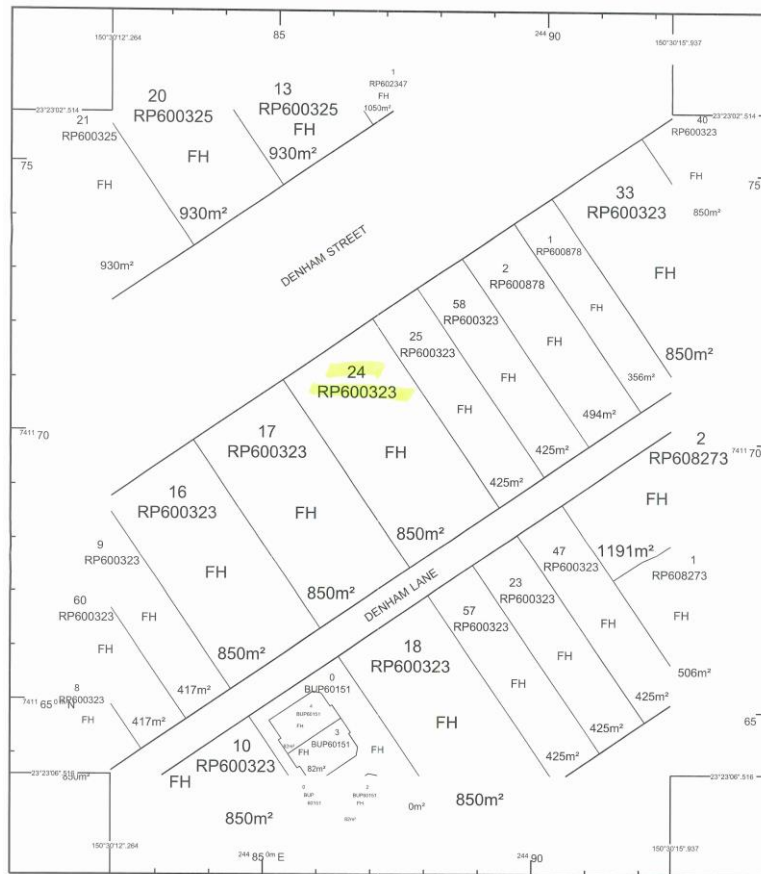
**Table 1** – Site Characteristics

SITE CHARACTERISTICS	DESCRIPTION
<b>Existing Land Use</b>	The site is under Low-medium density residential zone.
<b>Frontage and Access</b>	The existing development has road frontage on Denham Street and will have extension at the rear side of the existing building with access from Denham Lane.
<b>Topography</b>	Please refer to <b>Appendix D</b> – Contour and Council’s Services.

The following images depict the subject site in allotment and aerial mapping:



Material change of use (MCU) for the Extension of Medical facility building over lot 24 on RP600323



**Figure 1:** An extract of the SmartMap showing subject site Lot 24 on RP600323  
(Source: Standard Map Number: 9051-33444, SmartMap)



**Figure 2:** Aerial imagery showing subject site Lot 24 on RP600323  
(Source: QLD Globe, 2023)



## 5. CERTIFICATES AND TITLES

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The subject land is owned by MSK Health Care Investments Pty Ltd. Copies of the Current Title Search and Survey Plan are in **Appendix C** of this Submission. Due to the nature of the existing urban Lot and establishment of surrounding uses, a search of the Contaminated Land and Environmental Management Registers is not necessary.

### 5.1 Easements

There is no existing easement identified on-site as shown on attached SmartMap in **Appendix C** of this submission.

### 5.2 Site Area and Shape

The subject Lot is quadrilateral in shape totalling a site area of 850m<sup>2</sup> with 20 metre frontage to Denham Street and a rear boundary of another 20 metres to Denham lane. The Lot is situated in the Low-medium density residential zone. This planning report will address the development codes for extension of medical facility in low-medium density residential zone which are applicable for the proposed development.

## 6. PROPOSED DEVELOPMENT

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### 6.1 Existing and Proposed Use of Land

The existing use of the building is for medical facility, since 1978, in a low medium density residential zone and proposed extension of medical facility is considered to be Impact Assessable development against the *Rockhampton Region Planning scheme 2015*. Surrounding land is identified within low medium density residential zone under current *Rockhampton Region Planning scheme 2015*. An assessment against the Codes have been undertaken and attached in **Appendix A** of this submission.

The proposed extension of medical facility is expected to act as a well needed driver for economic growth in the Rockhampton region by providing employment opportunity to local residents. It is expected that the proposed extension of the existing medical facility building can provide employment opportunities to medical support staff, such as clerk, receptionist, and any other necessary support personnel.

The extension of existing medical facility will provide additional benefit to the society and the residents who are living in the same low medium density residential zone having advantages of the existing healthcare facility.

**Table 2 – Development aspects for Proposed extension of medical facility**

SITE CHARACTERISTICS	DESCRIPTION
Site access	The proposed extension of medical facility will retain the access from the Denham Street and a relocated access from Denham Lane is being proposed.
Proposed Development	Extension of Medical facility over Lot 24 on RP600323.
Infrastructure	The existing medical facility is facilitated by urban infrastructure services such as Council's water, sewerage infrastructure, Telstra, NBN and Ergon services. Please refer



to **Appendix D** for site information maps. A rainwater retention tank shall be installed on the eastern side of the building for storing roof water and reusing it. Please refer to **Appendix B** for Building Plans Cover Sheet Ref. no. BA/01 prepared by AMF Building Design. Therefore, roof water from the extended building shall not have any adverse impact on the stormwater discharge onto Denham Lane. Other site-generated stormwater is naturally directed towards Denham Street and Denham Lane being the lawful points of discharge for stormwater. Please refer to **Appendix E** for Stormwater Management Report and Plan prepared by Dileigh Consulting Engineers Pty Ltd.

## 6.2 Urban Services & Infrastructure

**Water** – There is existing reticulated water infrastructure service along Denham Street is proposed to be retained to service the extended Medical facility.

**Sewer** –The proposed extension of medical facility building shall retain the existing connection to the reticulated sewerage infrastructure.

**Electricity & Telecommunication** –The existing external connections shall be retained for the proposed extension of medical facility. Please refer to Ergon Energy, Telstra & NBN Plans attached in **Appendix D** of this submission.

**Stormwater** – A retention tank shall be installed on the eastern side of the building for storing roof water and reusing it. Please refer to **Appendix B** for Building Plans Cover Sheet Ref. no. BA/01 prepared by AMF Building Design. Therefore, roof water from the extended building shall not have any adverse impact on the stormwater discharge onto Denham Lane. Other site generated stormwater shall be appropriately directed towards Denham Street and Denham Lane, being the lawful points of discharge for stormwater. Please refer to **Appendix E** for Stormwater Management Report and Plan prepared by Dileigh Consulting Engineers Pty Ltd.

## 7 LOCAL PLANNING INSTRUMENT

### 7.1 Planning Act (PA) 2016

The PA 2016 is the statutory instrument for the State of Queensland under which development applications are assessed by local and state government.

The proposal involves the extension of existing medical facility building requiring an Impact Assessable Development Application to be lodged with Rockhampton Regional Council.

#### 7.1.1 Level of Assessment

The assessable development of this application is Impact assessment. In accordance with Section 45 (5) of the PA 2006:

*An impact assessment is an assessment that-*  
*(a) must be carried out—*



- (i) against the assessment benchmarks in a categorising instrument for the development; and*
- (ii) having regard to any matters prescribed by regulation for this subparagraph; and*
- (b) may be carried out against, or having regard to, any other relevant matter, other than a person's personal circumstances, financial or otherwise.*

*Examples of another relevant matter—*

- *a planning need*
- *the current relevance of the assessment benchmarks in the light of changed circumstances*
- *whether assessment benchmarks or other prescribed matters were based on material errors*

This application includes an assessment against relevant assessment benchmarks in **Appendix A**.

### 7.1.2 Public Notification

Section 53(1) of the Planning Act (PA) 2016 states:

*An applicant must give notice of a development application if:*

- (a) any part of the application requires impact assessment; or*
- (b) the application includes a variation request*

The application requires **Impact assessment** and therefore notice of the application is required to be published under Section 53(1) of the PA2016.

### 7.1.3 Referral

Under Section 54(2) of the PA2016:

- (2) A referral agency, for a development application, is:*
  - (a) the person prescribed by regulation as a referral agency for applications of that type; or*
  - (b) if that person's functions have been devolved or delegated to another person—the other person; or*
  - (c) if the Minister has decided that a person is a referral agency under section 48(6)—that person.*

Part 4, Section 22(1) of the Planning Regulation states that:

- (1) Schedules 9 and 10 prescribe:*
  - (a) for section 54(2)(a) of the Act, the referral agency for the development applications stated in the schedules.*

The proposed development does not flag any State issues. Therefore, this application will not need to be referred to SARA for further assessment.

## 7.2 State Planning Requirements

### 7.2.1 State Planning Policy (SPP) 2017

The SPP was released on 3 July 2017. It is a state planning instrument made under Chapter 2 Part 2, Section 10 of the PA2016.

The SPP outlines 17 state interests that must be considered in every planning scheme across Queensland. These state interests are arranged under five broad themes:

- livable communities and housing
- economic growth
- environment and heritage



- safety and resilience to hazards
- infrastructure.

As prescribed in Section 26(2)(a)(ii) of the Planning Regulation, the SPP represents an assessment benchmark and the assessment manager must have regard to SPP's, if it is not identified and addressed in the planning scheme.

The proposed development is to be assessed under the *Rockhampton Region Planning Scheme 2015*, and as such the proposal will be assessed against the assessment benchmarks in the SPP to the extent of any inconsistency (as set out by Section 8 of Act).

The SPP Interactive Mapping System (IMS) indicates that the subject site locates within the following overlays; refer to the Figure 3 –

- (a) Safety and resilience to hazards – Flood hazard area - (assessment against this matter is not required as Council's latest modelling shows minor inundation (<300 millimetres) over the rear of the site. A copy of the Prelodgement meeting minutes regarding this has been attached in **Appendix A** of this submission).
- (b) Infrastructure – Obstacle limitation surface area, Lighting area buffer 6km, Wildlife hazard buffer zone (assessment against this matter has been provided in (**section 8.4** of this report).

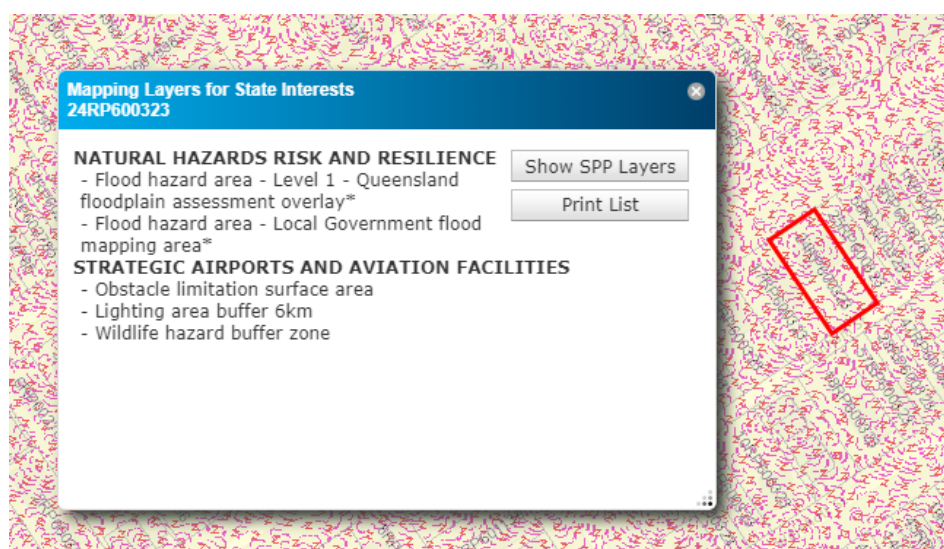


Figure 3. Extract of State interest (Source: SPP IMS)

## 8 ROCKHAMPTON REGION PLANNING SCHEME (2015)

### 8.1 Strategic Framework

The strategic framework themes and their strategic outcomes, identified within Part 3 of the Rockhampton Region Planning Scheme 2015 are applicable.

#### 8.1.1 Settlement pattern

- (1) *The pattern of settlement is reinforced in accordance with the Strategic framework – settlement pattern maps (SFM-1 to SFM-4) and as defined in Table 3.3.2.2 – Strategic map designations and descriptions. Sufficient land has been allocated for residential, commercial, industrial and community uses to meet the needs of the region for at least twenty-five (25) years.*



- (2) Residential development within Rockhampton and Gracemere will occur in urban areas, urban infill and intensification areas and new urban areas (greenfield areas). These areas are shown on the strategic framework maps SFM-2 to SFM-3.*
- (3) Urban development in Mount Morgan will only occur within the urban area and local centre as shown on strategic framework map SFM-4.*
- (4) Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.*
- (5) Sufficient land for employment growth has been identified in industrial areas, new industrial areas and centres (including proposed centres) at locations that can be most efficiently serviced with infrastructure and facilities.*
- (6) Future urban areas and future industrial areas are the preferred location for greenfield development beyond 2026.*
- (7) The settlement pattern provides for a diverse range of housing to meet changing demographic needs, and creates opportunities for more affordable living close to services and facilities. These housing options will help stimulate centres and community focal points, and assist in making the most efficient use of infrastructure and other public investment.*
- (8) Higher density development is focussed around centres and public transport nodes and corridors. Increased residential densities will be encouraged in the urban infill and intensification areas in a range of dwelling types that are located to make public transport, walking and cycling more convenient, safe and viable.*
- (9) The design of the built environment (including buildings, streets and public spaces) is consistent with the existing or desired character of the area and buildings are oriented to the street and public places. Development is undertaken in accordance with urban design principles.*
- (10) Centres provide for employment, retail, accommodation, entertainment and community services that meet the needs of residential communities that are well connected by the public transport network.*
- (11) Centres are based on a hierarchy that ensures the scale and form of development is appropriate to the location, and that the centres' roles and functions are appropriate within the wider planning scheme area.*
- (12) Centres are consolidated within designated areas, and expansion does not occur into adjoining residential areas.*
- (13) An integrated and high quality public open space network caters for the needs of residents, particularly in and around centres and higher density areas.*
- (14) The continuing viability of areas that provide for economic development such as industrial and specific use areas is protected from incompatible land uses.*
- (15) Limited rural residential areas provide for semi-rural living; however, these areas do not expand beyond the areas designated.*
- (16) The productive capacity of all rural land is protected.*



- (17) Rural lands and natural areas are maintained for their rural and landscape values.*
- (18) The scenic and environmental values of areas identified as nature conservation or natural corridor link are protected.*
- (19) The cultural heritage of Rockhampton is conserved for present and future communities.*
- (20) Development responds to natural hazards (flooding, bushfire, steep land, storm tide inundation and coastal erosion) by avoiding, mitigating, adapting and building resilience to natural hazards in areas mapped as being susceptible.*

**Comment:**

The well-established existing medical facility has existed on site since 1978, where it has conveniently serviced the medical needs of this well-established low-medium density residential zone. This proposal maintains the well-established settlement pattern of the subject neighbourhood area. Therefore, the proposed built environment will enhance the much-needed provision of medical services in this well populated residential area.

The Strategic Framework Item 8.1.1 is addressed as follows: -

- (1) The Status Quo of the existing pattern of settlement is maintained by this proposal.
- (2) The subject land is zoned low-medium density residential in the current planning scheme, its long-established use has been for healthcare service activity purposes; and no residential development is proposed in this submission.
- (3) Not Applicable to this proposal.
- (4) The proposal is for essential extension of medical facility building and no residential development is proposed in this submission.
- (5) Not Applicable to this proposal.
- (6) Not applicable to this proposal.
- (7) The Status Quo of the existing pattern of settlement is maintained by this proposal.
- (8) The proposal is for extension of medical facility building and no increased residential densities are proposed in this development.
- (9) This proposal is to discreetly extend the existing medical facility building towards the rear; thereby maintaining the existing character of the area.
- (10) The proposal provides employment opportunities within the community; and the existing medical facility building is situated at major urban collector road, Denham Street, which provides well-linked connections to the public transport network.
- (11) The existing medical centre's roles and functions will be enhanced to service the neighbourhood and the general community.
- (12) This proposal is to extend the existing medical facility building from the back wall of the building towards Denham Lane and is well clear of adjoining residential areas.
- (13) The existing medical centre's roles and functions will be retained to provide much-needed services to the community; and no higher density or intensive use is proposed on the site.
- (14) Not Applicable to this proposal.
- (15) Not Applicable to this proposal.
- (16) Not Applicable to this proposal.
- (17) Not Applicable to this proposal.
- (18) Not Applicable to this proposal.



(19) No impact is proposed on the cultural heritage of Rockhampton.

(20) The subject land is only subject to Local Catchment flooding; and advice from Council is as follows: -

*“Council’s latest modelling shows minor inundation (<300 millimetres) over rear of the site. The proposal does not require an assessment against the Flood Hazard Overlay Code – this is for information only and is something to be mindful of when carrying out any works at the rear to avoid any potential nuisance to adjoining owners / infrastructure.”*

#### **8.1.2 Natural environment and hazards**

(1) *The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area’s biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.*

(2) *Development does not create unsustainable impacts on:*

*(a) the natural functioning of floodplains;*

*(b) environmentally significant areas, including areas of state and locally significant vegetation, which provide fauna habitat and support biodiversity; and*

*(c) the quality of water entering waterways, wetlands and local catchments.*

(3) *Development does not increase the risk to human life and property in areas that are affected, or potentially affected, by storm-surge, erosion, sea-level rise or other coastal processes, flooding, bushfire, or landslide. This occurs through the avoidance of natural hazards in new development areas, particularly greenfield areas and the mitigation of risks in existing built-up areas.*

(4) *Strategic and iconic scenic and landscape values are protected from potential adverse impacts of development.*

**Comment:** The proposal is for extending existing medical facility building is consistent with the pre-existing use of the land. By not proposing any new uses on the subject land, this proposal does not increase the risk to human life and property and landscape values of the area are maintained in their current context. The Strategic Framework Item (8.1.2) is addressed as follows: -

(1) This proposal is to extend the existing medical facility building from the back wall of the building, and only by 4.5 metres, towards Denham Lane and does not propose any incompatible development in this submission.

(2) The subject land is only subject to Local Catchment flooding; and advice from Council is as follows: -

*“Council’s latest modelling shows minor inundation (<300 millimetres) over rear of the site. The proposal does not require an assessment against the Flood Hazard Overlay Code – this is for information only and is something to be mindful of when carrying out any works at the rear to avoid any potential nuisance to adjoining owners / infrastructure.”*

(3) Please refer to response to item 8.1.2 (2) above.

(4) This proposal is to extend the existing medical facility building from the back wall of the building, and only by 4.5 metres, towards Denham Lane and shall not have any impacts on the existing strategic, iconic, scenic and landscape values of the Rockhampton region.



### 8.1.3 Community identity and diversity

- (1) The quality of life of residents is enhanced through equitable access to social infrastructure, community services and facilities necessary to support community health and well-being.*
- (2) The community is self-sufficient and does not rely on services and facilities located in other regions. Development contributes to the provision of new social infrastructure, including land.*
- (3) Cultural heritage including character housing and heritage buildings are conserved and enhanced.*
- (4) Public places are safe, functional, characterised by good urban design, and include a range of facilities to encourage healthy and active lifestyles.*

#### Comments:

The proposal is for the extension of existing medical facility building towards achieving the intents of Items (1) & (2) above, and it has no impacts on Items (3) & (4).

### 8.1.4 Access and mobility

- (1) Connectivity is achieved between residential uses, employment centres and services through the provision of active transport infrastructure integrated with efficient public transport services.*
- (2) The trunk transport network (as shown on the strategic framework maps SFM-9 to SFM-12 and in plans for trunk infrastructure in the local government infrastructure plan) supports the settlement pattern and the local economy by facilitating the efficient and safe movement of people and goods both within the planning scheme area (especially between the main urban centres of Rockhampton and Gracemere), and to and from other locations.*
- (3) The transport network encourages and supports active living in centres by providing for integrated walking, cycling, and public transport infrastructure to support a progressive reduction in car dependency.*
- (4) The safety and efficiency of transport infrastructure, including the Bruce and Capricorn highways and other state and local roads, rail, airport and seaports, are not compromised by development.*

#### Comments:

- (1) The existing medical facility has road frontage on Denham Street which is a major urban collector road and provides active transport infrastructure integrated with efficient public transport services.
- (2) The existing medical facility has road frontage on Denham Street which is a major urban collector road and provides active transport infrastructure integrated with efficient public transport services for the safe movement of people and goods.
- (3) The existing medical facility has road frontage on Denham Street which is a major urban collector road; and the proposed extension towards the rear of the building, doesn't have any adverse impact on the bicycle network identified on that road.
- (4) The proposal is for the extension of medical facility building from the back wall of the building towards Denham Lane and does not compromise safety and efficiency of existing transport infrastructure.



#### 8.1.5 Infrastructure and services

- (1) *Infrastructure and services are planned and delivered in a logical and cost-efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:*
- a) efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;*
  - b) the long-term needs of the community, industry and business are met; and*
  - c) the desired standards of service in Part 4 — Local government infrastructure plan are achieved.*

#### Comment:

All urban infrastructure and services are already available to the subject land due to the continuing existing use of medical facility over the premises.

#### 8.1.6 Natural resources and economic development

- (1) *The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.*
- (2) *The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).*
- (3) *The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.*
- (4) *Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including watercourses, water bodies and groundwater.*
- (5) *Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.*

#### Comments:

- (1) The medical facility has existed since 1978 on the site and has provided employment opportunities since then. With the proposed extension of the medical facility building, the economy of this planning scheme area shall grow. It is expected that the proposed extension of the existing medical facility building can provide employment opportunities to medical support staff, such as clerk, receptionist, and any other necessary support personnel.
- (2) Not applicable to this submission.
- (3) By maintaining the existing use of the Lot, the traditional economic assets and natural resources shall remain unchanged.
- (4) The proposed extension of the medical facility building does not pose any adverse impacts on either the natural resources or the natural assets of the Rockhampton Region.



- (5) The proposed extension of the medical facility building does not pose any adverse impacts on the natural assets of the Rockhampton Region.

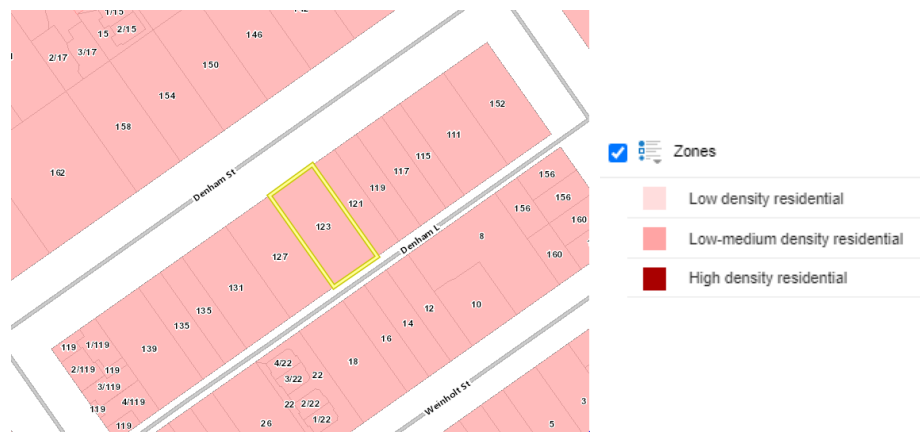
## 8.2 Zoning

The subject allotment is located within the Low-medium density residential zone where a Material Change of Use for the extension of the medical facility is subject to Impact Assessable development under the Rockhampton Region Planning Scheme (2015).

### 8.3 Surrounding Zoning of Land

The site is situated in the low-medium density residential zone and surrounding lots are also located in the same zone

The zoning map of the proposed development and its surrounding areas has been given below in Figure 4.



**Figure 4. Zoning Map of Proposed development (Source: Rockhampton Region Planning Scheme (2015) Interactive Mapping)**

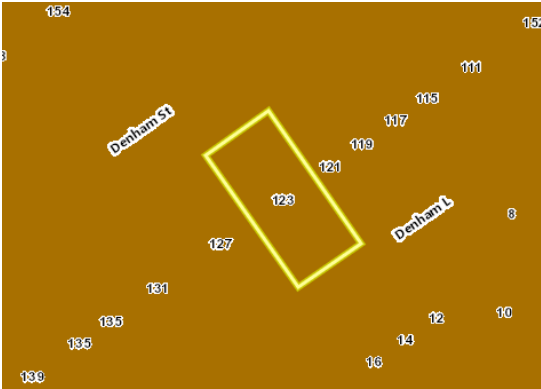
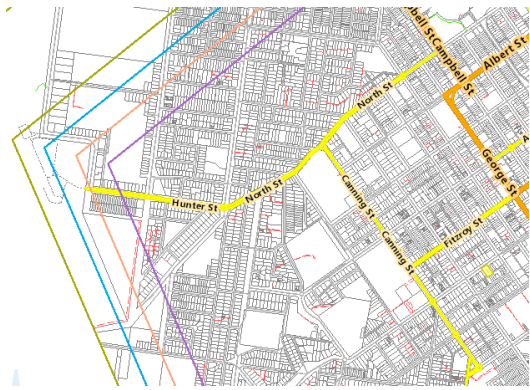
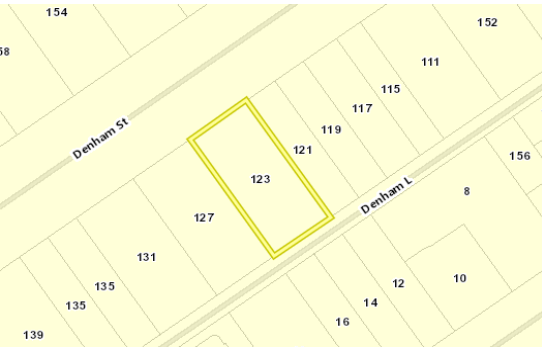

The existing use of the building is for providing health-care services and the proposal is to extend the medical facility building a little, towards the rear. Overall, the result of this development will continue to uphold the existing character and will have no adverse effect towards existing and surrounding land uses.

## 8.4 Applicable Overlays


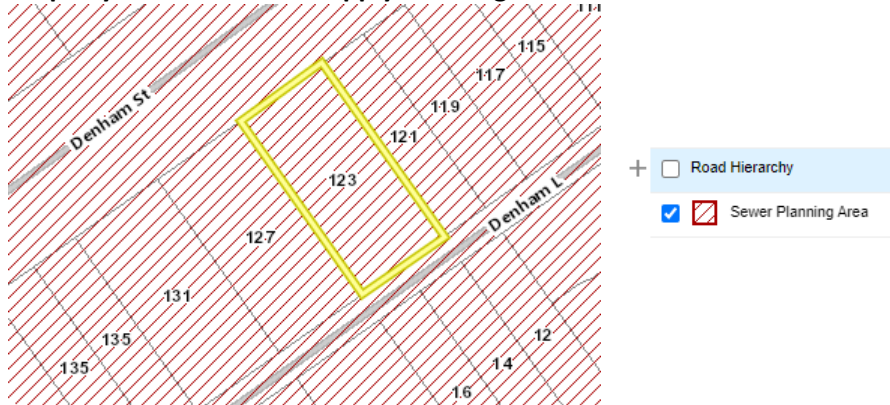
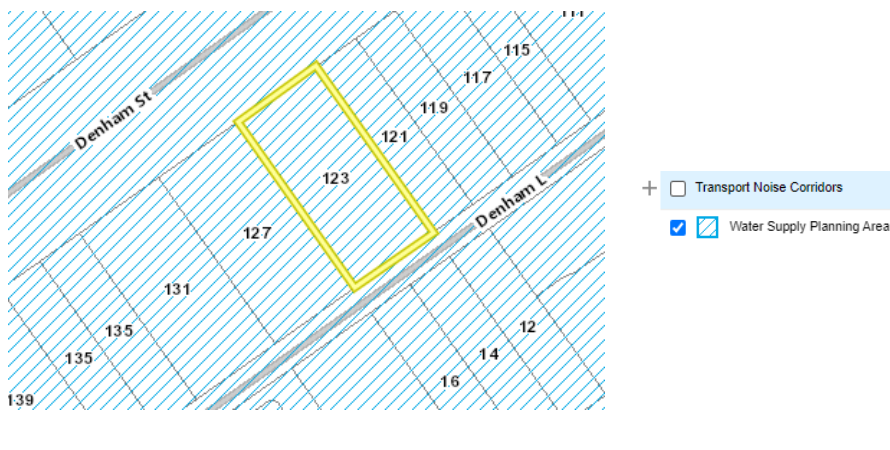
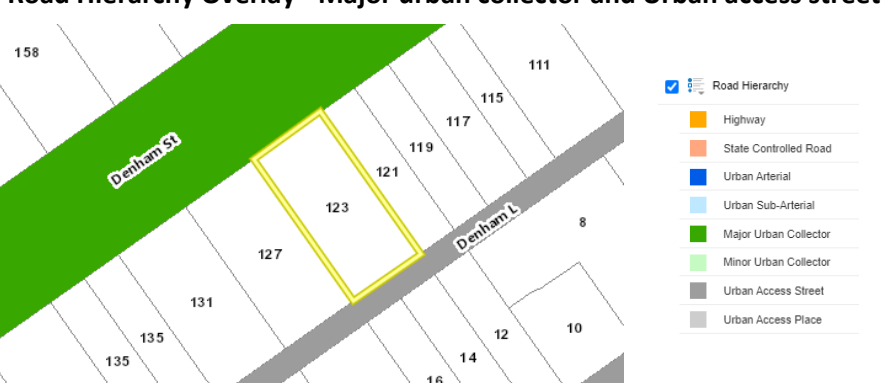
*Rockhampton Region Planning Scheme (2015)* and relevant planning maps reveal that the subject land is triggered by applicable overlays as listed below:

- Acid Sulfate Soils - Above 5m and below 20m AHD
- Airport Light Restriction Zone - Buffer 6km
- Airport Obstacle - Height Limit 20m
- Airport Wildlife Hazard Buffer Area - 3km
- Bicycle Network Plan - Major urban onroad routes
- Property is within Sewer Supply Planning Area
- Property is within Water Supply Planning Area
- Road Hierarchy Overlay - Major urban collector
- Road Hierarchy Overlay - Urban access street



Overlays	Comment
<p><b>Acid Sulfate Soils - Above 5m and below 20m AHD</b></p>  <p>Acid Sulfate Soils</p> <ul style="list-style-type: none"> <li>Land above 5m AHD and below 20m AHD</li> <li>Land at or below 5m AHD</li> </ul>	<p>The proposed development is above 5m AHD, at around 9.5m AHD. Therefore, it is anticipated that, the proposed extension of medical building shall not have any adverse impact on the Acid Sulfate Soil as, the proposed footings, even near the sewer mains, shall not go below 7m on AHD. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Airport Light Restriction Zone - Buffer 6km</b></p>  <p>Light Restriction Zone</p> <ul style="list-style-type: none"> <li>A</li> <li>B</li> <li>C</li> <li>D</li> </ul>	<p>The site is outside of the Airport Light Restriction Zone, therefore, Airport Light Restriction Zone overlay has not been addressed in this submission.</p>
<p><b>Airport Obstacle - Height Limit 20m</b></p>  <p>Obstacle Limitations Surface</p> <ul style="list-style-type: none"> <li>0 metres - All new buildings refer to Airport</li> <li>Up to 8.5 metres above ground level</li> <li>Up to 10 metres above ground level</li> <li>Up to 15 metres above ground level</li> <li>Up to 20 metres above ground level</li> <li>Up to 30 metres above ground level</li> <li>Up to 45 metres above ground level</li> </ul>	<p>The height of the existing medical facility building to the ridge of the roof is 4.2 metres and the extension of the building shall not exceed the existing height, therefore, this overlay has not been addressed in this submission. Please refer to Building Plans BA/06 prepared by AMF Building Design attached in <b>Appendix B</b>.</p>
<p><b>Airport Wildlife Hazard Buffer Area - 3km</b></p>  <p>Wildlife Hazard Buffer Area</p> <ul style="list-style-type: none"> <li>3km</li> <li>8km</li> <li>13km</li> </ul>	<p>The extension of medical facility building shall not have any adverse impact on wildlife hazard buffer area as it has existed on built-up low-medium density residential zone since 1978; therefore, this overlay has not been addressed in this submission.</p>



<p><b>Bicycle Network Plan - Major urban on-road routes</b></p> 	<p>The proposal is for extension of medical facility building from the back wall of the building, and only by 4.5 metres, towards Denham Lane and shall not have any adverse impact on Bicycle network plan of Denham Street. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Property is within Sewer Supply Planning Area</b></p> 	<p>The proposal is for extension of medical facility building and shall retain the existing connection to the reticulated sewerage infrastructure; therefore, this overlay has not been addressed in this submission.</p>
<p><b>Property is within Water Supply Planning Area</b></p> 	<p>The proposal is for extension of medical facility building and shall retain the existing reticulated water supply service; therefore, this overlay has not been addressed in this submission.</p>
<p><b>Road Hierarchy Overlay - Major urban collector and Urban access street</b></p> 	<p>The proposal is for extension of medical facility building from the back wall of the building, and only by 4.5 metres, towards Denham Lane and shall not have any adverse impact on Road hierarchy. Therefore, this overlay has not been addressed in this submission.</p>



## 8.5 Relevant Planning Scheme Codes

The relevant Planning scheme codes are as follows:

**Table 5:** Planning Scheme Overview

<b>Zone Code</b>	<ul style="list-style-type: none"><li>• Low-medium density residential zone code</li></ul>
<b>Development Codes</b>	<ul style="list-style-type: none"><li>• Access, parking and transport code;</li><li>• Landscape code;</li><li>• Stormwater management code;</li><li>• Waste management code; and</li><li>• Water and sewer code.</li></ul>

Development codes triggered as part of the subject development, are listed below and addressed in the following sections:

- Low-medium density residential zone code (attached in **Appendix A**)
- Access, parking and transport code (attached in **Appendix A**)
- Landscape code (attached in **Appendix A**)
- Stormwater management code (attached in **Appendix A**)
- Waste management code (attached in **Appendix A**)
- Water and sewer code (attached in **Appendix A**)

## 9 SUMMARY

The proposed development is for the extension of medical facility over Lot 24 on RP600323, situated at 123 Denham Street, Allentown. The subject development is considered as an Impact assessable development as per the *Rockhampton Region Planning Scheme (2015)* in the low-medium density residential zone.

The development proposal generally meets the planning scheme requirements for code and overlay requirements. The nature of the proposed extension will continue the existing use of the medical facility building.

This report and its relevant attachments are provided as a comprehensive submission to the Council and we look forward to receiving Council's favorable consideration for a development permit subject to reasonable and relevant conditions.





## **Appendix A – Assessment against the Rockhampton Region Planning Scheme 2015**

- Addressing Low-medium density residential zone code;
- Addressing Access, parking and transport code;
- Addressing Landscape code;
- Addressing Stormwater management code;
- Addressing Waste management code;
- Addressing Water and sewer code; and
- Copy of Council's Prelodgement Meeting Minutes.

**Application on behalf of MSK Health Care Investments Pty Ltd.**

**December 2023**

**GSPC Ref: 231277**





## 6.2.2 Addressing Low-medium density residential zone code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the low-medium density residential zone code is to:</p> <ul style="list-style-type: none"> <li>(a) provide locations preferred for the consolidation of a range and mix of dwelling types developed at low-medium densities in the planning scheme area;</li> <li>(b) minimise land use conflict and ensure that uses supporting low-medium density development predominantly develop in the zone; and</li> <li>(c) ensure that development within the zone has appropriate standards of infrastructure and essential services.</li> </ul>	<p>1. Proposal complies.</p> <p>The medical facility building has existed on site since 1978. The proposal is for extending the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane, therefore, the proposal will remain consistent with amenities and neighbourhood characteristics continuing within the surrounding area.</p>	✓
<p>(2) The purposes of the zone will be achieved through the following overall outcomes:</p> <ul style="list-style-type: none"> <li>(a) development provides for dwellings, dual occupancies and multiple dwellings being generally a low to medium-rise built form (up to three (3) storeys in building height) and low-medium density;</li> <li>(b) infill development and greenfield areas are developed in a manner that makes efficient use of land and can provide for the development of a range and mix of accommodation and residential types;</li> <li>(c) non-residential uses only occur within the zone where they: <ul style="list-style-type: none"> <li>(i) do not compromise the residential character and existing amenity of the surrounding area;</li> <li>(ii) are small-scale and consistent with the surrounding urban form;</li> <li>(iii) primarily function to service the needs of the immediate local residential community;</li> <li>(iv) do not detract from the role and function of centres;</li> <li>(v) do not result in the expansion of a centre zone;</li> <li>(vi) have direct access to higher order roads (minor urban collector or higher); and</li> </ul> </li> </ul> <p>Editor's note—To remove any doubt a centre zone includes specialised centres</p> <ul style="list-style-type: none"> <li>(vii) provide for uses along Albert Street that can demonstrate a dependence on having a highway passing trade;</li> </ul> <ul style="list-style-type: none"> <li>(d) development for an office is limited in scale (200 square metres gross floor area) to ensure the primacy of the principal</li> </ul>	<p>1.</p> <ul style="list-style-type: none"> <li>(a) Not applicable. The proposal is not for dwellings, dual occupancies and multiple dwellings.</li> <li>(b) Not applicable. The proposal is for the extension of an existing medical facility building.</li> <li>(c) Proposal complies. The proposal is for extending the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane, therefore, the proposal will remain consistent with amenity and neighbourhood characteristics continuing within the zone.</li> <li>(d) Proposal complies. The floor area of the existing medical facility building is 146m<sup>2</sup> and only 56m<sup>2</sup> has been proposed for extension of the building for continuing the existing use. Please refer to <b>Appendix B</b> for Building Plans ref no. BA/02 prepared by AMF Building Design.</li> </ul>	<p>N/A</p> <p>N/A</p> <p>✓</p> <p>✓</p>



Material change of use (MCU) for the Extension of Medical facility building over lot 24 on RP600323

<p>centre and involves the reuse of an existing building to promote renewal;</p> <p>(e) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;</p> <p>(f) with the exception of a local centre at North Parkhurst (along William Palfrey Road on Lot 5 SP238731), no other neighbourhood or local centres are required within the low-medium density residential zone;</p> <p>(g) short-term accommodation, rooming accommodation and tourist parks occur where there is access to public transport and higher order roads (minor urban collector or higher);</p> <p>(h) development has a built form that creates an attractive and pedestrian oriented streetscape and is integrated with nearby centres, community facilities, open space and recreation facilities via pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;</p> <p>(i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;</p> <p>(j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;</p> <p>(k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industry uses and major community facilities without separation distances, buffering, landscaping and screening that minimise a loss of amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;</p> <p>(l) new residential developments are located and integrated with existing neighbourhoods and in proximity to existing community infrastructure;</p> <p>(m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints; and</p> <p>(n) development is serviced by infrastructure that is commensurate with the needs of the use.</p>	<p>(e) Not applicable. The lot is not a greenfield area.</p> <p>(f) Not applicable. No neighbourhood or local centre has been proposed in this submission.</p> <p>(g) Not applicable. The proposal is not for short-term accommodation or rooming accommodation and tourist parks.</p> <p>(h) Proposal complies. The proposal is for extending the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane, therefore, the proposal does not have any adverse impact on the existing pedestrian-oriented streetscape.</p> <p>(i) Proposal complies. The existing medical facility building has road frontage on Denham Street. The proposal is to extend the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane. Therefore, the proposal does not have any adverse impact on the existing streetscape.</p> <p>(j) Proposal complies. The proposal is for extending the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane, therefore, the proposal will remain consistent with amenity and neighbourhood characteristics continuing within the zone.</p> <p>(k) Not applicable. No new residential developments are proposed in this submission.</p> <p>(l) Not applicable. No new residential developments are proposed in this submission.</p> <p>(m) Proposal complies. The proposal is for extending the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane, therefore, the proposal will remain consistent with amenities and neighbourhood characteristics continuing within the zone.</p> <p>(n) Proposal complies. The existing medical facility has all infrastructure connections in place; and the proposal is to extend the medical facility building, a little.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>N/A</p> <p>N/A</p> <p>✓</p> <p>✓</p>
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### 6.2.2.3 Specific benchmarks for assessment

**Table 6.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Where involving a new building or expansion to an existing building</b>			
<b>Built form</b>			
<b>PO1</b> Development does not adversely impact on the urban form of the surrounding low-medium density residential area and significant scenic landscape features, having regard to the scale and height of buildings, site cover and density.	<b>AO1.1</b> The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.	<b>PP1.1.</b> Proposal complies. The existing medical building is one storey only with a height of 4.2 metres to the ridge of the roof and the extension proposed on the rear side of the building, shall not exceed the height of the building. Please refer to <b>Appendix B</b> for the Proposed Building extension plans ref. no. BA/06 prepared by AMF Building Design.	✓
	<b>AND</b> <b>AO1.2</b> Site cover does not exceed sixty-five (65) per cent of the total site area.	<b>PP1.2.</b> Proposal complies. The GFA with the proposed extension of the medical building shall be approximately 202m <sup>2</sup> , site cover shall be approximately twenty-five (25) per cent of the total site area, which doesn't exceed maximum site cover. Please refer to Site plan ref. no. BA/02 of the Proposed Building extension plans prepared by AMF Building Design attached in <b>Appendix B</b> .	✓
	<b>AND</b> <b>AO1.3</b> The development has a plot ratio of no greater than one (1) to one (1) (1:1).	<b>PP1.3.</b> Proposal complies. The site cover is approximately twenty-five (25) per cent of the total site area, thus, the development shall have a plot ratio of no greater than one (1) to one (1) (1:1).	✓
<b>Land use</b>			
<b>Caretaker's accommodation</b>		<b>PP2.</b> Not applicable. The proposal is for an extension of a medical facility.	N/A
<b>Dual occupancy</b>		<b>PP3 to PP4.</b> Not applicable.	N/A



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
		The proposal is not for a Dual occupancy dwelling house.	
Home-based business		<b>PP5.</b> Not applicable. The proposal is not for Home based business activity.	N/A
Sales office		<b>PP6.</b> Not applicable. The proposal is not for Sales office activity.	N/A
Short-term accommodation		<b>PP7 to PP9.</b> Not applicable. The proposal is not for Short-term accommodation.	N/A
Built form — additional provisions			
<p>PO10 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> <li>(a) an appropriate scale and size that reflects the purpose of the zone;</li> <li>(b) access to natural light and ventilation;</li> <li>(c) landscaping;</li> <li>(d) privacy and noise attenuation;</li> <li>(e) screening of materials when stored outside buildings;</li> <li>(f) integration with the streetscape and built form;</li> <li>(g) orientated to the street frontage;</li> <li>(h) landscape features of the site; and</li> <li>(i) access to open space.</li> </ul> <p>Editor's note—Figure 6.2.2.3.2a — Development site plan provides guidance.</p>	<p>AO10.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) carports and garages are set back a minimum of 4.5 metres from all road frontages;</li> <li>(b) building walls are set back a minimum of three (3) metres from all road frontages;</li> <li>(c) verandahs are set back a minimum of one (1) metre from all road frontages;</li> <li>(d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> <li>(i) 1.5 metres for a wall up to 4.5 metres high;</li> <li>(ii) two (2) metres for a wall up to 7.5 metres high; and</li> <li>(iii) 2.5 metres for any part of a wall over 7.5 metres;</li> </ul> </li> </ul>	<p><b>PP10.1.</b></p> <ul style="list-style-type: none"> <li>(a) Not applicable. No carports and garages have been proposed in this submission.</li> <li>(b) Proposal complies. The existing medical facility building is 8.9 metres setback from Denham Street and the proposed extension of the building shall be 18.0 metres setback from Denham Lane. Please refer to Site plan ref. no.BA/02 of the Proposed Building extension plans prepared by AMF Building Design attached in <b>Appendix B</b>.</li> <li>(c) Not applicable. No verandahs are proposed in this submission.</li> <li>(d) Proposal complies. The height of the existing medical facility building is 4.2 metres to the ridge of the roof. It is 3.0 metres &amp; 3.3 metres setback from the left-side boundary and right-side boundary respectively. Please refer to <b>Appendix B</b> for Site Plan ref. no. BA/02 prepared by AMF Building Design.</li> </ul>	<p>N/A</p> <p>✓</p> <p>N/A</p> <p>✓</p>



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p>(e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>(f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p><b>AND</b> AO10.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p><b>AND</b> AO10.3 The maximum length of any exterior wall is fifteen (15) metres.</p> <p><b>AND</b> AO10.4 Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p><b>AND</b> AO10.5 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>	<p>(e) Proposal complies. The proposed extension of the building shall be 18.0 metre setback from the rear boundary. Please refer to <b>Appendix B</b> for Site Plan no. BA/02 of the Proposed Building extension plans prepared by AMF Building Design.</p> <p>(f) Not applicable. No garages or car ports are proposed in this submission.</p> <p><b>PP10.2.</b> Proposal complies. The proposed extension of the medical facility building shall continue to utilise the existing pedestrian entry from Denham Street.</p> <p><b>PP10.3.</b> Proposal complies. The maximum length of an exterior wall of the medical facility building is 13.7 metres. Please refer to <b>Appendix B</b> for Ground Floor Plan no. BA/03 of the Proposed Building extension plans prepared by AMF Building Design.</p> <p><b>PP10.4.</b> Proposal complies. The proposal is to extend the medical facility building from the back wall of the building towards Denham Lane and it shall keep the existing fencing arrangements.</p> <p><b>PP10.5.</b> Proposal complies. The proposal is for extending the medical facility from the back wall of the building towards Denham Lane, therefore, any air conditioning equipment shall not be visible from the primary street frontage.</p>	<p>✓</p> <p>N/A</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>
PO11 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.	AO11 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.	<b>PP11.</b> Proposal complies. Parking for 8 off bays is proposed at the rear side of the building. Please refer to	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>PO12</p> <p>Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <ul style="list-style-type: none"> <li>(a) mass and proportion;</li> <li>(b) use of materials, patterns, textures, colours and decorative elements;</li> <li>(c) reflective glass material is not used as the principle construction material;</li> <li>(d) podium height and design;</li> <li>(e) roof shapes include pitches and gables to break up the repetitiveness of buildings;</li> <li>(f) buildings incorporate articulation via use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance;</li> <li>(g) roof structures are designed to screen any mechanical plant;</li> <li>(h) facade articulation, detailing, and window and door proportions;</li> <li>(i) provision made for balconies, verandahs, eaves and parapets;</li> <li>(j) driveway crossovers, fence style and alignment;</li> <li>(k) emphasis on entry points; and</li> <li>(l) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage.</li> </ul> <p>Note—Where a conflict exists PO12 (l) takes precedence.</p>	No acceptable outcome is nominated.	<p><b>Appendix B</b> for Site Plan, sheet no. BA/02, prepared by AMF Building Design.</p> <p><b>PP12.</b> Proposal complies.</p> <p>The proposal is for the extension of the existing medical facility building from the back wall of the building, and only by 4.5 metres, towards Denham Lane. Metal roof sheeting has been proposed for the extended part of the building in harmony with the existing medical building. The proposed extension of the building has the same material, pattern, textures, colours and other elements as the existing building. Please refer to <b>Appendix B</b> for sheet no BA/04 and BA/05 for the Roof plan and Elevations prepared by AMF Building Design.</p>	✓
<b>Land use</b>			
<b>Non-residential development</b>			
<p>PO13</p> <p>Non-residential development may locate in the low-medium density residential zone when the use can demonstrate the following:</p>	No acceptable outcome is nominated.	<p><b>PP13.</b></p> <p>(a) Proposal complies. The existing medical facility services the local neighbourhood and the general community. The</p>	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood; or</p> <p>(b) where located on Albert Street and can demonstrate a dependence on having highway passing trade. Therefore limited to:</p> <p>(i) products predominantly displayed outside of any enclosed building and are demonstrably dependent on high visibility for attracting customers or businesses and typically include outdoor sales; or</p> <p>(ii) products predominantly displayed inside a building, consistent with the showroom definition with gross floor area of no more than 500 square metres and is demonstrably dependent on high visibility for attracting customers or business; and</p> <p>(iii) other uses which service and support the broad range of needs of highway users and include a food and drink outlet, service station, car wash and the like;</p> <p>(c) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(d) is small in scale;</p> <p>(e) is consistent with the surrounding built form and streetscape;</p> <p>(f) the use does not compromise the role and function of existing centres;</p> <p>(g) does not adjoin an existing centre zone;</p> <p>(h) located in proximity to public transport facilities and public transport routes; and</p>		<p>proposed extension shall maintain the existing centre's roles and functions.</p> <p>(b) Not applicable. The proposal is not located on Albert Street.</p> <p>(c) Proposal complies. The proposed development shall maintain the existing residential character and existing amenities of the surrounding area in relation to lighting, noise, dust and odour.</p> <p>(d) Proposal complies. The total area of the lot is 850 m<sup>2</sup> and the total site cover including proposed extension is twenty-five 25%. Please refer to <b>Appendix B</b> for site plan ref. no. BA/ 02 prepared by AMF Building Design.</p> <p>(e) Proposal complies. The existing medical facility building has road frontage onto Denham Street. The proposal is to extend the medical facility from the back wall of the building, and only by 4.5 metres, towards Denham Lane. Therefore, the proposal does not have any adverse impact on the existing streetscape and is consistent with the surrounding built form.</p> <p>(f) Proposal complies. The existing medical centre's roles and functions will be retained to provide much-needed medical services to the community, and no higher density or intensive use is proposed on the site.</p> <p>(g) Proposal complies. The proposal is for the extension of the medical facility building from the back wall of the building towards Denham Lane and does not adjoin an existing centre zone.</p> <p>(h) Proposal complies. The existing medical facility has road frontage onto Denham Street, which is a major collector road.</p>	<p>N/A</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>



Material change of use (MCU) for the Extension of Medical facility building over lot 24 on RP600323

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(i) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>		<p>(i) Proposal complies. The medical facility has existed on site since 1978 and the proposed extension shall not increase impacts on local amenities. Moreover, to minimise the impact on Denham Street, a relocated access has been proposed from Denham Lane in this submission. Please refer to <b>Appendix B</b> for site plan ref. no. BA/02 prepared by AMF Building Design.</p>	✓
<p>PO14</p> <p>The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO14.1</p> <p>Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>	<p><b>PP14.1.</b> Proposal complies.</p> <p>The development has road frontage onto Denham Street which is a major Urban Collector Road. Furthermore, a relocated access from Denham Lane, which is an urban access road, has been proposed in this submission. Please refer to <b>Appendix B</b> for site plan ref. no. BA/ 02 prepared by AMF Building Design.</p>	✓
<b>Multiple dwelling, relocatable home park, residential care facility or retirement facility</b>		<b>PP15. &amp; PP16</b> Not applicable. The proposal is for an extension of a medical facility building.	N/A
<b>Rooming accommodation or short-term accommodation</b>		<b>PP17. to PP19</b> Not applicable. The proposal is for an extension of a medical facility building.	N/A
<b>Tourist park</b>		<b>PP20.</b> Not applicable. The proposal is for an extension of a medical facility building.	N/A
<b>Effects of development</b>			
<p><b>PO21</b></p> <p>The development minimises adverse impacts on the amenity of adjoining land use and the surrounding area.</p>	<p><b>AO21.1</b></p> <p>Non-residential land uses operate between the hours of 07:00 and 22:00.</p>	<p><b>PP21.1.</b> Proposal complies.</p> <p>The existing healthcare service activity is being operated within the hours of 07:00 to 18:00.</p>	✓
	<p><b>AND</b></p> <p><b>AO21.2</b></p> <p>For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>	<p><b>PP21.2.</b></p> <p>The existing medical facility has a 1.8-metre-high fence along both side property boundaries.</p>	✓



[illegible]



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p>Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>	The proposal is for extension of medical facility building.	
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by the SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p><b>PP25.1</b> Proposal complies. Any significant vegetation on the site boundaries shall be retained.</p>	✓
<b>Structure planning for urban development</b>			
<p>PP26 New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> <li>(a) is well sequenced;</li> <li>(b) promotes an efficient and coordinated use of land and infrastructure;</li> <li>(c) is highly integrated with existing and proposed development in the immediate area;</li> <li>(d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections;</li> <li>(e) provides linkages between residential areas and open space, centres and public facilities;</li> <li>(f) provides a wide variety of housing styles, densities and lot sizes and achieves fifteen (15) to thirty (30) dwellings per hectare of land (net developable area);</li> </ul>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>	<p><b>PP26.</b> Not applicable. The proposal is not for new development within the greenfield areas.</p>	N/A



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(g) collocates higher density residential uses in and around centres, high order roads and other transport facilities;</p> <p>(h) avoids and manages impacts of natural hazards;</p> <p>(i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site;</p> <p>(j) facilitates environmentally and climate responsive design; and</p> <p>(k) provides a well dispersed network of open space.</p>			

### 9.3.1 Addressing Access, parking and transport code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the access, parking and transport code is to ensure that parking, access and transport facilities for vehicles, pedestrians and cyclists are provided to service development in a safe, equitable and sustainable way.</p> <p>(2) The purpose of the code will be achieved through the following overall outcomes:</p> <p>(a) the function, safety and efficiency of the transport network is optimised;</p> <p>(b) pedestrians and cyclists are provided with a high level of accessibility which is equitable, safe and convenient;</p> <p>(c) on-site access, transport and parking facilities are integrated with external walking and cyclist networks and public transport nodes;</p> <p>(d) the use of public transport is facilitated wherever practicable;</p> <p>(e) vehicle parking and access is provided, which is functional and sufficient to meet the demand likely to be generated by the development;</p> <p>(f) vehicle parking and access achieves a high standard of urban design and integration with the function and appearance of the development; and</p> <p>(g) adverse impacts on the environment and the amenity of the locality are avoided.</p>	<p>1. &amp; 2. Proposal complies.</p> <p>The existing medical facility has road frontage on Denham Street and the council has advised providing three (3) parallel on-street parking spaces to ensure safe, equitable and sustainable transport capabilities. Parking for 8 off-bays shall be provided on the rear side of the building which is functional and sufficient to meet the demand. Please refer to <b>Appendix A</b> for the Prelodgement meeting minutes.</p>	✓



### 9.3.1.3 Specific benchmarks for assessment

**Table 9.3.1.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Access driveways</b>			
<b>PO1</b> Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account: <ul style="list-style-type: none"> <li>(a) the size of the parking area;</li> <li>(b) the volume, frequency and type of vehicle traffic;</li> <li>(c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access;</li> <li>(d) the type of use and the implications on parking and circulation, for example long-term or short-term car parking;</li> <li>(e) frontage road function and conditions; and</li> <li>(f) the capacity and function of the adjoining street system.</li> </ul>	<b>AO1.1</b> Access driveways are not located within: <ul style="list-style-type: none"> <li>(a) twenty-five (25) metres of a signalised road intersection;</li> <li>(b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and</li> <li>(c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.</li> </ul>	<b>PP1.1.</b> Proposal Complies. The access driveway is proposed at the rear side of the Lot from Denham Lane which is almost 100 metres away from the un-signalised road intersections of Telford Street and West Street.	✓
<b>PO2</b> Access driveways do not disrupt existing road or footpath infrastructure.	<b>AO2.1</b> Access driveways: <ul style="list-style-type: none"> <li>(a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs;</li> <li>(b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway;</li> <li>(c) must be sealed and to a formed road;</li> <li>(d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and</li> <li>(e) are raised or lowered to match the surface level of the driveway, where an access</li> </ul>	<b>PP2.1.</b> Proposal Complies. The existing access driveway along Denham Lane is proposed to be shifted a little along the same rear boundary; and does not require any modification in street infrastructure.	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	chamber is to be incorporated within the driveway.		
<b>PO3</b> Access driveways are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	<b>AO3.1</b> Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.	<b>PP3.1.</b> Proposal Complies. The access driveway shall maintain the provisions of Capricorn Municipal Development Guidelines to enable safe and functional vehicular access from the street to the property.	✓
<b>PO4</b> A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	<b>AO4.1</b> A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.	<b>PP4.1.</b> Proposal Complies. The stormwater from the driveway shall be disposed of into the lawful channel of Denham Lane. Please refer to <b>Appendix B</b> for site plan ref. no. BA/02 prepared by AMF Building Design.	✓
<b>Parking</b>			
<b>PO5</b> Provision is made for on-site vehicle parking: (a) to meet the demand likely to be generated by the development; and (b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.  <small>Editor's note—SC6.6 — Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.</small>	<b>AO5.1</b> AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code. OR AO5.1.2 Where a change of use of existing premises is proposed and there is no increase in the gross floor area, the existing number of on-site car parks is retained or increased. <b>AND</b> <b>AO5.2</b> All parking, loading and manoeuvring facilities for visitors and employees to be located on-site. <b>AND</b> <b>AO5.3</b> Manoeuvring facilities to be of adequate dimensions to prevent any queuing in a roadway.	<b>PP5.1.</b> Proposal Complies. A total of eight (8) off-bays car parking has been proposed as per Table 9.3.1.3.2 of the access, parking and transport code.  <b>PP5.2.</b> Proposal Complies. A total of eight (8) off-bays car parking has been proposed at the rear of the Lot.  <b>PP5.3.</b> Proposal Complies. A total of 223.72m <sup>2</sup> area has been allocated for the driveway, therefore, manoeuvring facilities shall be of adequate dimensions and shall not have any queuing in a roadway. Please refer to Site Plan No. BA/02 of the Proposed Building extension plans prepared by AMF Building Design attached in <b>Appendix B</b> .	<div>✓</div> <div>✓</div> <div>✓</div>
<b>PO6</b> Parking and servicing facilities are designed to meet user requirements.	<b>AO6.1</b> Parking spaces, access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.	<b>PP6.</b> Proposal Complies. A total of 223.72m <sup>2</sup> area has been allocated for the parking and driveway, therefore, manoeuvring facilities shall be of adequate dimensions and shall not have any queuing in a	✓



Material change of use (MCU) for the Extension of Medical facility building over lot 24 on RP600323

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
		roadway. Please refer to Site plan no. BA/02 of the Proposed Building extension plans prepared by AMF Building Design attached in <b>Appendix B</b> .	
<b>PO7</b> Sites with more than one (1) road frontage (excluding laneways) gain access only from the lower order road, except if it will introduce traffic generated by a non-residential use into a street that is in a residential zone.	No acceptable outcome is nominated.	<b>PP7.</b> Proposal Complies. The site has one road frontage from Denham Street and access from Denham Lane has been proposed in this submission.	✓
<b>PO8</b> Parking areas are illuminated in a manner that maximises user safety but minimises the impacts on adjoining residents.	<b>AO8.1</b> Parking areas for uses that operate at night are illuminated in accordance with the requirements of Australian Standard AS 1158.  <b>AND</b> <b>AO8.2</b> Lighting used in parking areas does not cause an environmental nuisance and complies with Australian Standard AS 4282.	<b>PP8.1.</b> Not applicable. The hours of operation of the existing medical facility are from 7:00 to 18:00 hrs.  <b>PP8.2.</b> Proposal Complies. Lighting used in parking areas shall comply with Australian Standard AS 4282.	<b>N/A</b>  ✓
<b>PO9</b> Car parking areas, pathways and other elements of the transport network are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to: (a) provision of opportunities for casual surveillance; (b) the use of fencing to define public and private spaces, whilst allowing for appropriate sightlines; (c) minimising potential concealment points and assault locations; (d) minimising opportunities for graffiti and other vandalism; and (e) restricting unlawful access to buildings and between buildings.	No acceptable outcome is nominated.  Editor's note—Refer to Crime Prevention Through Environmental Design (CPTED) guidelines for Queensland for guidance.	<b>PP9.</b> Proposal Complies. There are a total of eight (8) off-bays parking spaces have been proposed in this submission, which shall enhance public safety. Please refer to plan no. BA/ 02 of the proposed extension and parking design prepared by AMF Building Design attached in <b>Appendix B</b> .	✓
<b>PO10</b> Parking and servicing areas are kept accessible and available for their intended use at all times during the normal business hours of the activity.	No acceptable outcome is nominated.	<b>PP10.</b> Proposal Complies. Parking and servicing areas shall be accessible and available during the hours of operation from 7:00 to 18:00 hrs.	✓



<b>Performance outcomes</b>	<b>Acceptable outcomes</b>	<b>Applicant's Response</b>	<b>Compliance</b>
<b>Transport impact</b> Editor's note—Applicants should note that the Department of Transport and Main Roads may have additional requirements.			
<b>PO11</b> Development contributes to the creation of a transport network which is designed to: (a) achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and (b) encourage people to walk, cycle or use public transport to and from the site instead of using a car.	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Refer to SC6.19 – Structure plan planning scheme policy for guidance.</p>	<b>PP11.</b> Proposal complies. The proposal is for the extension of the medical facility building with existing connections to all existing transport networks.	✓
<b>PO12</b> Development is located on roads that are appropriate for the nature of traffic (including vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.	<p><b>AO12.1</b> Traffic generated by the development is safely accommodated within the design capacity of roads as provided in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p> <p><b>AND AO12.2</b> A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy.</p> <p><b>AND AO12.3</b> The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p>	<p><b>PP12.1.</b> Proposal Complies. Parking for 8 off-bays have been proposed at the rear side of the lot, shall accommodate the traffic generated by the development.</p> <p><b>PP12.2.</b> Proposal Complies. The existing medical facility building has road frontage on Denham Street, which is a major urban collector road. The proposed access from the rear side of the lot is from Denham Lane, which is an urban access street. The proposed extension of medical building has no impact on road hierarchy.</p> <p><b>PP12.3.</b> Not applicable. The proposal is for a needed and small extension of the medical facility building and does not propose any upgrade to existing infrastructure.</p>	<div>✓</div> <div>✓</div> <div>N/A</div>
<b>PO13</b> Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which: (a) are safe for pedestrians and vehicles;	No acceptable outcome is nominated.	<b>PP13.</b> Proposal Complies. The proposed future expansion of the medical facility building shall maintain the existing pedestrian pathway along Denham Street.	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(b) are conveniently connected to the main component of the development by pedestrian pathway; and</p> <p>(c) provide for pedestrian priority and clear sightlines.</p>		<p>The proposed parking area shall be well-designed and clearly visible to ensure the safety of pedestrians and vehicles.</p> <p>Pick-up and set down facilities by taxis &amp; private vehicles, are incorporated in the proposed parking area.</p>	
<b>Site access</b>			
<p><b>PO14</b> Development does not impact on the safety, operation or function of the road network or system.</p>	<p><b>AO14.1</b> Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p><b>AND</b></p> <p><b>AO14.2</b> No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.</p> <p><b>AND</b></p> <p><b>AO14.3</b> Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p>	<p><b>PP14.1.</b> Proposal Complies. The vehicle manoeuvring path shall be designed in accordance with the standards.</p> <p><b>PP14.2.</b> Proposal Complies. The existing medical facility has road frontage to Denham Street, which is a major urban collector road and shall also retain an entranced access from Denham Lane.</p> <p><b>PP14.3.</b> Not applicable The existing medical facility is operating eight hours per day and the extension of the medical facility building may only have four (4) consulting rooms. Therefore, the facility is expected to generate between 60 to 80 vehicle movements per day, at peak operational capacity.</p>	<p>✓</p> <p>✓</p> <p><b>N/A</b></p>
<p><b>PO15</b> Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport network improvements.</p>	<p>No acceptable outcome is nominated.</p>	<p><b>PP15.</b> Not applicable The proposal is for the extension of the medical facility building and does not propose any upgrade to the transport network.</p>	<p><b>N/A</b></p>
<p><b>PO16</b></p>	<p><b>AO16.1</b> Intersections, connections and access arrangements are designed in accordance with</p>	<p><b>PP16.1.</b> Not applicable Same as <b>PP15</b>.</p>	<p><b>N/A</b></p>



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
On-site transport network infrastructure integrates safely and effectively with surrounding networks.	the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.		
<b>Pedestrian and cyclist facilities</b>			
<b>PO17</b> Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.	<b>AO17.1</b> Pedestrian and cyclist movements are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.	<b>PP17.1.</b> Proposal complies. The proposal is for an extension of the medical facility building with vehicular access from Denham Lane; and shall not adversely impact pedestrian and cyclist movements.	✓
<b>PO18</b> Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.	No acceptable outcome is nominated.  Editor's note—Provisions are made for parking and end of trip facilities in accordance with the SC6.4 – Bicycle network planning scheme policy.	<b>PP18.</b> Not applicable. The nature of the medical facility is for respiratory care & psychiatric consultations; therefore, patients are not expected to cycle to the facility.	N/A
<b>Servicing</b>			
<b>PO19</b> Refuse collection vehicles are able to safely access on-site refuse collection facilities.	<b>AO19.1</b> Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.	<b>PP19.1.</b> Proposal complies. The extended medical facility building shall continue the existing refuse collection system.	✓

### 9.3.4 Addressing Landscape code

Specific Outcomes	Proposal	Compliance
Purpose		
(1) The purpose of the landscape code is to ensure landscaping in both the private and public domain is designed and constructed to a high standard, provides a strong contribution to the image of the local government area, is responsive to the local character, site and climatic conditions and remains fit for purpose over the long-term.	1. Proposal complies. The well-established medical facility building has landscaping on the front and side boundaries and shall be retained to maintain a strong contribution to the image of the local government area.	✓
(2) The purpose of the code will be achieved by the following overall outcomes: (a) a high quality streetscape and on-site landscape enhances the character of the urban areas; (b) landscape design is integrated with the natural and built form elements of the site and the surrounding area; (c) landscaping creates a legible and attractive street frontage, and enhances the continuity of the streetscape;	2. (a) Proposal complies. The proposed extension of the medical facility building from the back wall of the building towards Denham Lane shall not have any adverse impact on the streetscape. The existing on-site landscaping shall be retained for continuing impression on the character of the urban area.	✓



<p>(d) screening is used to soften built form, hide unsightly elements of development and provide privacy and character;</p> <p>(e) plant species and landscaping materials are used which suit the sub-tropical cyclone prone climate;</p> <p>(f) plant species, landscaping materials and surface treatments are suited to their intended function and user requirements;</p> <p>(g) plant species, landscaping materials and surface treatments are designed to remain attractive, fit for purpose and be cost effectively maintained over the long-term;</p> <p>(h) landscaping design provides an accessible, safe and comfortable environment for all users; and</p> <p>(i) significant on-site vegetation is retained, protected and integrated into the site design wherever practicable.</p>	<p>(b) Proposal complies. The well-established medical facility building has landscaping that is compatible with the natural and built-form elements of the site and the surrounding area.</p> <p>(c) Proposal complies. The proposed extension of medical facility building from the back wall of the building, and only by 4.5 metres, towards Denham Lane, shall not have any impacts on the existing streetscape.</p> <p>(d) Proposal complies. The existing medical facility has fence along the boundaries.</p> <p>(e) Proposal complies. The well-established medical facility building has a flower garden in front of the building with some vegetable patches suitable for the climate. Side boundaries also have trees and shrubs to provide vegetated screening from the adjoining lots.</p> <p>(f) Proposal complies. The well-established medical facility building has a flower garden in front of the building, which is aesthetically pleasing and suited to the user's requirements. The rest of the landscaping on the side boundaries shall be retained.</p> <p>(g) Proposal complies. The well-established medical facility building has a flower garden in front of the building, which is aesthetically pleasing &amp; attractive and suited to the user's requirements. The trees at the rear of the lot provide shade and are being maintained over the period.</p> <p>(h) Proposal complies. The existing landscaping of the well-established medical facility building provides a safe, comfortable, aesthetically pleasing and attractive environment for all users.</p> <p>(i) Proposal complies. The existing landscaping shall be retained.</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>
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### 9.3.4.3 Specific benchmarks for assessment

**Table 9.3.4.3.1 Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Design</b>			
<b>PO1</b>	<b>AO1.1</b>	<b>PP1.</b> Proposal complies.	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>Landscaping is professionally designed and provides a suitably sized area to:</p> <ul style="list-style-type: none"> <li>(a) create an attractive visual addition to a building or place;</li> <li>(b) soften the built form;</li> <li>(c) provide a space for on-site recreation; and</li> <li>(d) enable landscaping to establish and thrive under the local conditions.</li> </ul> <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p> <p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>	<p>The well-established medical facility building has a flower garden in front of the building, which is aesthetically pleasing &amp; attractive to the users. There is vegetation along the side boundaries to soften the built form and provide vegetated screening from the adjoining lots.</p>	
<p><b>PO2</b></p> <p>Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas and the road verge.</p>	<p>No acceptable outcome is nominated.</p>	<p><b>PP2.</b> Proposal complies.</p> <p>The existing medical facility has trees at the rear of the Lot which provides shades and shall be retained. Please refer to <b>Appendix B</b> for Site Plan Ref. no. BA/02 prepared by AMF Building Design. The front garden is aesthetically pleasing and attractive to the users.</p>	<p>✓</p>
<p><b>PO3</b></p> <p>On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p><b>AO3.1</b></p> <p>Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses.</p> <p><b>AND</b></p> <p><b>AO3.2</b></p> <p>Landscaping maximises opportunities for on-site infiltration by:</p> <ul style="list-style-type: none"> <li>(a) minimising impervious surfaces and incorporating semi-permeable paving products;</li> <li>(b) falling hard surfaces towards pervious surfaces such as turf or mulched areas;</li> <li>(c) maximising the opportunity for turf and planting areas;</li> <li>(d) aligning planting areas parallel to contours to slow the flow of surface water; and</li> <li>(e) ensuring the planting palette comprises canopy tree species.</li> </ul> <p><b>AND</b></p> <p><b>AO3.3</b></p>	<p><b>PP3.1.</b> Not applicable.</p> <p>This small-scale extension to an existing facility in a built-up residential area is not able to propose any on-site Stormwater harvesting &amp; reuse.</p> <p><b>PP3.2.</b> Not applicable.</p> <p>This small-scale extension to an existing facility in a built-up residential area is not able to propose any on-site Stormwater harvesting &amp; reuse.</p> <p><b>PP3.3.</b> Not applicable.</p> <p>This small-scale extension to an existing facility in a built-up residential area is not able to propose any on-site Stormwater harvesting &amp; reuse.</p> <p><b>PP3.4.</b> Proposal complies.</p> <p>The existing landscaping includes trees and shrubs along the boundaries to minimise the potential of erosion.</p>	<p><b>N/A</b></p> <p><b>N/A</b></p> <p><b>N/A</b></p> <p>✓</p>



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells. <b>AND</b> <b>AO3.4</b> The landscape design incorporates sediment and erosion control measures.		
<b>PO4</b> Design of pedestrian paths and places reinforces the desired character of the area and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.	<b>AO4.1</b> The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.	<b>PP4.</b> Proposal Complies. The proposed extension of the medical facility shall not have any adverse impact on the existing design of pedestrian paths.	✓
<b>PO5</b> Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through: (a) maximising casual surveillance of public spaces; (b) increasing opportunity for public interaction; and (c) minimising opportunity for concealment and criminal activity through environmental design principles.	<b>AO5.1</b> Planting is carried out in accordance with crime prevention through environmental design principles and incorporates: (a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces; (b) clear sight lines from private to public space; (c) visually permeable screens and fencing; (d) lighting of landscaped areas; (e) public facilities (toilets, shelters etcetera) located to promote use; (f) dual access points to public spaces; (g) clearly defined public and private spaces; (h) measures to protect solid and blank walls from graffiti; (i) legible universal signage; (j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and (k) plant species that do not exacerbate impacts such as bushfire or flash flooding.	<b>PP5.</b> Proposal Complies. The well-established medical facility building has trees and shrubs along the side boundaries and fences all around the Lot boundary to provide screening from the adjoining Lots.  The proposed development has dual access from Denham Street and Denham Lane to the garden and the proposed parking area. The front garden is aesthetically pleasing and does not create any nuisance or danger by way of thorns, toxins or a common source of allergies. The ornamental trees and vegetable plants in front of the building and vegetation along the side boundaries do not have any adverse impact on bushfire or flash flooding.	✓
<b>Species selection</b>			
<b>PO6</b>	<b>AO6.1</b>	<b>PP6.</b> Proposal complies.	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> <li>(a) suit the local climatic conditions;</li> <li>(b) have low water usage needs or are provided with water harvested on-site;</li> <li>(c) include locally native species;</li> <li>(d) are of a suitable size and density to achieve the purposes of this code;</li> <li>(e) complement the proposed development;</li> <li>(f) are not classified as a pest species or a noxious or invasive weed;</li> <li>(g) preserve existing vegetation where desirable and protect existing environmental values of the land; and</li> <li>(h) do not exacerbate bushfire or flood hazards.</li> </ul>	<p>Plant species are chosen from sources recommended by SC6.12 — Landscape design and street trees planning scheme policy.</p> <p><b>AND</b> <b>AO6.2</b></p> <p>Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p><b>AND</b> <b>AO6.3</b></p> <p>At least fifty (50) per cent of all new plantings are locally native species.</p> <p><b>AND</b> <b>AO6.4</b></p> <p>Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p><b>AND</b> <b>AO6.5</b></p> <p>Unless forming part of a landscaping concept approved by Council, planting is carried out to create a 'three-tier' landscaping treatment at the following minimum density rates:</p> <ul style="list-style-type: none"> <li>(a) trees at five (5) metre intervals;</li> <li>(b) shrubs at two (2) metre intervals; and</li> <li>(c) groundcovers at 0.5 metre to one (1) metre intervals.</li> </ul> <p><b>AND</b> <b>AO6.6</b></p> <p>Existing vegetation is retained and integrated into landscaping.</p> <p><b>AND</b> <b>AO6.7</b></p> <p>The use of palms is avoided in proximity to overland flow paths and watercourses.</p>	<p>The existing front garden, vegetable plants, trees and shrubs along the side boundaries are suitable to the local climatic conditions and need low water consumption.</p> <p>This vegetation complements the proposed development and is not classified as a pest species or a noxious or invasive weed.</p> <p>Most of the significant vegetation shall be retained in the proposed development.</p> <p>No palm trees have been identified in this submission.</p> <p>The proposal is in a built-up urban area where any bushfire hazard is very minimal; and the site is not affected by the Flood Overlay. The advice from the Council is as follows:-</p> <p><i>"Council's latest modelling shows minor inundation (&lt;300 millimetres) over rear of the site. The proposal does not require an assessment against the Flood Hazard Overlay Code – this is for information only and is something to be mindful of when carrying out any works at the rear to avoid any potential nuisance to adjoining owners / infrastructure."</i></p>	
<b>Character and streetscaping</b>			
<p><b>PO7</b></p> <p>Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of:</p>	<p><b>AO7.1</b></p> <p>Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p><b>PP7.</b> Not applicable.</p> <p>The proposal is for the extension of a medical facility building and does not involve the creation of a new road.</p>	<b>N/A</b>



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
(a) the hierarchy and function of the street; (b) the selection of appropriate species; (c) avoidance of conflict between the street tree and utilities and services within the road reserve; (d) soil conditions; (e) existing street trees; (f) solar access; and (g) driveway access.			
<b>PO8</b> Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.	<b>AO8.1</b> For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below: <div data-bbox="866 675 1216 965" data-label="Image"> </div> <b>Figure 9.3.4.3.1a — Height restriction for corner sites</b>	<b>PP8.1.</b> Not applicable. The existing medical facility building is not situated on a corner bounded by two or more road frontages.	N/A
<b>PO9</b> Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.	No acceptable outcome is nominated.	<b>PP9.</b> Proposal complies. The existing medical facility has well-designed garden in the front of the building with vegetation along the side boundaries. Any future landscaping shall be integrated with the existing urban design theme within the surrounding area.	✓
<b>PO10</b> Fencing (including walls) and acoustic barriers are designed to: (a) be compatible with the existing streetscape;	<b>AO10.1</b> Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height.	<b>PP10.1.</b> Proposal Complies. The existing medical facility has a fence around the lot boundaries. The height of the front fence is 1.4 m and the side fences are 1.8m.	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(b) minimise adverse effects on the amenity of an adjoining property; and</p> <p>(c) complement, but not dominate, the development.</p>	<p><b>AND</b></p> <p><b>AO10.2</b> Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height equal to or above the height of the acoustic fencing.</p>	<p>No acoustic fencing is required for this development.</p> <p><b>PP10.2.</b> Not applicable. The existing medical facility has fencing around the Lot and shall not require acoustic fencing.</p>	<b>N/A</b>
<b>Car parking and internal access</b>			
<p><b>PO11</b> Car parks and internal access (both on and off-street) are landscaped to:</p> <p>(a) reduce their visual appearance;</p> <p>(b) provide shade;</p> <p>(c) reduce glare;</p> <p>(d) reduce heat stored in hard surfaces;</p> <p>(e) harvest storm water; and</p> <p>(f) be of a design that protects damage from vehicles, minimises risk of crime and contaminated stormwater runoff.</p>	<p><b>AO11.1</b> Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <p>(a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and</p> <p>(b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks.</p> <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy sets out guidance on tree species and planting standards.</p> <p><b>AND</b></p> <p><b>AO11.2</b> Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.</p> <p><b>AND</b></p> <p><b>AO11.3</b> Each shade tree has a clean trunk with a minimum height of two (2) metres.</p> <p><b>AND</b></p> <p><b>AO11.4</b></p>	<p><b>PP11.</b> Proposal Complies. The existing trees at the rear of the lot shall provide shade to the parking area to reduce heat stored on hard surfaces according to the standards. Please refer to <b>Appendix B</b> for Site Plan Ref. no. BA/02 prepared by AMF Building Design. Any future shade trees in the parking area shall follow the prescribed landscape design.</p>	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p>Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.</p> <p><b>AND</b> <b>AO11.5</b> Trees within car parking areas are planted within a deep natural ground/structured soil garden bed, and are protected by wheel stops or bollards as required.</p> <p><b>AND</b> <b>AO11.6</b> Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p>		
<b>Utilities and other infrastructure</b>			
<p><b>PO12</b> The function, safety and accessibility of utilities and other infrastructure is not compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> <li>(a) overhead wires and equipment;</li> <li>(b) underground pipes and cables; and</li> <li>(c) inspection chambers, transformers, poles and drainage infrastructure.</li> </ul>	<p><b>AO12.1</b> A minimum three (3) metre wide densely planted landscaped buffer is provided along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10) metres.</p> <p><b>AND</b> <b>AO12.2</b> Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p><b>AND</b> <b>AO12.3</b> The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>	<p><b>PP12.</b> Not applicable. No major electricity transmission corridor has been identified along the boundary.</p>	<b>N/A</b>
<p><b>PO13</b> Landscape site planning and design must accommodate for maintenance access points and clearances with the following considerations:</p>	<p><b>AO13.1</b> Maintenance access points and clearance must be provided in accordance with Capricorn</p>	<p><b>PP13.</b> Not applicable. No new landscaping is proposed to offset any utilities or other infrastructure.</p>	<b>N/A</b>



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather;</p> <p>(b) provide an appropriate turn around area for vehicles and secure access entrance; and</p> <p>(c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits.</p>	<p>Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p><b>AND</b></p> <p><b>AO13.2</b></p> <p>Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.</p>		

### 9.3.6 Stormwater management code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the stormwater management code is to provide for sustainable stormwater infrastructure which protects water quality, environmental values and maintains or enhances community health, safety and amenity.</p> <p>(2) The purpose of the code will be achieved through the following overall outcomes:</p> <p>(a) acceptable levels of stormwater run-off quality and quantity are achieved by applying water sensitive urban design principles;</p> <p>(b) public health and safety are protected and development avoids damage or nuisance caused by stormwater flows;</p> <p>(c) development includes a stormwater management system which minimises impacts on natural catchment hydrological processes;</p> <p>(d) development ensures that the environmental values of waterways are protected or enhanced;</p> <p>(e) development maintains or enhances the efficiency and integrity of the stormwater infrastructure network;</p> <p>(f) the whole of life-cycle cost of stormwater infrastructure is minimised; and</p> <p>(g) new development infrastructure is designed to support and complement existing and planned stormwater infrastructure.</p>	<p><b>1 &amp; 2. Proposal Complies.</b></p> <p>Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 &amp; D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b></p>	✓



### 9.3.6.3 Specific benchmarks for assessment

**Table 9.3.6.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Stormwater management — General</b>			
<b>PO1</b> Development provides a stormwater management system which achieves the integrated management of stormwater to: <ul style="list-style-type: none"> <li>(a) ensure that flooding impacts do not increase, including upstream or downstream of the development site;</li> <li>(b) avoid net worsening of stormwater peak discharges and runoff volumes;</li> <li>(c) utilises the use of water sensitive urban design principles; and</li> <li>(d) ensure the site maximises opportunities for capture and reuse.</li> </ul> Editor's note—A stormwater management plan may be required to demonstrate compliance with the performance outcome.	<b>AO1.1</b> Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, SC6.10 — Flood hazard planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.  <b>AND</b> <b>AO1.2</b> Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.	<b>PP01.</b> Proposal Complies. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b>	✓
<b>PO2</b> Development provides a stormwater management system which: <ul style="list-style-type: none"> <li>(a) has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments;</li> <li>(b) maximises the use of natural waterway corridors and natural channel design principles; and</li> <li>(c) efficiently integrates with existing stormwater treatments upstream and downstream.</li> </ul>	<b>AO2.1</b> Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff	<b>PP02.</b> Proposal Complies. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b>	✓
<b>PO3</b> Development ensures that the location and design of stormwater detention and water quality treatment facilities: <ul style="list-style-type: none"> <li>(a) minimise risk to people and property;</li> <li>(b) provide for safe access and maintenance; and</li> </ul>	<b>AO3.1</b> Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.  <b>AND</b>	<b>PP03.</b> Not applicable. No detention basin is proposed in this submission. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b>	N/A



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(c) provide for the safe recreational use of stormwater management features.</p>	<p><b>AO3.2</b> Development provides for stormwater detention in accordance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p><b>AND</b></p> <p><b>AO3.3</b> Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy – Guideline – Water Quality.</p>		
<b>Environmental values</b>			
<p><b>PO4</b> Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p> <p>Editor's note—Compliance with the performance outcomes and acceptable outcomes should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	<p><b>AO4.1</b> Development ensures natural waterway corridors and drainage paths are retained.</p> <p><b>AND</b></p> <p><b>AO4.2</b> Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p> <p><b>AND</b></p> <p><b>AO4.3</b> Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p>	<p><b>PP04.</b> Proposal Complies. All existing drainage paths are to be retained, and no natural waterway corridor is affected by this proposal.</p>	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>PO5</b> Development protects and enhances the environmental and water quality values of waterways, creeks and estuaries within or external to the site.  Editor's note—The State Planning Policy – Guideline – Water Quality and Section 9 of the <i>Environmental Protection Act 1994</i> define environmental values as 'a quality or physical characteristic of the environment that is conducive to ecological health or public amenity or safety.'	No acceptable outcome is nominated.	<b>PP05.</b> Proposal Complies. All existing drainage paths are to be retained; and no natural waterway corridor is affected by this proposal.	✓
<b>Overland flow path tenure</b>			
<b>PO6</b> All overland flow paths are maintained under tenure arrangements that facilitate efficient infrastructure and enhance environmental sustainability.  Editor's note—As a guide, Council prefers that the location of Council owned assets are contained within a road reserve, drainage system is contained within a road reserve, drainage easement, drainage reserve, public reserve, public pathway, park or waterway corridor.	No acceptable outcome is nominated.	<b>PP06.</b> Proposal Complies. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b>	✓
<b>Detention Systems</b>		<b>PO7 to PO10.</b> Not applicable. No detention basin is proposed in this submission. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b>	N/A
<b>Efficiency and whole of life cycle cost</b>			
<b>PO11</b> Development ensures that there is sufficient site area to accommodate an effective stormwater management system.  Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.	No acceptable outcome is nominated.	<b>PP11.</b> Proposal complies. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b>	✓
<b>PO12</b>	No acceptable outcome is nominated.	<b>PP12.</b> Proposal complies. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the: (a) existing capacity of stormwater infrastructure within and external to the site, and any planned stormwater infrastructure upgrades; (b) safe management of stormwater discharge from existing and future upslope development; and (c) implications for adjacent and down-slope development.		by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E</b> .	
<b>PO13</b> Development provides proposed stormwater infrastructure which: (a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and (b) can be safely accessed and maintained in a cost effective way.	No acceptable outcome is nominated.	<b>PP13.</b> Proposal complies. Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 & D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E</b> .	✓
<b>Erosion and sediment control</b>			
<b>PO14</b> Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect: (a) the environmental values and water quality objectives of waters; (b) waterway hydrology; and (c) the maintenance and serviceability of stormwater infrastructure.	<b>AO14.1</b> Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.	<b>PP14.</b> Proposal will comply. This is going to be addressed in future Operational Works and/or Building Construction Applications.	✓
<b>Water quality within catchment areas</b>			
<b>PO15</b> For development proposals within the Fitzroy River sub-basin, relevant environmental values	<b>AO15.1</b> Development complies with the provisions of the State Planning Policy – Guideline – Water Quality.	<b>PP15.</b> Not applicable.	N/A



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>are recognised and enhanced, and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p><b>AND</b></p> <p><b>AO15.2</b></p> <p>Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <ul style="list-style-type: none"> <li>(a) a buffer distance of 100 metres to the water supply height of the barrage which excludes cropping or grazing of a low intensity nature; and</li> <li>(b) fencing and water troughs installed on the land to prevent encroachment of animals within 100 metres of the full supply height above the barrage.</li> </ul>	<p>As no waterway is being designed in this submission, water quality within catchment areas has not been affected by this proposal.</p>	
<b>Protecting water quality</b>			
<p><b>PO16</b></p> <p>The development is compatible with the land use constraints of the site for:</p> <ul style="list-style-type: none"> <li>(a) achieving stormwater design objectives; and</li> <li>(b) avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater.</li> </ul>	<p><b>AO16.1</b></p> <p>Development is undertaken in accordance with a stormwater management plan that:</p> <ul style="list-style-type: none"> <li>(a) incorporates stormwater quality control measures to achieve the design objectives set out in the State Planning Policy – Guideline – Water Quality;</li> <li>(b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and</li> <li>(c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives.</li> </ul> <p>Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system.</p> <p>Editor's note—SC6.18 — Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.</p>	<p><b>PP16.</b> Proposal complies.</p> <p>Please refer to Stormwater Management Report and Plan Drawings, D23.281-01 &amp; D23.281-02, prepared by Dileigh Consulting Engineers Pty Ltd. attached in <b>Appendix E.</b></p>	✓
<b>Protecting water quality in existing natural waterways</b>			



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>PO17</b> The waterway is designed for stormwater flow management, stormwater quality management and the following end use purposes: (a) amenity including aesthetics, (b) landscaping and recreation; (c) flood management; (d) stormwater harvesting as part of an integrated water cycle management plan; (e) as a sustainable aquatic habitat; and (f) the protection of water environmental values.	No acceptable outcome is nominated.	<b>PP17.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.	N/A
<b>PO18</b> The waterway is located in a way that is compatible with existing tidal waterways.	<b>AO18.1</b> Where the waterway is located adjacent to, or connected to, a tidal waterway by means of a weir, lock, pumping system or similar: (a) there is sufficient flushing or a tidal range of more than 0.3 metres; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments.	<b>PP18.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.	N/A
<b>PO19</b> The construction phase for the waterway is compatible with protecting water environmental values in existing natural waterways.	<b>AO19.1</b> Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy – Guideline – Water Quality.  Editor's note—Erosion and sediment control is to be designed and implemented in accordance with the International Erosion Control Association Best Practice Erosion and Sediment Control Guidelines.	<b>PP19.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.	N/A
<b>PO20</b> Stormwater overflows from the waterway do not result in lower water quality objectives in existing natural waterways.	<b>AO20.1</b> Stormwater run-off entering non-tidal waterways is pre-treated prior to release in accordance with the guideline design objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.	<b>PP20.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.	N/A



### 9.3.7 Addressing Waste management code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(3) The purpose of the waste management code is to ensure that development is provided with on-site waste management facilities including waste collection, storage, disposal and cleaning facilities which maintain public health and streetscape amenity.</p> <p>(4) The purpose of the code will be achieved through the following overall outcomes:</p> <ul style="list-style-type: none"> <li>(a) development provides for adequate on-site waste management to deal with the expected volume and nature of waste generated by the development;</li> <li>(b) waste facilities are screened from view from adjoining lots, streets and public spaces;</li> <li>(c) waste management is conducted in a safe and ecologically sustainable manner; and</li> <li>(d) waste facilities are located on-site in a manner which facilitates waste removal in a safe and efficient way.</li> </ul>	<p>1 &amp; 2. The existing medical facility has a well-maintained on-site waste management facility. Any used sharp objects, such as needles, blades, etc. are stored in sharps disposal boxes and collected by Flicks, an Anticimex company, when the boxes are full. Also, the existing medical facility has proper sanitary unit maintenance done by the Flicks, an Anticimex company, periodically.</p> <p>A confidential paper destruction bin is installed inside the medical facility building and collected by NDVR Endeavour Foundation every three months.</p> <p>The rest of the waste produced by the existing medical facility is disposed into waste bins provided by the Council which are located at the rear side of the building and screened by fences to maintain streetscape amenities. These wastes are collected from Denham Lane fortnightly.</p>	✓

#### 9.3.7.3 Specific benchmarks for assessment

**Table 9.3.7.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Design of waste storage areas</b>			
<p><b>PO1</b> For on-site waste collection, waste storage areas are located and designed so that:</p> <ul style="list-style-type: none"> <li>(a) they are easily accessed and convenient to use;</li> <li>(b) sufficient space is provided for safe entry and exit and servicing by service vehicles without the need for manual handling;</li> </ul>	<p><b>AO1.1</b> Waste storage areas are designed and maintained in accordance with SC6.20 — Waste management planning scheme policy.</p>	<p><b>PP1.</b> Proposal Complies.</p> <p>The existing medical facility has an on-site waste management facility. Waste bins are located at the rear side of the building and are taken out on the Denham Lane when waste and recycling collection vehicles access the road for waste collection.</p>	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(c) sufficient height clearance is provided for the safe operation of both front and side bin lifting operations;</p> <p>(d) they are clear of car parking bays, loading bays and similar areas; and</p> <p>(e) they are clear of footpaths and pedestrian access.</p>			
<b>Kerbside waste servicing</b>			
<p><b>PO2</b> Kerbside collection of waste containers ensures the safety and amenity of road and footpath users.</p>	<p><b>AO2.1</b> Waste bins are located on the footpath so that:</p> <p>(a) bins are located one (1) metre apart from other bins and obstructions;</p> <p>(b) all bins are accommodated within the street frontage of the site;</p> <p>(c) a clear pedestrian access way two (2) metres wide is retained; and</p> <p>(d) bins are capable of being serviced by the collection vehicle travelling forward, without having to reverse the vehicle.</p>	<p><b>PP2.</b> Proposal complies.  The existing medical facility has an on-site waste management facility and waste bins are collected from Denham Lane and not on the footpath along Denham Street.</p>	✓
<p><b>PO3</b> Waste storage minimises adverse impacts on adjoining properties.</p>	<p><b>AO3.1</b> Waste storage areas are:</p> <p>(a) integrated with the building design; or</p> <p>(b) set back a minimum of two (2) metres from any boundary; and</p> <p>(c) screened from neighbouring properties and the street by a fence of 1.8 metres minimum height; and</p> <p>(d) not located directly adjoining dwelling units on the site and on neighbouring properties.</p> <p><b>AND</b> <b>AO3.2</b> Waste bins are fitted with lids.</p>	<p><b>PP3.</b> Proposal Complies.  Waste bins of the existing medical facility are located at the rear side of the back wall of the building and well set back from the boundaries with fence and landscaping to provide screening from the neighbouring properties.</p>	✓
<p><b>PO4</b> Waste storage areas:</p> <p>(a) have a level area on impermeable, durable materials so that they are easily cleaned; and</p>	No acceptable outcome is nominated.	<p><b>PP4.</b> Proposal Complies. The existing waste storage strategy shall be retained.</p>	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
(b) have adequate clearance between and around waste storage bins to allow for manoeuvring and washing of bins.			
<b>Water management</b>			
<b>PO5</b> Waste storage areas are designed to separate stormwater and wash-down water.	<b>AO5.1</b> Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area.  <b>AND</b> <b>AO5.2</b> Wash-down areas are: (a) provided with a tap and water supply; and (b) provided with a stormwater diversion valve and arrestor trap.	<b>PP5.</b> Proposal Complies. The proposed development shall continue the existing water management system.	✓

### 9.3.8 Addressing Water and sewer code

Specific Outcomes	Proposal	Compliance
Purpose		
(1) The purpose of the water and sewer code is to ensure that development is provided with potable water and sewerage infrastructure in an efficient and sustainable way, which maintains public health. (2) The purpose of the code will be achieved through the following overall outcomes: (a) development facilitates the efficient provision of water, including infrastructure for supply, treatment, storage and reticulation; (b) development facilitates the efficient provision of sewerage infrastructure, including reticulation, treatment, storage and disposal; (c) whole of life cycle costs for water and sewerage infrastructure are minimised; and (d) adverse impacts on the environment and the amenity of the locality are avoided and optimal use of water resources is maintained.	1. & 2. Proposal Complies. The well-established medical facility building has existed on site since 1978 and has existing Council's water and sewerage infrastructure connections. Please refer to <b>Appendix D</b> for the Council's services and contour map.	✓



### 9.3.8.3 Specific benchmarks for assessment

**Table 9.3.8.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Water</b>			
<b>PO1</b> A water supply is provided that is adequate for the current and future needs of the intended development.	<b>AO1.1</b> Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.  Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.  Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.	<b>PP1.1.</b> Proposal complies. The site is located within the water supply planning area and is already connected to the council's reticulated water supply system.	✓
<b>PO2</b> Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.	<b>AO2.1</b> Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.  Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome. <b>AND</b> <b>AO2.2</b> Where within a water supply planning area, staged developments are connected to the water supply network and operational prior to the commencement of the use or endorsement of the survey plan.	<b>PP2.</b> Proposal complies. Same as <b>PP1.1.</b>	✓
<b>Sewer</b>			
<b>PO3</b> Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.	<b>AO3.1</b> Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage	<b>PP3.1.</b> Proposal complies. The proposal is for the extension of the medical facility building and shall maintain the current connection to Council's reticulated sewerage system.	✓



Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p>infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p>	<p>The proposed extension is from the back wall of the medical facility building towards Denham Lane, which may be built over the sewer main trunk line using bridge piers. Building Over/Adjacent to Sewerage Infrastructure (BOSI) policy shall be maintained according to SC6.17.</p>	
<p><b>PO4</b></p> <p>Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p><b>AO4.1</b></p> <p>Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p><b>AND</b></p> <p><b>AO4.2</b></p> <p>Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p><b>PP4.</b> Proposal complies.</p> <p>The proposal is for the extension of the medical facility building and shall maintain the current connection to Council's reticulated sewerage system.</p>	✓
<b>Point source waste water management</b>			
<p><b>PO5</b></p> <p>The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> <li>(a) avoids waste water discharge to waterways; or</li> <li>(b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water discharge to waterways can not practically and reasonably be avoided.</li> </ul>	<p><b>AO5.1</b></p> <p>A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <ul style="list-style-type: none"> <li>(a) waste water type;</li> <li>(b) climatic conditions;</li> <li>(c) water quality objectives; and</li> <li>(d) best practice environmental management.</li> </ul>	<p><b>PP5.</b> Proposal complies.</p> <p>Same as <b>PP4</b>.</p>	✓





## PRELODGE MEETING MINUTES

### MEETING DETAILS

**Date of Meeting:** Tuesday 15 August 2023 | 11:00am

#### Council Attendees:

- Brendan Standen – Principal Planning Officer, Development Assessment
- Rod Lindsay – Development Engineer, Community Services

#### Applicant Attendees:

- Dr Sudhakar Koduri – MSK Health Care Investments Pty LTD, Owner
- Sunil Govind – Gracemere Surveying & Planning Consultants Pty Ltd, Registered Planner
- Andrew Fisk – AMF Building Design, Building Designer
- Bristi Basak – GSPC, Urban & Regional Planner

### PROPOSAL:

**Address:** 123 Denham Street, Allenstown

**Real Property Description:** Lot 24 on RP600323

**Details of Proposal:** Health Care Services (expansion to existing facility)

#### Issues identified by the Applicant for discussion:

1. *The existing use of the building is for Health care service activity since 1978. Therefore, the proposed extension is a compatible use in low-medium density residential zone.*
2. *What are the Council's Development codes that need to be addressed for extending existing Healthcare service facility, in this zone?*
3. *Separate Application for Building over or close to Sewer-line to be lodged concurrently with the MCU Application.*
4. *Parking on Denham Street, currently available to the existing facility, is to be retained.*
5. *Considering that Health care facility is a compatible use in this zone, no non-compliances have been identified in the planning Scheme.*

#### Supporting information/documentation provided by Applicant:

- Proposed site plan, prepared by AMF Building Design and dated 31 July 2023

### MINUTES

#### PLANNING ASSESSMENT:

**Defined Use:** Health Care Services

**Planning Area/Zone:** Low-medium Density Residential Zone



<b>Type of Application Required:</b> Material Change of Use for Health Care Services
<b>Level of Assessment:</b> Assessable (Impact Assessment)
<b>DEVELOPMENT ASSESSMENT:</b>
<ul style="list-style-type: none"> <li>▪ In response to the first agenda item, just because the existing activity (Health Care Services) has been occurring since the late 1970s, it does not mean it is a compatible use in the Low-medium Density Residential Zone. The application material must address all relevant assessment benchmarks in the <i>Rockhampton Region Planning Scheme 2015 (v2.2)</i></li> <li>▪ In response to the second agenda item, the following assessment benchmarks must be addressed in the application material: <ul style="list-style-type: none"> <li>○ Strategic Framework</li> <li>○ Low-medium Density Residential Zone Code</li> <li>○ Access, Parking and Transport Code</li> <li>○ Landscape Code</li> <li>○ Stormwater Management Code</li> <li>○ Waste Management Code</li> <li>○ Water and Sewer Code</li> </ul> </li> <li>▪ In response to the third agenda item, generally a build over sewer application is lodged subsequent to receiving a Development Permit for Material Change of Use, but it may also be lodged concurrently.</li> <li>▪ In response to the fourth agenda item, Council's preference is for on-street car parking to be provided along the Denham Street frontage, in conjunction with on-site car parking at the rear of the site.</li> <li>▪ In response to the fifth agenda item, Material Change of Use for Health Care Services in the Low-medium Density Residential Zone is categorised as Assessable development subject to Impact Assessment. The application material will need to demonstrate compliance with all assessment benchmarks listed herein.</li> </ul>
<b>DEVELOPMENT ENGINEERING UNIT:</b>
<p><b>Access and Parking:</b></p> <ul style="list-style-type: none"> <li>▪ The required parking rate is one (1) space per 25m<sup>2</sup> of Gross Floor Area (GFA), in accordance with the requirements of the Planning Scheme. Eight (8) on-site car parking spaces are required in total.</li> <li>▪ Swept paths will be required for the proposed persons with disabilities (PWD) car parking spaces.</li> <li>▪ Council's preference is for on-street car parking spaces to be provided on the Denham Street frontage, rather than on-site car parking. Approximately three (3) parallel car parking spaces may be provided.</li> <li>▪ The portion of concrete lane widening on Denham Lane are not necessary in this instance, however Council would not object to the inclusion should the Developer provide it.</li> <li>▪ Given the narrow width of Denham Lane, Council recommends the parking area at the rear of the site be used predominantly for staff car parking.</li> <li>▪ Australian Standard AS2890 requires car parking spaces to be 2.6 metres wide for User Class 3 (short-term parking). Where the car parking at the rear of the site is to be used for staff parking only, the proposed 2.5 metre width would be acceptable.</li> <li>▪ A reverse manoeuvre from the carport space onto the laneway is unsafe as visibility appears compromised. Ideally, the occupant of this space would reverse into one of the other spaces before exiting in a forward gear, or alternatively, use the parking spaces to manoeuvre into the carport</li> </ul>



space backwards.

**Stormwater:**

- The MUSIC software is for stormwater quality analysis only – it cannot be used for stormwater quantity. Furthermore, the proposed development does not trigger a water quality assessment in accordance with the *State Planning Policy*.
- Given the minor local catchment flooding over the site (refer below), a Stormwater Management Plan (SMP) is required. The SMP must demonstrate additional runoff from the site, due to the increase in impervious area, has been mitigated sufficiently as to not cause a nuisance to adjoining properties or infrastructure. Council recommends a Registered Professional Engineer of Queensland (RPEQ) with experience in stormwater management provide the SMP.

**Other:**

- A Build Over Sewer (BOS) application will be required. The outer wall of proposed extension looks to be located longitudinally over the sewer main, so footings will need to suit this arrangement.
- Local Catchment flooding – Council's latest modelling shows minor inundation (<300 millimetres) over rear of the site. The proposal does not require an assessment against the Flood Hazard Overlay Code – this is for information only and is something to be mindful of when carrying out any works at the rear to avoid any potential nuisance to adjoining owners / infrastructure.

**Infrastructure Charges (not including actual charges)**

The Adopted Infrastructure Charges are available to view on Council's Website. These are located in the Fees and Charges Section. Please see the link below.

<http://www.rockhamptonregion.qld.gov.au/Planning-and-Building/Infrastructure-Charges>

**PUBLIC AND ENVIRONMENTAL HEALTH:**

Nil

**OUTCOME SUMMARY:**

Council officers are generally supportive of the proposed development, subject to the application material demonstrating compliance with the assessment benchmarks in the Planning Scheme.

**ADVISORY NOTE:**

These notes have been provided as informal and non binding comments and are intended for use as a guide only in providing feedback on the proposal presented to the Unit. These discussions do not bind or fetter the Council in any way in exercising its statutory responsibilities in assessing any development application which might be made to the Council.

Link to DA Forms

<https://planning.dsdmip.qld.gov.au/planning/better-development/application-forms-and-templates>

Link to Planning Schemes

<http://www.rockhamptonregion.qld.gov.au/Planning-and-Building/Planning-Schemes-and-Studies>

Link to Development Assessment Fees

<http://www.rockhamptonregion.qld.gov.au/About-Council/Finance-Rates-and-Budget/Fees-and-Charges>





## **Appendix B – Proposal Plans**

- Proposed extension of the Medical facility building plans prepared by AMF Building Design

**Application on behalf of MSK Health Care Investments Pty Ltd.**

**December 2023**

**GSPC**

**Ref: 231277**





GENERAL NOTES

1. USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES
2. FIGURED DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE FROM DRAWINGS.
3. ALL CONSTRUCTION SHALL CONFORM TO THE NATIONAL CONSTRUCTION CODE (NCC) AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.
4. ALL MATERIALS TO BE NEW UNLESS SPECIFIED OTHERWISE.
5. REFER TO ENGINEERS DRAWINGS FOR DESIGN OF WIND LOADING, BRACING AND FRAMING DETAILS.
6. STEEL WORK TO BE IN ACCORDANCE WITH ENGINEERS DETAILS AND SPECIFICATIONS AND RELEVANT AUSTRALIAN STANDARDS.
7. EXTENT OF CONTRACTOR'S AREA - SITE BOUNDARY OR AS AGREED WITH OWNER.
8. WHERE AN ITEM IS NOTED, IT IS ASSUMED THE BUILDER SHALL ALLOW FOR ITS CONNECTION TO THE BUILDING SYSTEMS, REGARDLESS IF SHOWN OTHERWISE ON CONSULTANT DRAWINGS (I.E. A FIELD INLET SHOWN IS TO BE CONNECTED TO THE SW SYSTEM).
9. THE BUILDER ACCEPTS TO SUPPLY AND INSTALL ALL ITEMS NOTED ON THE ARCHITECTURAL & CONSULTANT DRAWINGS. NOT ALL TRADE SPECIFIC DETAIL MAY BE SPECIFIED IN THE ONE PARTICULAR CONSULTANT DOCUMENTS & MAY BE SPREAD OVER SEVERAL DRAWINGS.

WHS

1. THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (BUT IS NOT EXCLUDED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.
2. WORKPLACE HEALTH AND SAFETY MATTERS AND CONDITION OF THE SITE ARE IN THE FIRST INSTANCE THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR.

TENDERING

1. CONTRACTORS SHALL VISIT THE SITE PRIOR TO TENDERING TO FAMILIARISE THEMSELVES WITH ACCESS AND SITE CONDITIONS. FAILURE TO DO SO WILL NOT BE GROUNDS FOR A CLAIM FOR ITEMS WHICH AN INSPECTION WOULD HAVE DISCLOSED.
2. REPORT ANY DISCREPANCIES (ON DRAWING OR ON-SITE) TO THE DESIGNER BEFORE COMMENCING OR CONTINUING CONSTRUCTION.

ENERGY EFFICIENCY

1. ENERGY EFFICIENCY REPORT REQUIREMENTS OF THIS DEVELOPMENT MUST BE CARRIED OUT AS PART OF THE PROPOSED DEVELOPMENT TO COMPLY WITH THE QDC 4.1 AND THE BCA 3.12 A FORM 16 - ASPECT CERTIFICATE TO CONFIRM COMPLIANCE WITH THE ENERGY REPORT.

PRELIMINARY ONLY  
(NOT FOR CONSTRUCTION)



PERSPECTIVE VIEW

DRAWING LIST		
Drawing No:	Description	Issue
BA /01	Cover Sheet	05
BA /02	Site Plan	05
BA /03	Ground Floor Plan	05
BA /04	Roof Plan	05
BA /05	Elevation 1 / 1	05
BA /06	Typical Section 1/1	05

**BCA**  
CLASS 6, MEDICAL OFFICE  
WIND CLASSIFICATION, C1  
RESIDENTIAL ZONE  
MCU - MEDICAL OFFICE APPROVAL  
1978 (TPC/622-1900)

**LOCAL AUTHORITY**  
ROCKHAMPTON REGIONAL COUNCIL

**STRUCTURAL ENGINEERING**  
CQ STRUCTURAL PTY LTD

**SOIL CLASSIFICATION**  
CLASS H2  
REFER CQ SOIL TESTING

**ENERGY EFFICIENCY**  
TBA

**BUILDING CERTIFICATION**  
TBA

**WORKPLACE HEALTH & SAFETY**  
REFER BA DRAWINGS BA 02

**PROPOSED  
EXTENSION**

**123 DENHAM ST  
ALLENSTOWN QLD  
4700**

**for**

**Central Queensland  
Respiratory  
Diagnostics**

			<b>Mailing Address</b> 262 Grubb St Koongal QLD 4701 andrew@amfbuildingdesign.com.au 0423 375 400		Client Central Queensland Respiratory Diagnostics	Drawing Title: <b>Building Plans Cover Sheet</b>	Scale: <b>As shown</b>	Date: <b>MAY 2023</b>
			<b>QBCC No 1068756</b> <b>ABN 22143 527 198</b> all projects residential,commercial,industrial		Project Name <b>PROPOSED EXTENSION 123 DENHAM ST</b>		Status: <b>MCU</b>	Checked By:
							Project No: <b>AMF23524</b>	Drawing No.: <b>BA /01</b>
05	11/10/2023	MCU APPLICATION (SITE 850 M2)						
REV ID	Transmittal Set Date	DESCRIPTION						



SITE DATA

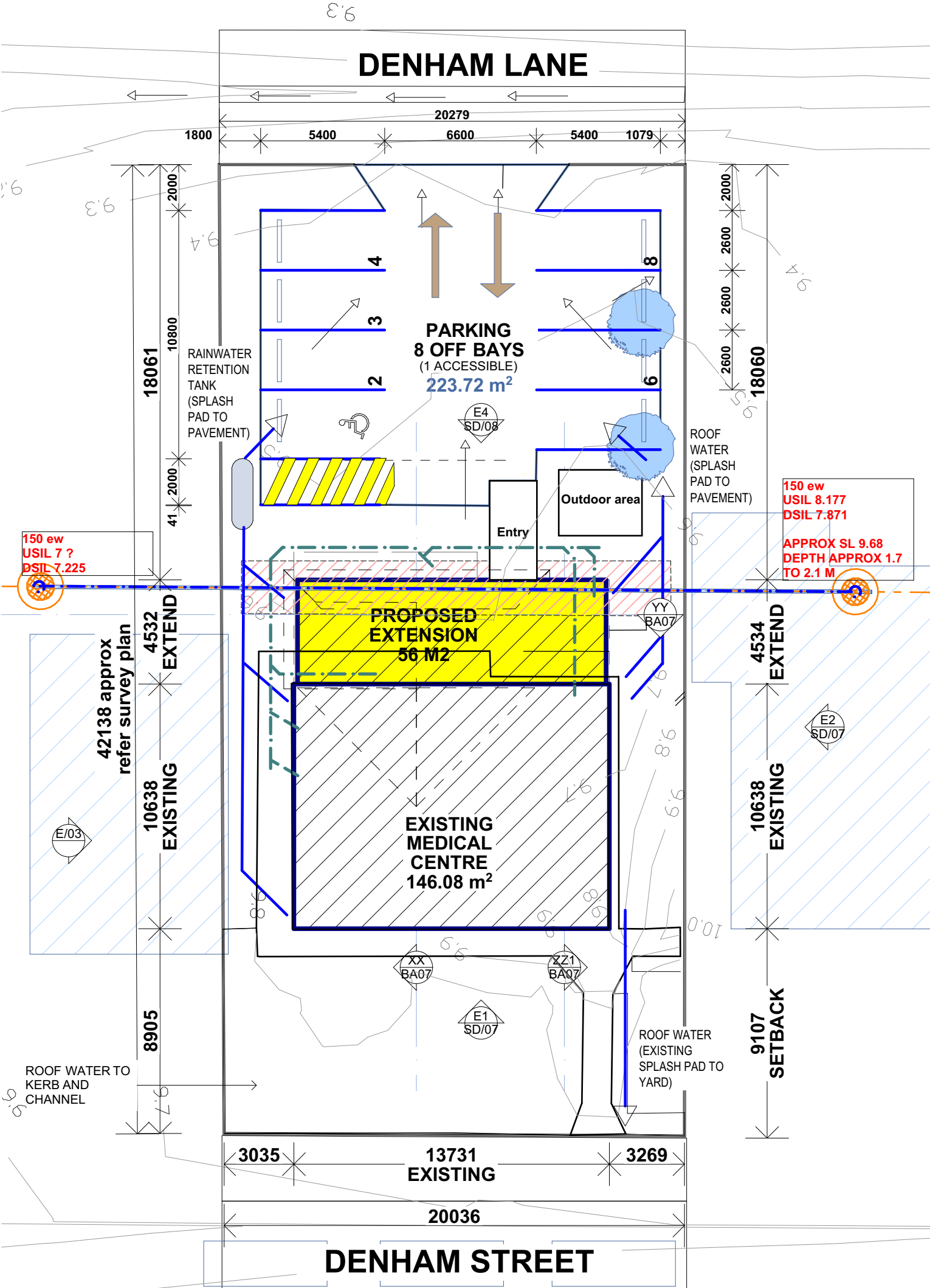
123 DENHAM ST ALLENSTOWN QLD 4700  
LOT 24 RP600323  
SITE AREA 850 M2 approx  
CURRENT USE, MEDICAL CENTRE

BUILDING DATA

MEDICAL CENTRE & OFFICE  
CLASS 6  
EXISTING 146 M2  
PROPOSED EXTENSION 56M2  
TOTAL GFA 202 M2  
SITE COVER 25% APPROX

DRIVEWAY AREA 225 M2 APPROX

PARKING  
1/25 REQUIRED, 8 REQUIRED  
8 PROVIDED



REV	Date	DESCRIPTION
05	11/10/2023	MCU APPLICATION (SITE 850 M2)
04	25/08/2023	MCU APPLICATION
03	4/08/2023	PRE DEVELOPMENT MEETING

DIMENSIONS  
USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES

APPROVED

CHECKED

DRAWN

DESIGN

AMF Building Design  
Mailing Address  
262 Grubb St  
Koongal QLD 4701  
andrew@amfbuildingdesign.com.au  
0423 375 400

QBCC No 1068756  
ABN 22143 527 198  
all projects  
residential,commercial,industrial

BUILDING DESIGN

PROJECT

PROPOSED EXTENSION

FOR

Central Queensland

Respiratory Diagnostics

AT

123 DENHAM ST

ALLENSTOWN QLD 4700

JOB No.

AMF23524

DWG/REV.

05

Building Plans

BA /02



HEALTH AND AMENITY

VENTILATION TO ALL WC AND BATHROOMS TO AS1668. TOILET DOORS OR FULLY ENCLOSED SANITARY COMPARTMENTS MUST SWING OUTWARDS OR SLIDE OR BE REMOVABLE FROM THE OUTSIDE IN ACCORDANCE WITH BCA 3.8.3.3

EXIT SIGNS & EMERGENCY LIGHTING

PROVIDE ILLUMINATED EXIT SIGNS & LIGHTING TO COMPLY WITH SECT. E4.2 & E4.7 OF THE BCA AND AS2293 PART 1. IN ACCORDANCE WITH THE ELECTRICAL ENGINEER'S DRAWINGS.

EXTINGUISHERS

PROVIDE FIRE EXTINGUISHERS APPROPRIATE TO THE LOCATION IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE SECT. E1.6 AND AS 2444.

MECHANICAL VENTILATION

PROVIDE A MECHANICAL VENTILATION SYSTEM TO AREAS GENERALLY AND A SEPARATE SYSTEM TO ALL AMENITIES, SECTION F4.5 OF THE NATIONAL CONSTRUCTION CODE AND AS 1668.2 & AS/NZ 3666.1. INACCORDANCE WITH MECHANICAL ENGINEER'S DRAWINGS. PROVIDE SOUND AND FIRE RATED ACCESS PANELS IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE REQUIREMENTS. DUCTS/RISERS SHALL BE IN ACCORDANCE WITH BCA SECT. C3.12, C3.13, C3.15.

PLASTERBOARD

PLASTERBOARD CEILINGS AND WALL LININGS SHALL BE INSTALLED IN ACCORDANCE WITH AS 2785 AND THE MANUFACTURER'S SPECIFICATIONS AND DETAILS. SUSPENDED CEILING SYSTEM SHALL BE A PROPRIETARY SYSTEM SUCH AS THE 'RONDO' KEY-LOCK SYSTEM AND ALL PLASTERBOARD ON EXTERNAL BLOCK WALLS SHALL BE INSTALLED ON A PROPRIETARY STEEL FURRING CHANNEL SYSTEM.

PLUMBING AND DRAINAGE

- CONNECT SEWERAGE AND STORMWATER IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
- FLOOR WASTES ARE SHOWN INDICATIVE ONLY AND SHOULD BE CONFIRMED BY PLUMBER ONSITE TO CONFORM WITH LOCAL AUTHORITY REQUIREMENTS.
- PLUMBER TO COORDINATE FLOOR WASTE WITH TILING CONTRACTORS PREFERRED TILE LAYOUT

WATERPROOFING

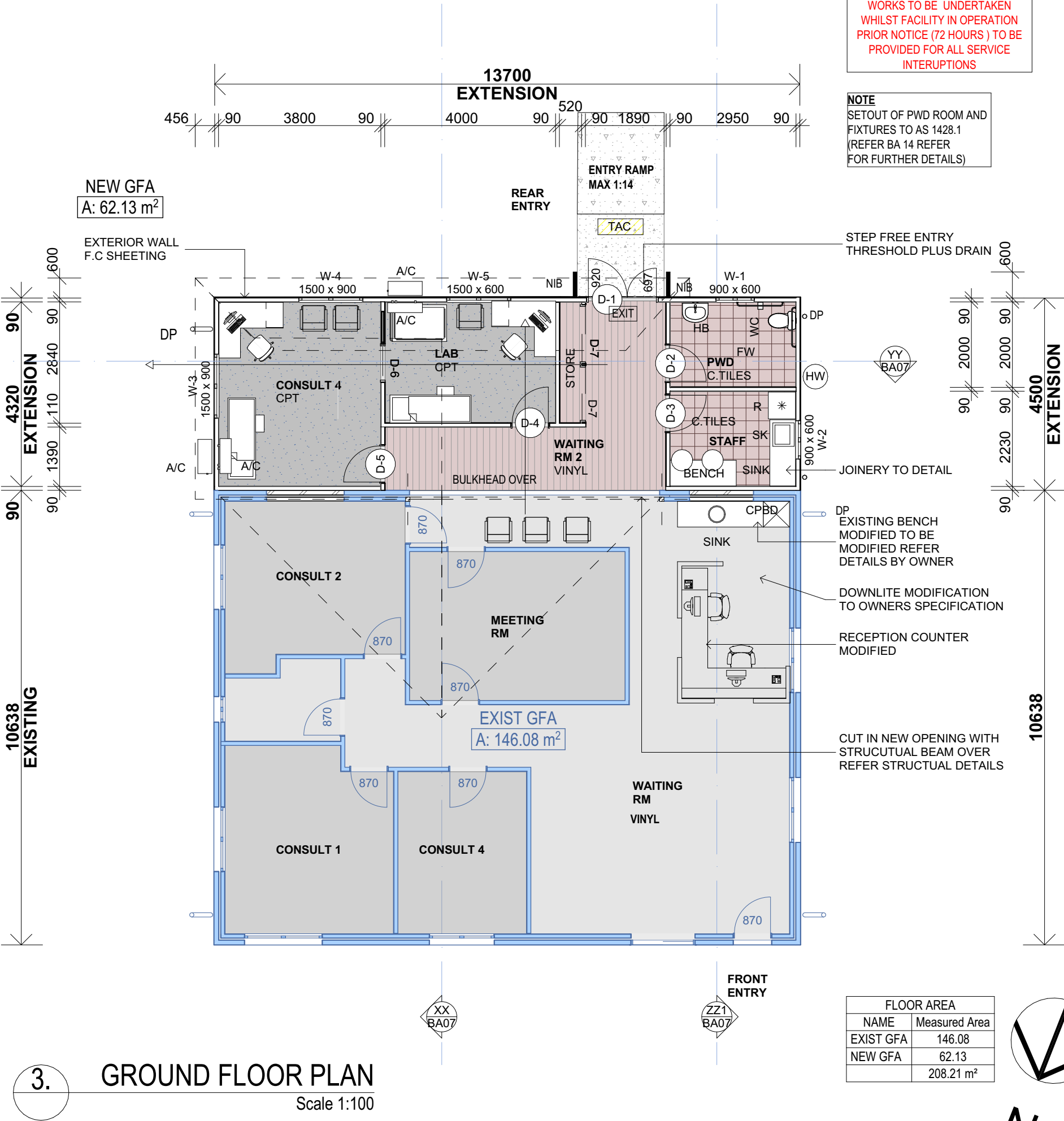
- ALL TIMBER FRAMED WALL TO WET AREAS TO BE LINED WITH WATERPROOF CLADDING.
- ALL WATERPROOFING WORKS TO BE CARRIED OUT BY A QUALIFIED PROFESSIONAL AND COMPLIANCE CERTIFICATES SUPPLIED UPON COMPLETION.
- FLOORS TO ALL WET AREAS TO HAVE ADEQUATE FALLS TO A FLOOR WASTE.

TERMITES

TERMITE MANAGEMENT SYSTEM BCA 3.1.3 THE PRIMARY BUILDING ELEMENT OF THIS PROPOSED DWELLING MUST BE CONSTRUCTED OF A MATERIAL THAT COMPLY WITH THE BCA THAT ARE NOT AFFECTED BY TERMITES. ANY TIMBER BEING USED MUST BE NATURALLY TERMITE RESISTANT TIMBER OR PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS3660.1. PROVIDE A STICKER TO THE METER BOX AND THE KITCHEN CUPBOARD STATING THE BUILDING ELEMENTS ARE PROTECTED TO COMPLY WITH THE BCA 3.1.3 AND AS3660.1

SMOKE ALARMS

SMOKE ALARMS IN THE DWELLING MUST: BE PHOTOELECTRIC (AS3786-2014); AND NOT ALSO CONTAIN AN IONISATION SENSOR; AND BE HARDWIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (I.E. BATTERY); AND BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER.





Legend

BC	BARGE CAPPING
DP	DOWNPIPE
DP/S	DOWNPIPE WITH SPREADER
EG	EAVES GUTTERING
HC	HIP CAPPING
MRS	METAL ROOF SHEETING
PC	PARAPET CAPPING
RC	RIDGE CAPPING
V	VALLEY FLASHING

ROOF NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT
2. ALL ROOF PLAN DIMENSIONS ARE TO OUTSIDE OF STUD WALL UNLESS OTHERWISE NOTED
3. WALL FRAMING, TIEDOWN & BRACING, ROOF FRAMING & TRUSS DESIGN CONSTRUCTION TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS
4. SITE CLASSIFICATION ... REFER TO ENGINEERS DESIGN FOR THIS ALLOTMENT
5. ALL ROOF SHEETING, FASCIAS, GUTTERS & DOWNPIPES TO BUILDERS SPECIFICATION TO COMPLY WITH NCC CODE REQUIREMENTS PART 3.5.2.4

ROOF NOTES

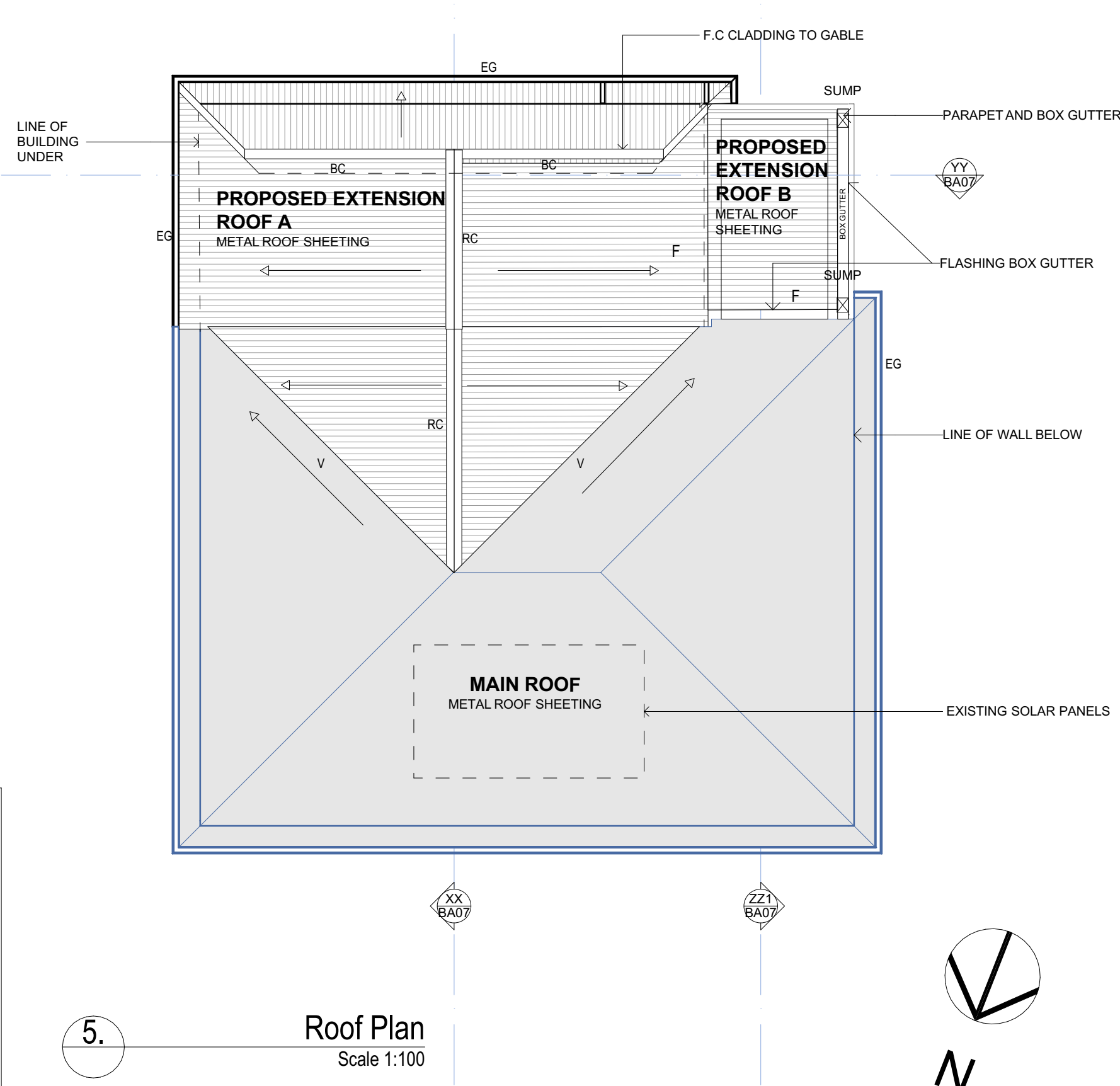
STORMWATER

AS PER BCA Table 3.5.2.1 & 3.5.2.2 GUTTER AND DOWNPIPE SELECTION

RAINFALL INTENSITY      ROCKHAMPTON QLD  
1/20 EVENT 228 MM/HR  
ROOF AREA TO BE LESS THAN 40M2  
TYPE A OR D GUTTER SIZE

ACCEPTABLE.

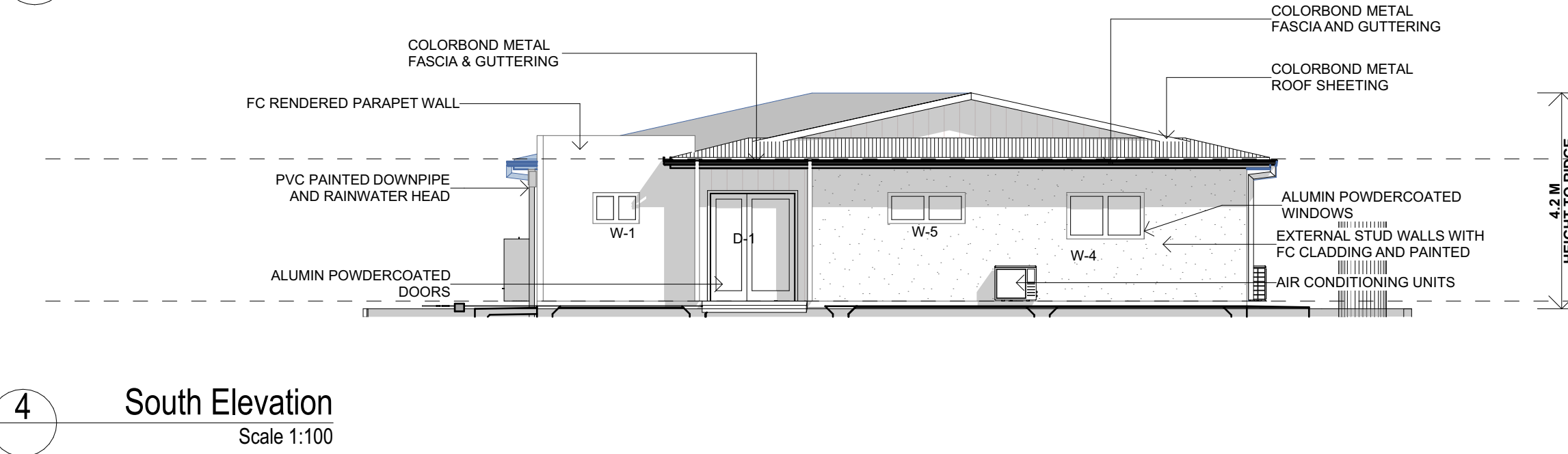
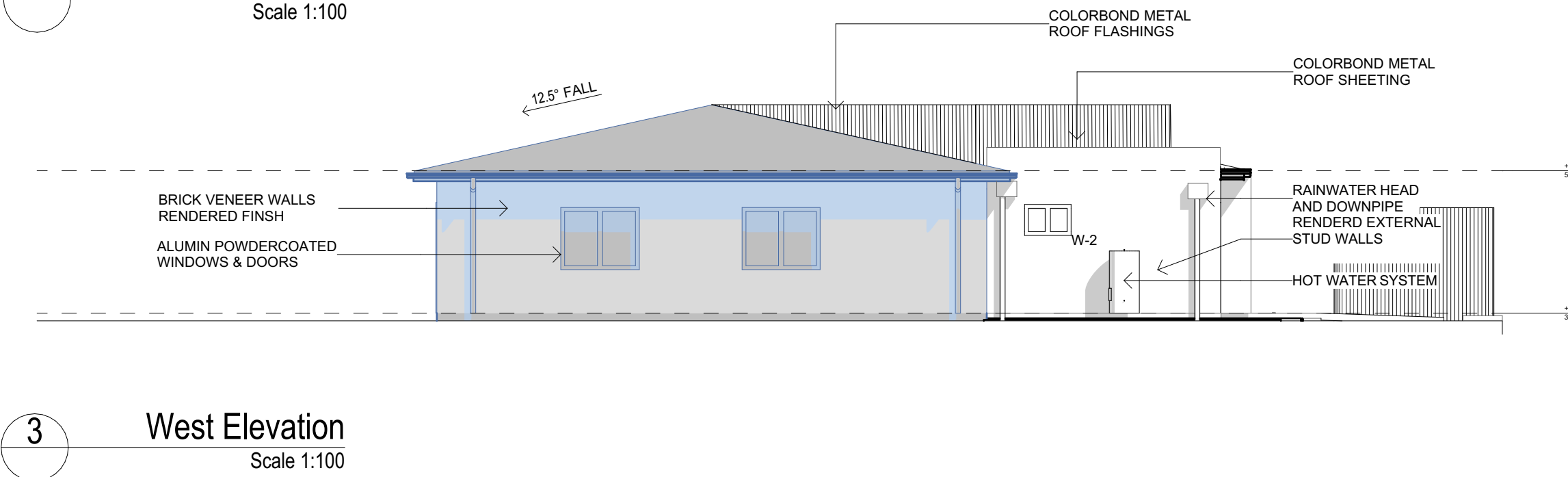
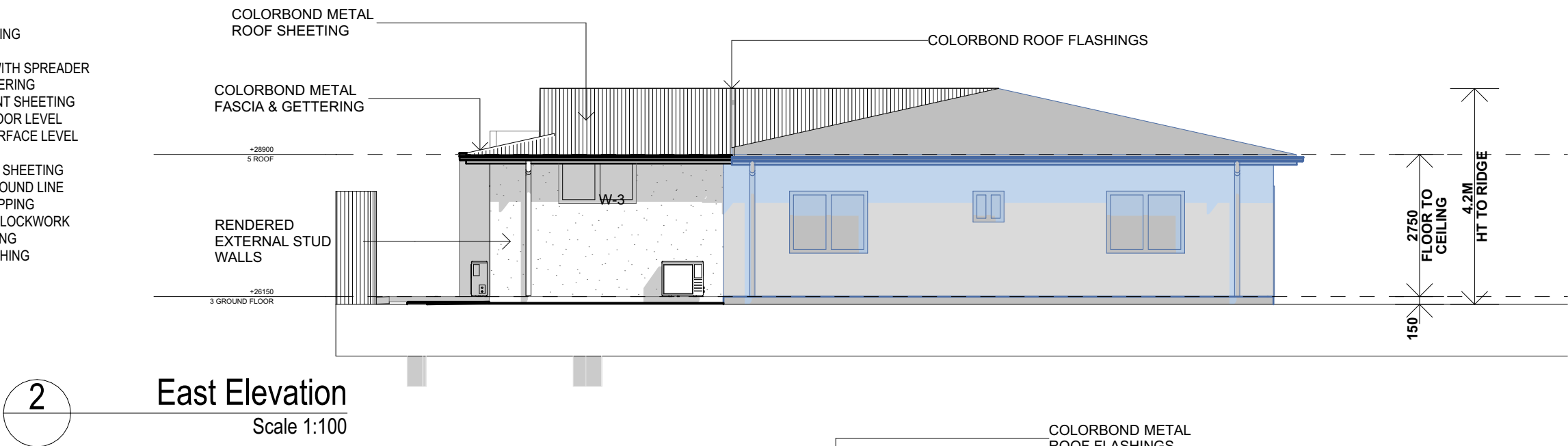
- A)      MEDIUM RECTANGULAR GUTER 6500MM2 CROSS AREA  
OR  
D)      125MM D GUTTER 6300MM2 CROSS AREA




REV	Date	DESCRIPTION
05	11/10/2023	MCU APPLICATION (SITE 850 M2)
04	25/08/2023	MCU APPLICATION
03	4/08/2023	PRE DEVELOPMENT MEETING
DIMENSIONS USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES		
APPROVED		
CHECKED		
DRAWN		AMF
DESIGN		AMF
<div>AMF Building Design Mailing Address 262 Grubb St Koongal QLD 4701 andrew@amfbuildingdesign.com.au 0423 375 400</div> <div>QBCC No 1068756 ABN 22143 527 198 all projects residential,commercial,industrial</div> <div> BUILDING DESIGN</div>		
PROJECT <b>PROPOSED EXTENSION</b> FOR <b>Central Queensland</b> <b>Respiratory Diagnostics</b> AT <b>123 DENHAM ST</b> <b>ALLENSTOWN QLD 4700</b>		
JOB No.		<b>AMF23524</b>
DWG/REV. <b>05</b>		<b>Building Plans</b> <b>BA /04</b>

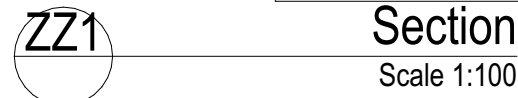


- Legend**
- BC BARGE CAPPING
  - DP DOWNPIPE
  - DP/S DOWNPIPE WITH SPREADER
  - EG EAVES GUTTERING
  - FC FIBRE CEMENT SHEETING
  - FFL FINISHED FLOOR LEVEL
  - FSL FINISHED SURFACE LEVEL
  - HC HIP CAPPING
  - MRS METAL ROOF SHEETING
  - NGL NATURAL GROUND LINE
  - PC PARAPET CAPPING
  - R.BLK RENDERED BLOCKWORK
  - RC RIDGE CAPPING
  - V VALLEY FLASHING



REV	Date	DESCRIPTION
05	11/10/2023	MCU APPLICATION (SITE 850 M2)
04	25/08/2023	MCU APPLICATION
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DIMENSIONS USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES		
APPROVED		
CHECKED		
DRAWN		AMF
DESIGN		AMF
<div>AMF Building Design Mailing Address 262 Grubb St Koongal QLD 4701 andrew@amfbuildingdesign.com.au 0423 375 400</div> <div>QBCC No 1068756 ABN 22143 527 198 all projects residential,commercial,industrial</div> <div>amf BUILDING DESIGN</div>		
PROJECT <b>PROPOSED EXTENSION</b> FOR <b>Central Queensland Respiratory Diagnostics</b> AT <b>123 DENHAM ST ALLENSTOWN QLD 4700</b>		
JOB No.		<b>AMF23524</b>
DWG/REV. <b>05</b>	<b>Building Plans BA /05</b>	





**DIMENSIONS**  
USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE  
DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE  
PRIOR TO CONSTRUCTION OR FABRICATION. IT  
REMAINS THE CONTRACTORS RESPONSIBILITY TO  
ENSURE COMPLIANCE WITH ALL RELEVANT CODES  
AND REGULATIONS IS MAINTAINED AT ALL TIMES

AMF Building Design  
Mailing Address  
262 Grubb St  
Koongal QLD 4701  
andrew@amfbuildingdesign.com.au  
0423 375 400

QBCC No 1068756  
ABN 22143 527 198  
all projects  
residential, commercial, industrial



DWG/REV. <b>05</b>	<b>Building Plans</b> <b>BA /06</b>
-----------------------	--





PERSPECTIVE VIEW

			<div>Mailing Address 262 Grubb St Koongal QLD 4701 andrew@amfbuildingdesign.com.au 0423 375 400</div> <div>QBCC No 1068756 ABN 22143 527 198 all projects residential,commercial,industrial</div> <div></div>	<div>Client Central Queensland Respiratory Diagnostics</div> <div>Project Name PROPOSED EXTENSION 123 DENHAM ST</div>	<div>Drawing Title:</div> <div>Building Plans Images</div>	Scale: <b>As shown</b>	Date: <b>MAY 2023</b>
						Status: <b>MCU</b>	Checked By:
						Project No:	Drawing No.:
05	11/10/2023	MCU APPLICATION (SITE 850 M2)				<b>AMF23524</b>	<b>BA /15</b>
REV ID	Transmittal Set Date	DESCRIPTION					





## **Appendix C – Site Information**

- SmartMap & QLD Globe Image;
- Current Title Search; and
- Survey Plan RP600323.

**Application on behalf of MSK Health Care Investments Pty Ltd.**

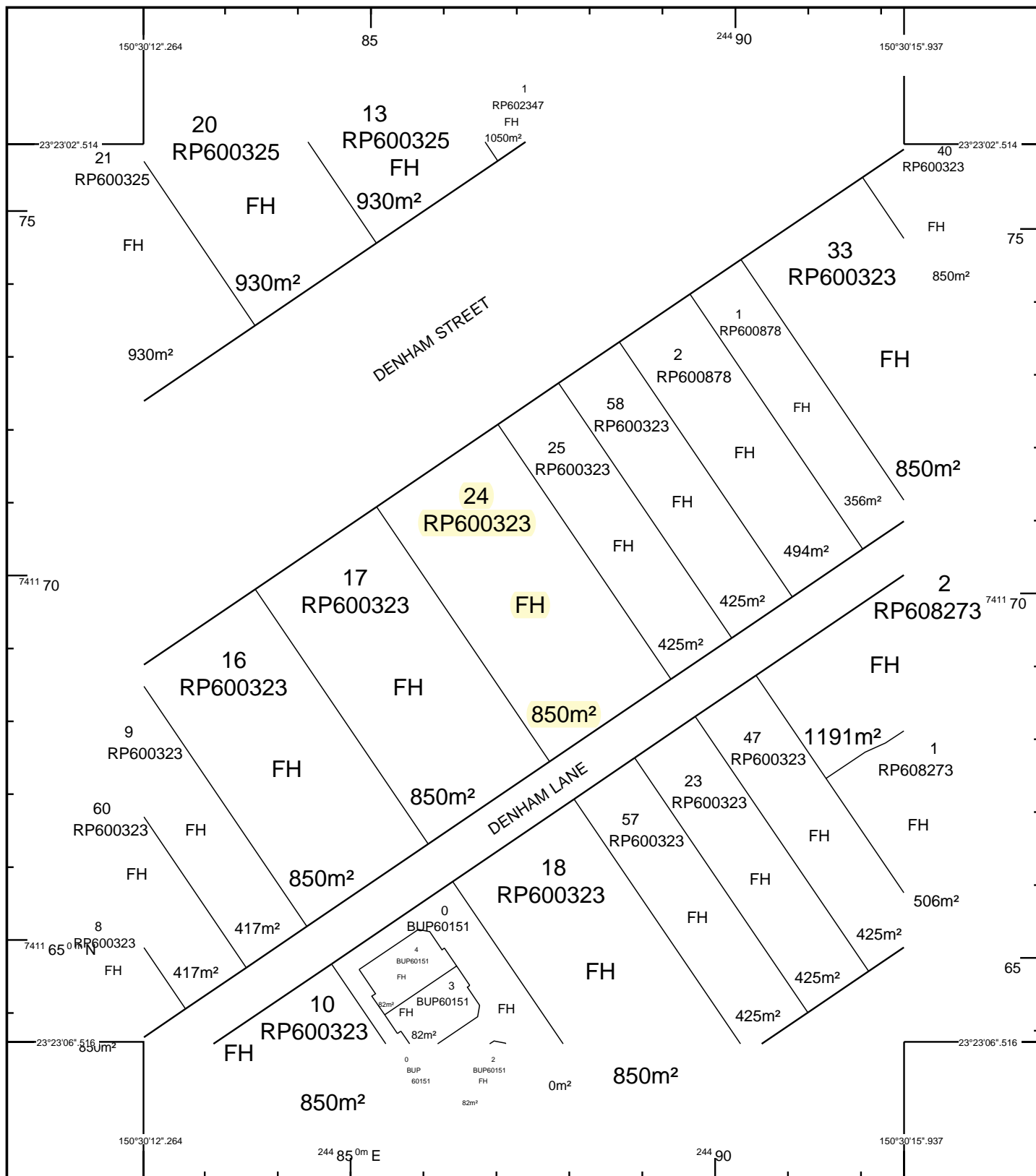
**December 2023**

**GSPC**

**Ref: 231277**







STANDARD MAP NUMBER  
9051-33444

0 15 30 45 60 75 m  
HORIZONTAL DATUM:GDA94 ZONE:56 SCALE 1 : 750

MAP WINDOW POSITION &  
NEAREST LOCATION



#### SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	24/RP600323
Area/Volume	850m²
Tenure	FREEHOLD
Local Government	ROCKHAMPTON REGIONAL
Locality	ALLENSTOWN
Segment/Parcel	39115/74

#### CLIENT SERVICE STANDARDS

PRINTED 21/08/2023

DCDB 20/08/2023

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For further information on SmartMap products visit  
<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

**SmartMap**

An External Product of  
SmartMap Information Services

Based upon an extraction from the  
Digital Cadastral Data Base



**Queensland  
Government**

(c) The State of Queensland,  
(Department of Resources) 2023.





Lot 24 on RP600323

123 Denham Street, Allenstown, QLD

23°23'2"S 150°30'11"E



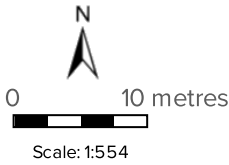
23°23'2"S 150°30'17"E



23°23'7"S 150°30'11"E

23°23'7"S 150°30'17"E

Legend located on next page



Printed at: A3  
Print date: 21/8/2023

Not suitable for accurate measurement.  
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit <https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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# Lot 24 on RP600323

123 Denham Street, Allenstown, QLD

## Legend

- Land parcel
- Parcel
- Land parcel - gt 1 ha
- Parcel
- Land parcel - gt 10 ha
- Parcel
- Land parcel - gt 1000 ha
- Parcel
- Land parcel label
- 
- Land parcel label - gt 1 ha
- 
- Land parcel label - gt 10 ha
- 
- Land parcel label - gt 1000 ha
- 
- Places: Land parcel
- 24RP600323
- Cities and Towns
- 

- Road Crossing
- Bridge
- Tunnel
- Road
- Highway
- Main
- Local
- Private
- Railway
- 

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© State of Queensland (Department of Resources) 2023



Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b>	<b>30185067</b>	<b>Search Date:</b>	18/07/2023 10:10
<b>Date Title Created:</b>	14/10/1938	<b>Request No:</b>	45080830
<b>Previous Title:</b>	30183248, 30183249		

#### ESTATE AND LAND

Estate in Fee Simple

LOT 24 REGISTERED PLAN 600323  
Local Government: ROCKHAMPTON

#### REGISTERED OWNER

Dealing No: 720670992 23/03/2021  
MSK HEALTH CARE INVESTMENTS PTY LTD A.C.N. 646 275 792

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 19502019 (ALLOT 1 SEC 84)
2. MORTGAGE No 720670993 23/03/2021 at 09:11  
MEDFIN AUSTRALIA PTY LIMITED A.C.N. 070 811 148

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*



Subs. 31<sup>a</sup>, 31<sup>b</sup>, 34<sup>a</sup> & Res. of Sub. 26 See Plan No. 82738.  
Sub 4 See Plan 16456

1589145 LOT 22

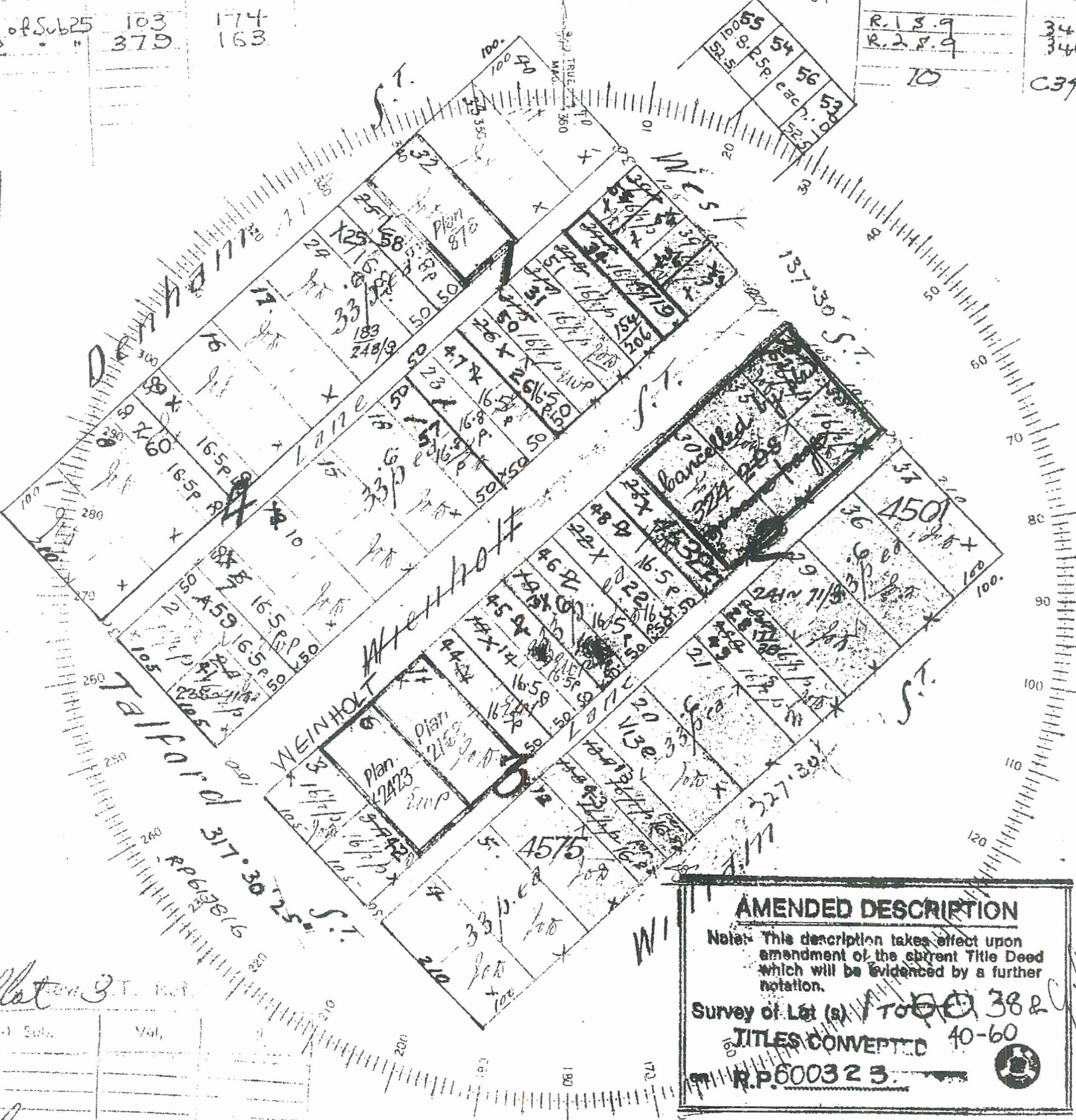
New C.T. Ref. Allot. 4

(Re) Sub.	Vol.	Fol.
40	C356	174
	432	200
Resub. of Sub 25	103	174
" 2 "	375	163

Lot 15 see I.S. 92228  
Lot 15 see BUP 60151  
Lot 1 see IS 96453  
Lot 1 see GTP 60101

Sub.	Vol.	Fol.
R.A.S.7	31	169
R.B.S.7	31	173
R.1.S.9	345	174
R.2.S.9	346	175
10	C348	102-105

For Additional Plan & Document Notings Refer to CISP



allot

(Re) Sub.	Vol.	Fol.
Sub 5	405	80

**AMENDED DESCRIPTION**  
Notar: This description takes effect upon amendment of the current Title Deed which will be evidenced by a further notation.  
Survey of Lot (s) 1 to 40 & 38 & 40-60  
TITLES CONVERTED  
R.P.600323

SCALE 2 chains to an inch.

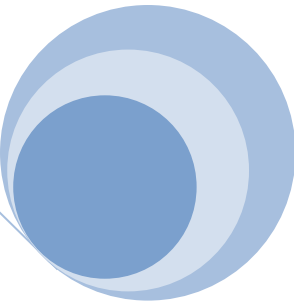
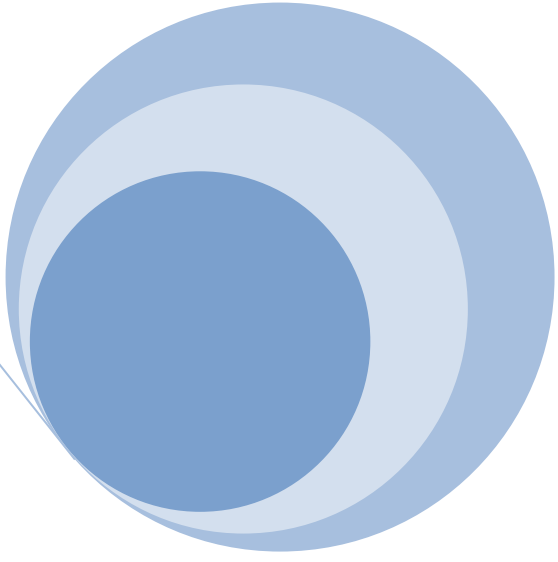
As proprietor of this land, I agree to this plan of subdivision.

Signature of Proprietor } R. J. Brown & M. George

**SURVEY**  
OF SUBDIVISIONS 1 to 40  
OF ALLOTMENT OR PORTION No. 1, 2, 3, 4  
OF SECTION 84  
COUNTY of Devon  
CITY of Exeter  
PARISH of St. Martin  
Cat. No. 11 288 793  
323 P 297

600323





## **Appendix D – Site Mapping**

- Contour and Council's Services plan;
- Ergon Energy Services plan; and
- NBN and Telstra Plan.

**Application on behalf of MSK Health Care Investments Pty Ltd.**

**December 2023**

**GSPC**

**Ref: 231277**

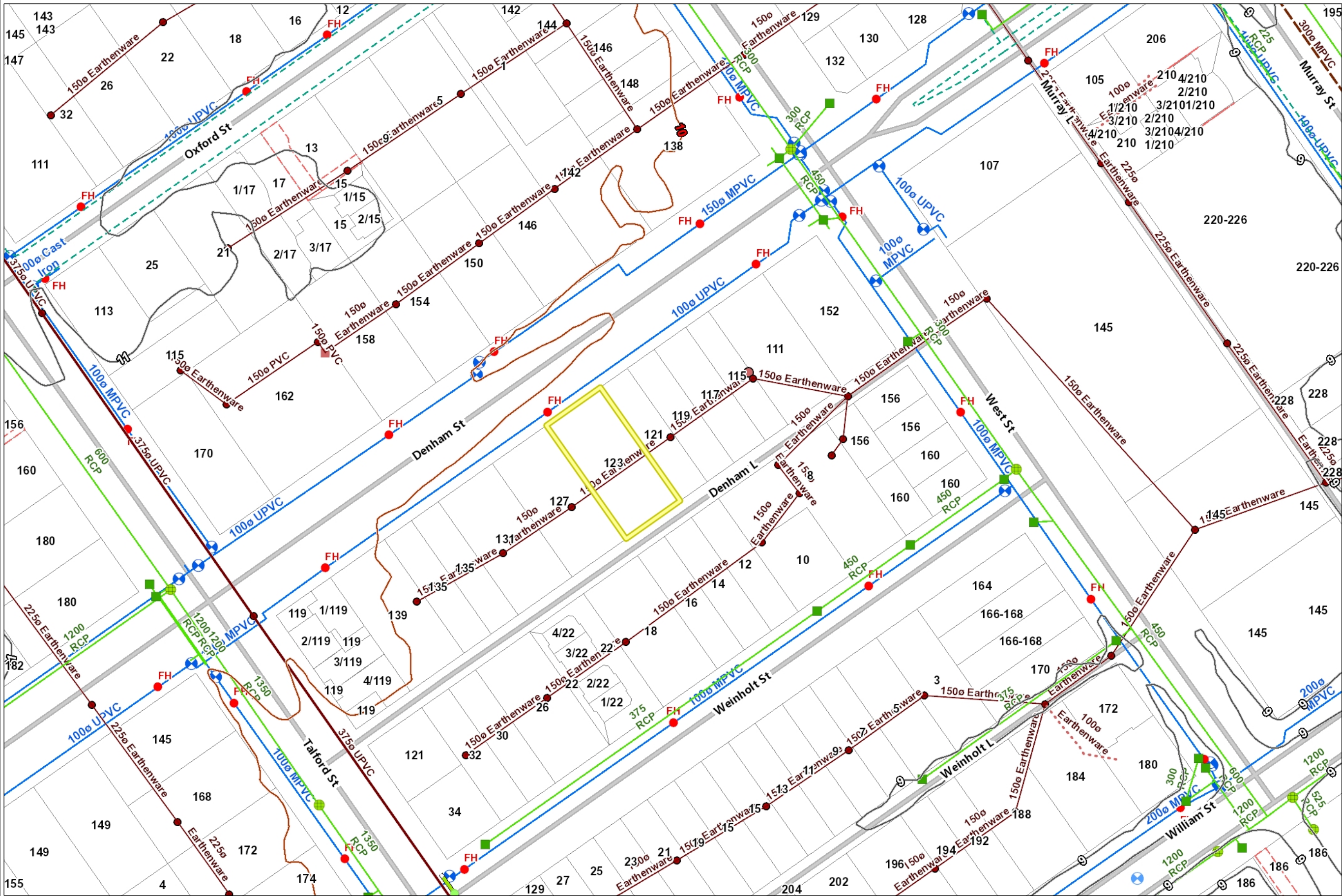






Legend

- 1m Intervals
- Major
- Basic
- Not Available
- Stormwater Main Labels
- Junctions Labels
- Culverts
- Stormwater Junctions
- Inlets
- Access Chambers
- Stormwater Pipes
- Open Channel
- Mains
- Culvert Pipes
- Inter-allotment
- Other
- Subsoil pipes
- Subsoil Clean Out pits
- Sewer Gravity Mains
- Combined Main
- Reticulation Main
- Trunk Main
- Sewer Rising Mains
- Sewer Access Chambers
- Access Chambers
- Roll Over
- Lamp Hole | Inspection Opening
- Overflow Chambers
- Not Available
- Hydrants
- Water Valves
- Other Valve Type
- Gate, Sluice, Butterfly
- Air Valve
- Ball Cock, Stop Cock
- Ball Valve
- Motor Sluice Valve
- Non Return Valve
- Pressure Reducing Valve
- RPZ Valve
- Reflux Valve
- Scour Valve
- Sluice Bypass Valve
- Tap
- Water Mains
- Other Main Type
- Trunk Main
- Reticulation Main
- Raw Water Main
- Scour Line
- RRC Mask
- Roads1
- Main roads
- Major council roads
- Standard council roads
- Access roads
- Private roads
- Easements
- Property Parcels
- Ocean
- Rivers
- DCDB Parks
- CQ LGA Boundaries







# BYDA SYMBOLOLOGY LEGEND

	Cross Bonding Link Box - <b>Critical</b>		Planned Cross Bonding Link Box - New/Updated
	Disconnect Box - <b>Critical</b>		Planned Cross Bonding Link Box - Remove
	Ring Main Unit		Planned Disconnect Box - New/Updated
	Distribution Pad Substation		Planned Disconnect Box - Remove
	Earth		Planned Distribution Pad Substation - New/Updated
	Remote Earth		Planned Distribution Pad Substation - Remove
	Cable Marker		Planned Distribution Ground Substation - New/Updated
	Handhole		Planned Distribution Ground Substation - Remove
	Manhole		Planned Ring Main Unit - New/Updated
	Commercial Industrial Pillar		Planned Ring Main Unit - Remove
	Distribution Cabinet		Planned Earth - New/Updated
	Link Pillar		Planned Earth - Remove
	Service Pillar		Planned Cable Marker - New/Updated
	Feeder Pillar		Planned Cable Marker - Remove
	Pole		Planned Remote Earth - New/Updated
	Streetlight Column		Planned Remote Earth - Remove
	Communication Junction Pillar		Planned Underground Warning Post - New/Updated
	Communication Pit		Planned Underground Warning Post - Remove
	Fibre Patch Panel		Planned Pilot Cubicle - New/Updated
	Pilot Cubicle		Planned Pilot Cubicle - Remove
	Underground Asset 33kV and above		Planned Fibre Patch Panel - New/Updated
	Underground Asset below 33kV		Planned Fibre Patch Panel - Remove
	Underground Conduit with or without cable		Planned Commercial Industrial Pillar - New/Updated
	Pit		Planned Commercial Industrial Pillar - Remove
	Communication Boundary		Planned Distribution Cabinet - New/Updated
	Reserve (RE)		Planned Distribution Cabinet - Remove
	Water Resource (WR)		Planned Link Pillar - New/Updated
	Cadastral Parcels		Planned Link Pillar - Remove
	Planned Jointing Pit - New/Updated		Planned Service Pillar - New/Updated
	Planned Jointing Pit - Remove		Planned Service Pillar - Remove
	Planned Communication Boundary - New/Updated		Planned Pole - New/Updated
	Planned Communication Boundary - Remove		Planned Pole - Remove
	Planned Tunnel/Trench/Bore - New/Updated		Planned Manhole - New/Updated
	Planned Tunnel/Trench/Bore - Remove		Planned Manhole - Remove
			Planned Streetlight Column - New/Updated
			Planned Streetlight Column - Remove
			Planned Handhole - New/Updated
			Planned Handhole - Remove
			Planned Communication Junction Pillar - New/Updated
			Planned Communication Junction Pillar - Remove



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ERGON ENERGY BYDA map, then ERGON ENERGY shall be contacted immediately.

For Emergency Situations  
please call 13 16 70

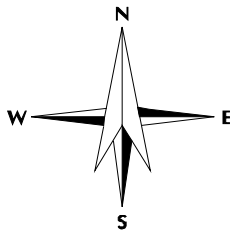


Sequence: 228594697  
Date: 21/08/2023

Scale: 1:1025  
**OVERVIEW**

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Ergon Energy nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

This output provides details of the ERGON ENERGY electrical network. As variations map exist no responsibility is incurred by ERGON ENERGY for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ERGON ENERGY BYDA map, then ERGON ENERGY shall be contacted immediately.

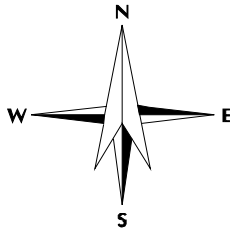
For Emergency Situations  
please call 13 16 70



Sequence: 228594697  
Date: 21/08/2023  
Scale: 1:500  
Tile No: 1

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



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This output provides details of the ERGON ENERGY electrical network. As variations map exist no responsibility is incurred by ERGON ENERGY for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ERGON ENERGY BYDA map, then ERGON ENERGY shall be contacted immediately.

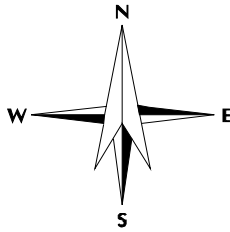
For Emergency Situations  
please call 13 16 70



Sequence: 228594697  
Date: 21/08/2023  
Scale: 1:500  
Tile No: 2

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan




**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Ergon Energy nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

This output provides details of the ERGON ENERGY electrical network. As variations map exist no responsibility is incurred by ERGON ENERGY for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.



**To:** Bristi Basak  
**Phone:** Not Supplied  
**Fax:** Not Supplied  
**Email:** bristi@gspc.com.au

<b>Dial before you dig Job #:</b>	34874739	 <b>DIAL BEFORE YOU DIG</b> <small>www.1100.com.au</small>
<b>Sequence #</b>	228594698	
<b>Issue Date:</b>	21/08/2023	
<b>Location:</b>	123 Denham St , Allenstown , QLD , 4700	

## Indicative Plans



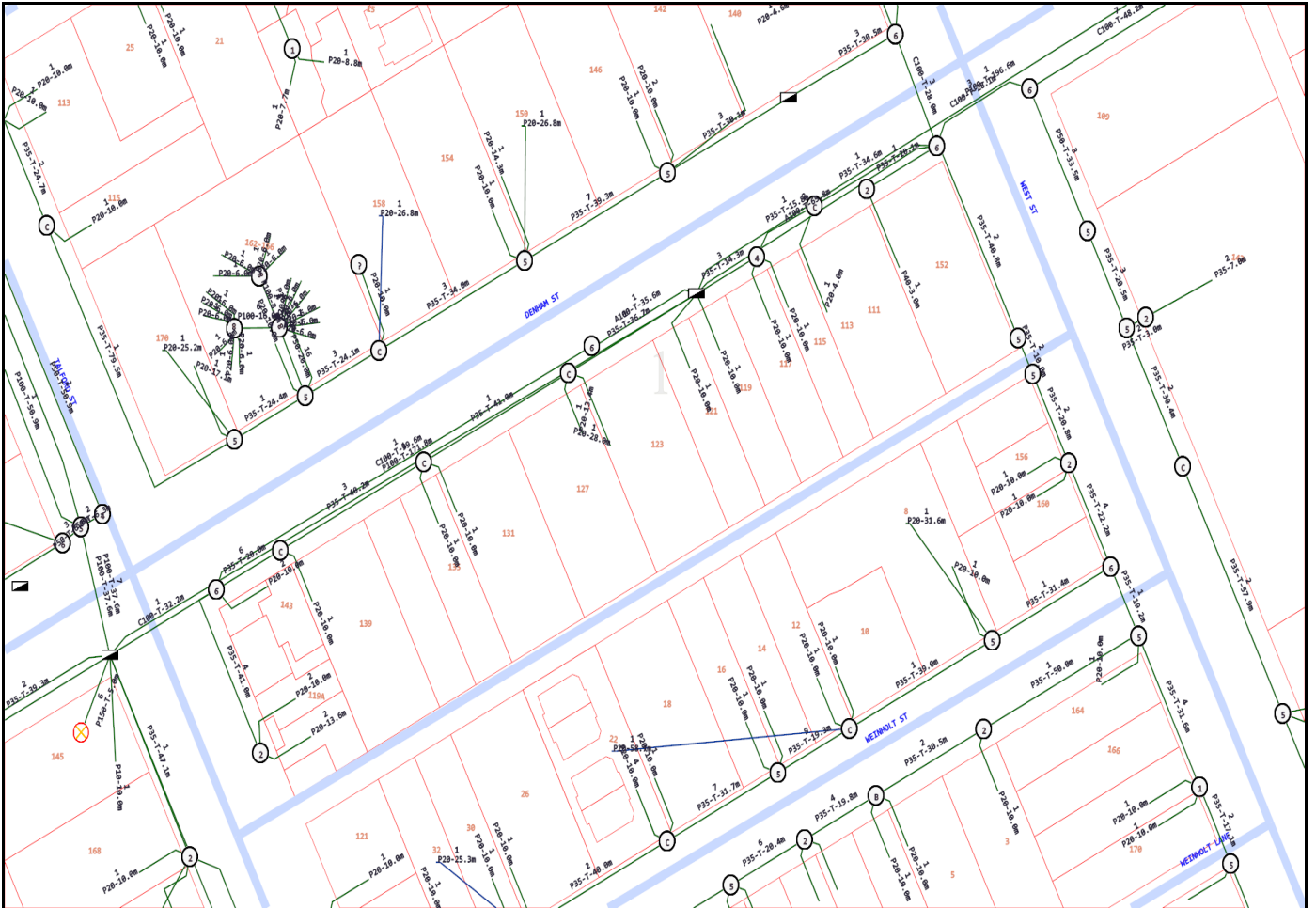


## LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000  1 cm equals 20 m





## Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.





## OPENING ELECTRONIC MAP ATTACHMENTS -

Telstra Cable Plans are generated automatically in either PDF or DWF file types dependant on the site address and the size of area selected. You may need to download and install free viewing software from the internet e.g.



### PDF Map Files (max size A3)

Adobe Acrobat Reader ( <http://get.adobe.com/reader/> ),



### DWF Map Files (all sizes over A3)

Autodesk Viewer (Browser) ( <https://viewer.autodesk.com/> ) or

Autodesk Design Review ( <http://usa.autodesk.com/design-review/> ) for DWF files.  
(Windows)



### Telstra DBYD map related enquiries

email - [Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)

1800 653 935 (AEST Business Hours only)



### REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY

Report online - <https://www.telstra.com.au/forms/report-damage-to-telstra-equipment>

Ph: 13 22 03

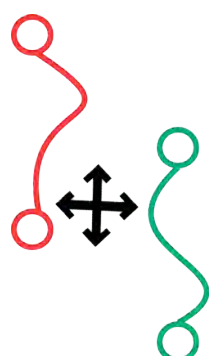
If you receive a message asking for a phone or account number say:

"I don't have one" then say "Report Damage" then press 1 to speak to an operator.



### Telstra New Connections / Disconnections

13 22 00



**Telstra asset relocation enquiries:** 1800 810 443 (AEST business hours only).

[NetworkIntegrity@team.telstra.com](mailto:NetworkIntegrity@team.telstra.com)

<https://www.telstra.com.au/consumer-advice/digging-construction>

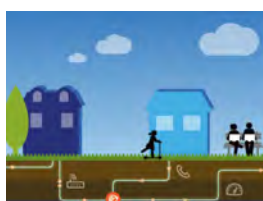
Certified Locating Organisation (CLO)

<https://dbydlocator.com/certified-locating-organisation/>



DBYDCertification

Please refer to attached Accredited Plant Locator.pdf



### Telstra Smart Communities

Information for new developments (developers, builders, homeowners)

<https://www.telstra.com.au/smart-community>



# LEGEND

IT'S HOW  
WE CONNECT

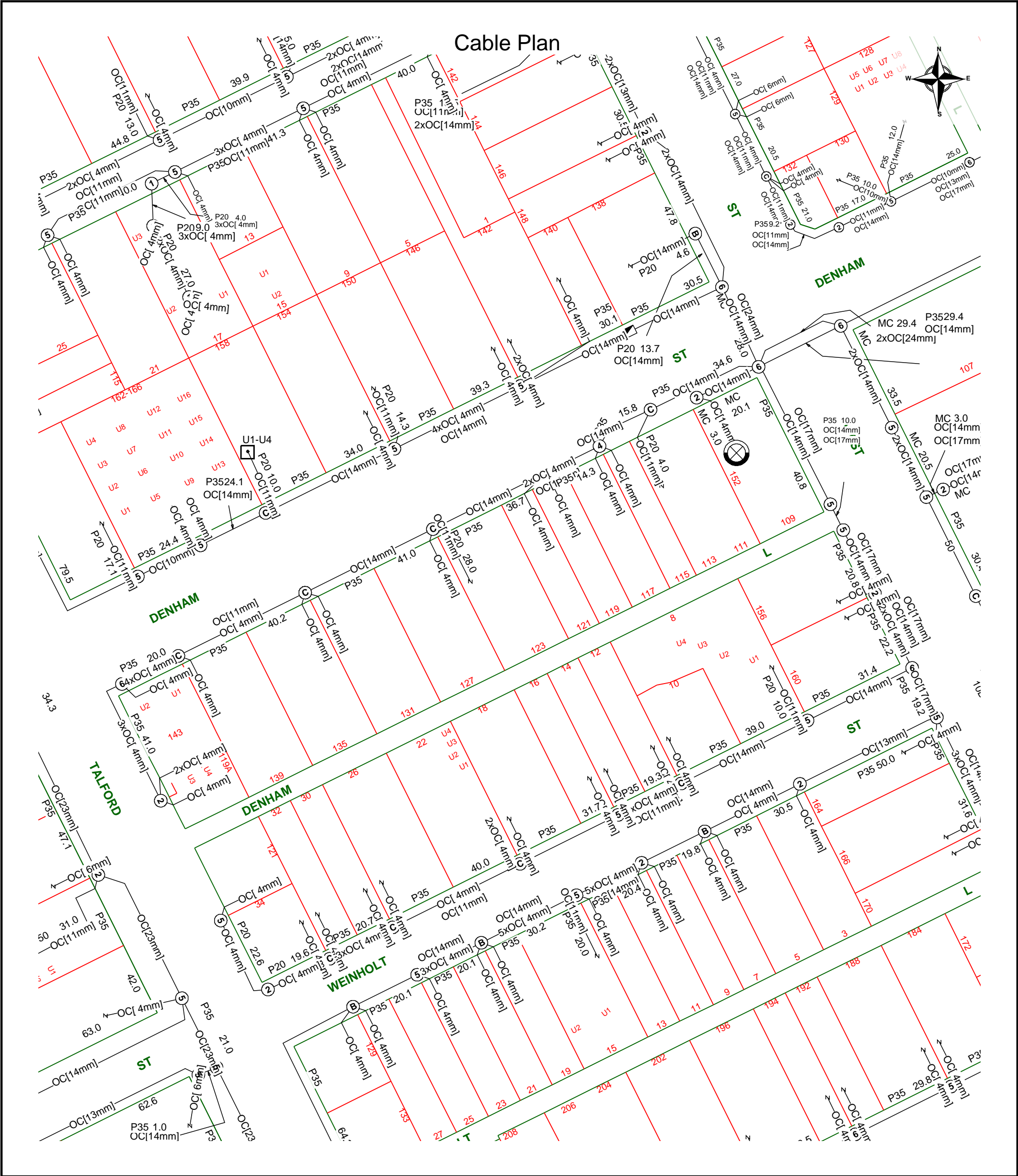



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935

	Exchange (Major Cable Present)		Cable Jointing Pit (number / Letter indicating Pit Type)
	Footway Access Chamber (can vary from 1-lid to 12-lid)		Elevated Joint (above ground joint on buried cable)
	Pillar / Cabinet (above ground / free standing)		Telstra Plant in shared Utility trench
	Above ground complex equipment housing (eg RIM) Please Note: This equipment is powered by 240V Electricity		Aerial Cable / Overhead (includes on wall)
	Other Carrier Telecommunications Cable/Asset		Aerial Cable (attached to joint Use Pole eg. Power)
	Distribution cables in Main Cable ducts		Direct Buried Cable
	Main Cable ducts on a Distribution plan Blocked or damaged duct.		Marker Post Installed
	Roadside / Front Boundary 2 pair lead-in to property from pit in street 1		Buried Transponder
	pair working (pair ID 059) 1 pair dead (i.e. spare, not connected)		Marker Post, Transponder
	Side / Rear Property Boundary Property Number		Optical Fibre cable direct buried
	Single to multiple round conduit Configurations 1.2.4.9 respectively (attached text denotes conduit type and size)	<div>Some examples of conduit type and size:  A - Asbestos cement, P - PVC / Plastic, C - Concrete, GI - Galanised iron, E - Earthenware Conduit sizes <i>nominally</i> range from 20mm to 100mm P50 50mm PVC conduit P100 100mm PVC conduit A100 100mm asbestos cement conduit</div>	
	Multiple square conduit Configurations 2, 4, 6 respectively (attached text denotes conduit type and size)		
Some Examples of how to read Telstra Plans			
	-50- 10 30 P50 20.0	One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable between two 6-pits. approximately 20.0m apart, with a direct buried 30-pair cable along the same route	
	C100 P100 245.0	Two separate conduit runs between two footway access chambers (manholes) approximately 245m apart A nest of four 100mm PVC conduits (P100) containing assorted cables in three ducts (one being empty) and one empty 100mm concrete duct (C100)	

**WARNING:** Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.





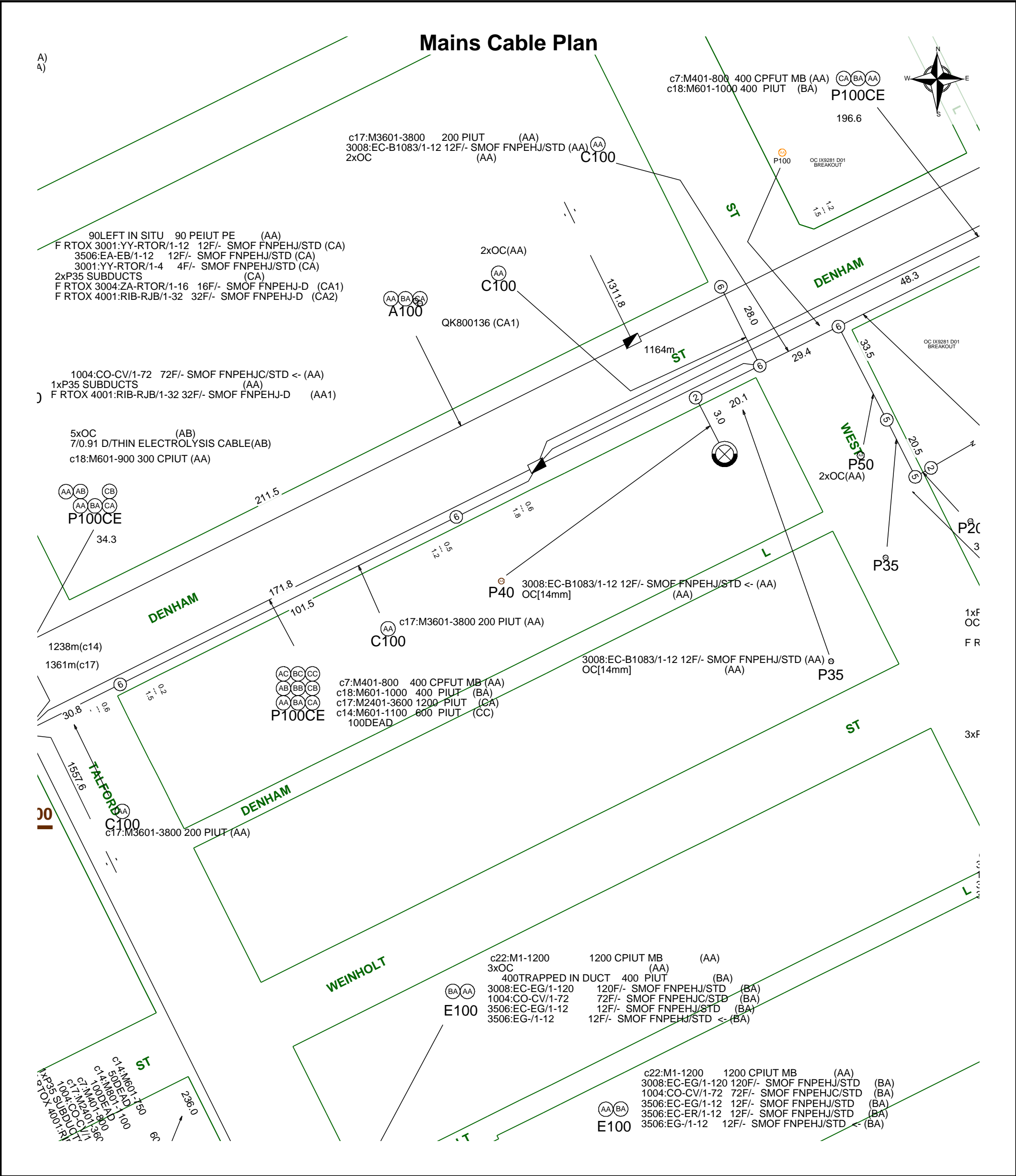
	<p>Report Damage: <a href="https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment">https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment</a> Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries</p>	<p>Sequence Number: 228594700</p> <p><b>CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.</b></p>
<p>TELSTRA LIMITED A.C.N. 086 174 781</p> <p>Generated On 21/08/2023 10:59:34</p>		


The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

**WARNING**  
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.





	Report Damage: <a href="https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment">https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment</a> Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 228594700
	TELSTRA LIMITED A.C.N. 086 174 781	<b>CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.</b>
	Generated On 21/08/2023 10:59:37	

**WARNING**  
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.



A decorative graphic featuring three concentric blue circles of varying sizes. Two smaller circles are positioned in the upper right quadrant, and a larger circle is in the lower right quadrant. Thin blue lines intersect the circles and extend across the page.

## **Appendix E – Stormwater Management Report and Plan**

- Stormwater Management Report and Plan prepared by Dileigh Consulting Engineers Pty Ltd.

**Application on behalf of MSK Health Care Investments Pty Ltd.**

**December 2023**

**GSPC**

**Ref: 231277**



2023



**PROPOSED BUILDING WORKS - EXTENSIONS  
123 DENHAM STREET, ROCKHAMPTON  
LOT 24 RP600323**

## **STORMWATER MANAGEMENT REPORT**

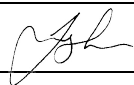
**FOR CENTRAL QUEENSLAND RESPIRATORY DIAGNOSTICS**

D23.281-RP01



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3.2 Discharge Flow Management.....	5
3.3 Stormwater Quality Management.....	6
4. Conclusion .....	6
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Document Status					
Rev No.	Author	Reviewer	Approved For Issue		
			Name	Signature	Date
A	T. Lau	A. Lucas	Tony Lau RPEQ 19272		05/10/2023



## 1. Introduction

This report was prepared for Central Queensland Respiratory Diagnostics, in support of a proposed development (Extensions) on L24 RP600323 at 123 Denham Street, Rockhampton. This report should be read in conjunction with the overall application for Material Change of Use. The proponent is seeking approval to develop the lot with an extension to the existing building and carparking works.

The site is located within the built-up Rockhampton inner city limits where most surrounding lots are developed. Denham Street has been constructed with Kerb and Channel (K&C) and underground stormwater infrastructure. Refer Appendix A for drawings denoting the type, size and location of existing services.

## 2. Existing Stormwater Conditions

The site is approximately 850m<sup>2</sup> in area and is currently developed with an office building and carport surrounded by grass and garden beds. Roof water is discharged directly onto the ground within the lot. Overland flows generally discharge from site to Denham Lane and are captured by existing stormwater infrastructure in West Street.

As per the Capricorn Municipal Development Guidelines (CMDG) and the Queensland Urban Drainage Manual (QUDM), the Rational Method was used to determine the pre and post development flows.

According to the Rockhampton Regional Council (RRC) online mapping, the land is currently zoned as being for *Low-Medium Density Residential* use. According to the CMDG, Table D05.06.1, the fraction impervious value for *Low-Medium Density Residential* use should be 0.6 for undeveloped sites. However, as the site is already developed, pre-development runoff will be calculated using the existing site conditions, at the time of this report.

The existing fraction impervious was determined to be 0.29 and pre-development flows have been calculated based on the average 1.23% slope of the main flow path and average grassed surface of the existing site. An overall time of concentration ( $T_c$ ) of 16 minutes has been adopted in accordance with QUDM Figure 4.4 with a  $C_{10}$  value of 0.734 in accordance with QUDM Table 4.5.4.

Friends Equation (Eq 4.5) - Shallow overland sheet flow				
L	Surface	n	S	$T_c$
m		Manning's	%	minutes
42.425	Average Grassed	0.045	1.23	16



Discharges for a range of events for both actual pre-development conditions and assumed pre-development conditions based on council information were calculated using  $Q_y = F \cdot C_y \cdot I_y \cdot A$ .

PRE-DEVELOPMENT CASE							
Development Area		0.085 ha				Fi	0.29
Event AEP	C	I	A	Q		$t_{10}$ (mm/hr)	65.1
%	coefficient	mm/hr	ha	m <sup>3</sup> /s		TC (minutes)	16
63.2	0.587	80	0.0850	0.0111		C <sub>10</sub>	0.734
50	0.624	89	0.0850	0.0131		From QUDM Table 4.5.3	
20	0.697	118	0.0850	0.0194			
10	0.734	138	0.0850	0.0239			
5	0.770	159	0.0850	0.0289			
2	0.844	187	0.0850	0.0372			
1	0.880	210	0.0850	0.0436			

### 3. Post Developed Site Flows and Management

#### 3.1 Post Developed Flows

The proposed development increases the fraction impervious from 0.29 to 0.65 based on the following additional impervious areas. Refer also, to the proposed layout plans in Appendix A.

Post-Development Fi			
Total Area		850	m <sup>2</sup>
Existing Impervious Area (Roof Area)		250	m <sup>2</sup>
Additional Impervious Area	Extension	63	m <sup>2</sup>
	Carpark & Access (Concrete)	237	m <sup>2</sup>
Fraction Impervious		0.65	

The post-development time of concentration was calculated taking the different surface conditions into account in accordance with QUDM Figure 4.4 with a C<sub>10</sub> value of 0.813 in accordance with QUDM Table 4.5.4. It has been assumed that post-development site levels will be generally in keeping with existing levels.

Friends Equation (Eq 4.5) - Shallow overland sheet flow				
L	Surface	n	S	tc
m		Mannings	%	minutes
20	Average Grassed	0.045	1.23	12.53
22.245	Paved	0.015	1.23	4.33
			Total	16.85



Based on these revised values, discharges for a range of events were calculated using  $Q_y = F * C_y * I_y * A$ .

POST-DEVELOPMENT CASE						
Development Area		0.085 ha				Fi
Event AEP	C	I	A	Q		<sup>1</sup> I <sub>10</sub> (mm/hr)
%	coefficient	mm/hr	ha	m <sup>3</sup> /s		TC (minutes)
63.2	0.650	78	0.0850	0.0119		C <sub>10</sub>
50	0.691	86	0.0850	0.0141		0.813
20	0.772	114	0.0850	0.0208		From QUDM Table 4.5.3
10	0.813	134	0.0850	0.0257		
5	0.854	154	0.0850	0.0310		
2	0.935	182	0.0850	0.0402		
1	0.976	204	0.0850	0.0470		

When compared with the existing pre-developed total site flows, we note an increase in flow for all recurrence intervals. Refer table below.

COMPARISON OF UNTREATED FLOWS			
Event AEP	Pre-Development	Post-Development	Change
%	m <sup>3</sup> /s	m <sup>3</sup> /s	%
63.2	0.0111	0.0119	7.78%
50	0.0131	0.0141	7.83%
20	0.0194	0.0208	7.07%
10	0.0239	0.0257	7.62%
5	0.0289	0.0310	7.35%
2	0.0372	0.0402	7.87%
1	0.0436	0.0470	7.67%

## 3.2 Discharge Flow Management

It is proposed to mitigate the increase in stormwater runoff by retaining roofwater from the proposed extension, as well as the adjacent section of existing roof in a 3,000L rainwater tank. Roofwater will discharge from the tank, directly onto the ground and sheet flow to Denham Lane.

The tank detention will reduce the post developed 20% AEP discharge to 0.0188m<sup>3</sup>/s (a 0.0006m<sup>3</sup>/s decrease on pre-developed flows) and post developed 1% AEP discharge to 0.04535m<sup>3</sup>/s (a 0.0001m<sup>3</sup>/s decrease on pre-developed flows). See tables below and drawings in Appendix A for further detail of the relevant roofwater catchments and tank arrangement.

PARTIAL ROOF FLOWS TO TANK						
Development Area		0.0118 ha				Fi
Event AEP	C	I	A	Q		<sup>1</sup> I <sub>10</sub> (mm/hr)
%	coefficient	mm/hr	ha	m <sup>3</sup> /s		TC (minutes)
63.2	0.718	115	0.0118	0.0027		C <sub>10</sub>
50	0.763	128	0.0118	0.0032		0.898
20	0.853	170	0.0118	0.0048		From QUDM Table 4.5.3
10	0.898	200	0.0118	0.0059		
5	0.943	229	0.0118	0.0071		
2	1.000	268	0.0118	0.0088		
1	1.000	300	0.0118	0.0098		



COMPARING 20% AEP FLOWS POST TREATMENT			
PRE DEV.	0.0194	m <sup>3</sup> /sec	
POST DEV	0.0188	m <sup>3</sup> /sec	
EQUALS	3.27	% DECREASE IN MINOR FLOWS	

COMPARING 1% AEP FLOWS POST TREATMENT			
PRE DEV.	0.0436	m <sup>3</sup> /sec	
POST DEV	0.0435	m <sup>3</sup> /sec	
EQUALS	0.33	% DECREASE IN MAJOR FLOWS	

### 3.3 Stormwater Quality Management

Due to the size of the development (<2500m<sup>2</sup>), State Planning Policy Healthy Water has not been triggered.

No additional stormwater quality improvement devices (SQIDs) are proposed at this time.

## 4. Conclusion

The proposed development will increase the impervious area of the site and consequently, increase stormwater runoff. It is proposed to mitigate the increase in runoff with a 3,000L roofwater detention tank which outlets directly to the ground. Runoff from carpark areas will discharge from site as sheet flow to Denham Lane, then be captured into the existing stormwater piped network in West Street. To further enhance the use of water sensitive urban design principles, additional tanks may be provided to harvest stormwater for irrigation and other non-potable uses.

The Stormwater Management Plan (SMP) in Appendix A provides an acceptable solution to ensure the proposed development does not worsen the peak discharges and runoff volumes from the site as required by the *Rockhampton Region Planning Scheme's Stormwater Management Code*.

Tony Lau

Senior Engineer (RPEQ)

Dileigh Consulting Engineers Pty Ltd



## Appendix A – Stormwater Management Plan Drawings

Refer drawings D23.281-01 & D23.281-02, dated 05/10/2023 by Dileigh Consulting Engineers.





LEGEND

EO

S

43.5

EXISTING ELECTRICITY

EXISTING SEWER MAIN

EXISTING EDGE OF BITUMEN

EXISTING KERB AND CHANNEL

EXISTING CONTOUR

EXISTING PERVIOUS GRASS / GARDEN

EXISTING IMPERVIOUS PAVEMENT

EXISTING OVERLAND STORM WATER FLOW PATH

PRE-DEVELOPMENT CASE

Development Area					0.085 ha
Event AEP	C	I	A	Q	
%	coefficient	mm/hr	ha	m3/s	
63.2	0.587	80	0.0850	0.0111	
50	0.624	89	0.0850	0.0131	
20	0.697	118	0.0850	0.0194	
10	0.734	138	0.0850	0.0239	
5	0.770	159	0.0850	0.0289	
2	0.844	187	0.0850	0.0372	
1	0.880	210	0.0850	0.0436	

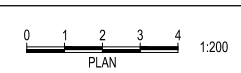
Fi	0.29
<sup>1</sup> I <sub>10</sub> (mm/hr)	65.1
TC (minutes)	16
C <sub>10</sub>	0.734

From QUDM Table 4.5.3

STORMWATER MANAGEMENT NOTES:

1.
2.
3.
4.
5.
- ALL CALCULATIONS CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND URBAN DRAINAGE MANUAL
- SITE CATCHMENT TAKEN FROM ACTUAL SITE AREAS USING ACTUAL FRACTION IMPERVIOUS AND AN ASSUMED 90% IMPERVIOUS ARE FOR THE REMAINDER OF LOT 48 ON SP 194997.
- RAINFALL INTENSITIES TAKEN FROM BUREAU OF METEOROLOGY RAINFALL IFD DATA SYSTEM
- CATCHMENTS N1 AND N4 DISCHARGE TO PROPOSED CHANNEL.
- CATCHMENTS N2 AND N3 DISCHARGE TO STORMWATER INLET IN ROAD RESERVE.

DATUM: HORIZ. GDA 20 VERT. AHD



FOR APPROVAL ISSUE

FOR CONSTRUCTION ONLY WITH COUNCIL APPROVAL

REV	REVISION DESCRIPTION	DATE
A	FOR APPROVAL	26/09/2023

DILEIGH

CIVIL / STRUCTURAL DESIGN & PROJECT MANAGEMENT

ACN 121 309 171  
47 Normanby Street  
Yeppoon, Queensland 4703

Phone: 07 49112553  
Fax: 07 49383660  
Email: admin@dileigh.com.au

DRAFTED	CZM
DESIGNED	CZM
CHECKED	TKTL
APPROVED	TONY LAU
RPEQ 19272	SIGN
05/10/2023	

CENTRAL QUEENSLAND RESRAITORY DIAGNOSTICS

STORMWATER MANAGMNT

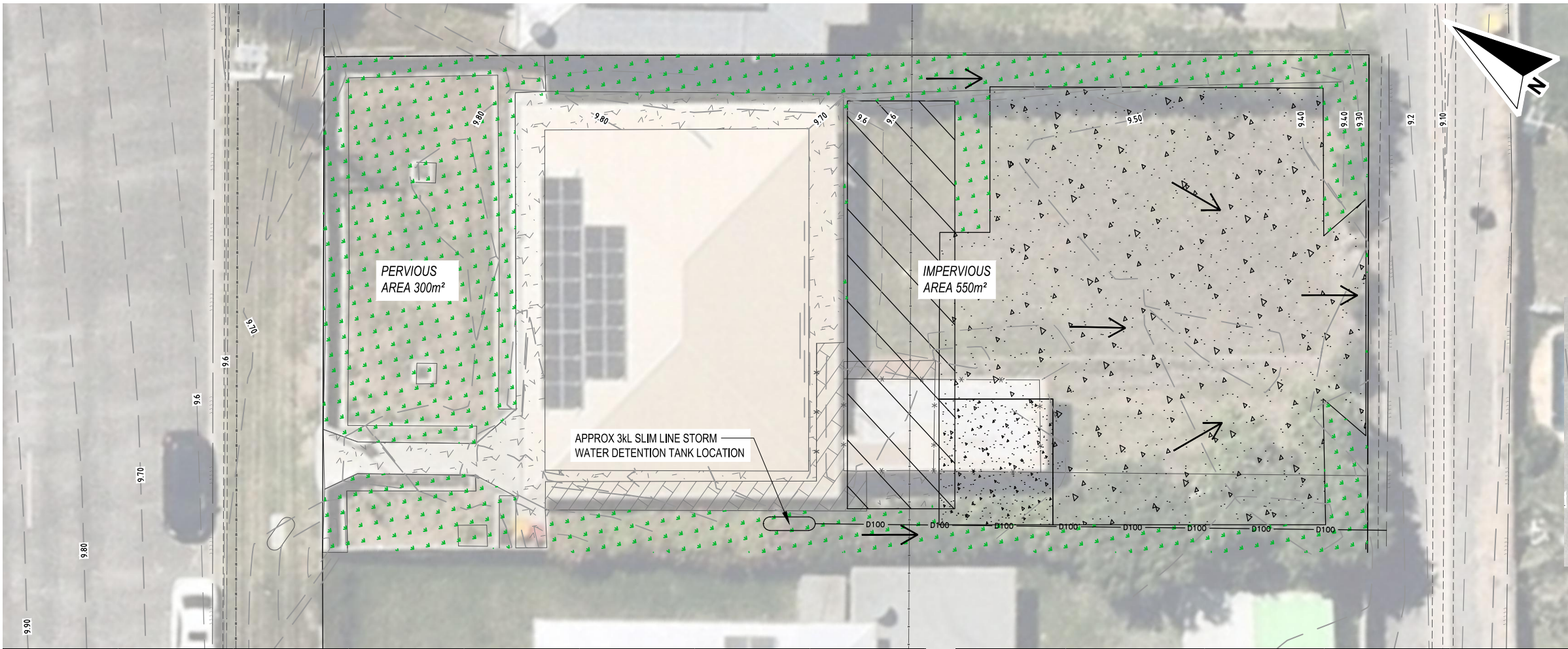
123 DENHAM STREET, ALLENSTOWN

PRE DEVELOPMET

LAYOUT PLAN & HYDRAOLOGY

DWG No.	D23.281-01
	CIVIL
REVISION	A





LEGEND

EO

EXISTING ELECTRICITY

S

EXISTING SEWER MAIN

EXISTING EDGE OF BITUMEN

EXISTING KERB AND CHANNEL

43.5

EXISTING CONTOUR

REMAINING PERVIOUS GRASS / GARDEN

EXISTING IMPERVIOUS PAVEMENT

PROPOSED IMPERVIOUS PAVEMENT

PROPOSED IMPERVIOUS ROOF

PROPOSED OVERLAND STORM WATER FLOW PATH

TANK CATCHMENT  
SCALE 1:750

POST-DEVELOPMENT CASE				
Development Area		0.085 ha		
Event AEP	C	I	A	Q
%	coefficient	mm/hr	ha	m3/s
63.2	0.650	78	0.0850	0.0119
50	0.691	86	0.0850	0.0141
20	0.772	114	0.0850	0.0208
10	0.813	134	0.0850	0.0257
5	0.854	154	0.0850	0.0310
2	0.935	182	0.0850	0.0402
1	0.976	204	0.0850	0.0470

Fi	0.65
<sup>1</sup> I <sub>10</sub> (mm/hr)	65.1
TC (minutes)	17
C <sub>10</sub>	0.813

From QUDM Table 4.5.3

COMPARING 1% AEP FLOWS POST TREATMENT			
PRE DEV.	0.0436	m3/sec	
POST DEV	0.0435	m3/sec	
EQUALS 0.33 % DECREASE IN MAJOR FLOWS			

1% AEP (20% AEP GAP FLOW) HYDROGRAPH FOR  
3,000L DETENTION TANK WITH 35mm OUTLET

STORMWATER MANAGEMENT NOTES:

- ALL CALCULATIONS CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND URBAN DRAINAGE MANUAL.
- DETENTION TANK CAPTURES UP TO A 5%AEP EVENT FROM CATCHMENTS C2 - C5 AND C6. 1%AEP GAP FLOWS ARE ASSUMED TO OVERTOP GUTTERS AND JOIN OVERLAND FLOWS OR BYPASS DRIVEWAY INLETS TO JOIN OVERLAND FLOWS. POST TREATMENT 5%AEP FLOWS AT POINT A INCLUDE DETAINED FLOWS FROM CATCHMENTS C2 - C6, AND UN-DETAINED FLOWS FROM C1.
- POST TREATMENT 1%AEP FLOWS AT POINT A INCLUDE DETAINED FLOWS UP TO A 5%AEP EVENT FROM CATCHMENTS C2 - C6, C2 - C3 ROOF GAP FLOWS AND UN-DETAINED FLOWS FROM C1. SEE SHEETS D15.152-03-04 FOR INTER ALLOTMENT, ROOF AND ALLOTMENT DRAINAGE PLAN

DETENTION TANK  
INLET DETAIL  
NOT TO SCALE

DETENTION TANK OUTLET DETAIL  
NOT TO SCALE

DETENTION TANK OUTLET - SPLASH PAD DETAIL  
NOT TO SCALE

DATUM: HORIZ. GDA 20 VERT. AHD

FOR APPROVAL ISSUE

FOR CONSTRUCTION ONLY WITH COUNCIL APPROVAL

REV	REVISION DESCRIPTION	DATE
A	FOR APPROVAL	26/09/2023

ACN 121 309 171  
47 Normanby Street  
Yeppoon, Queensland 4703  
Phone: 07 49112553  
Fax: 07 49383660  
Email: admin@dileigh.com.au

DRAFTED	CZM
DESIGNED	CZM
CHECKED	TKTL
APPROVED	TONY LAU
RPEQ 19272	SIGN
05/10/2023	

CENTRAL QUEENSLAND RESRAITORY DIAGNOSTICS  
STORMWATER MANAGMENT  
123 DENHAM STREET, ALLENSTOWN  
POST DEVELOPMENT  
LAYOUT PLAN, HYDROLODGY & DETAILS

DWG No.	D23.281-02
CIVIL	
REVISION	A



# Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT  
ASSESSMENT RULES

Application number:	<b>D/174-2023</b>	For further information regarding this notice, please contact:	Kathy McDonald
Date application properly made:	<b>13 December 2023</b>	Phone:	07 4936 8099

## 1. APPLICANT DETAILS

Name:	<b>MSK Health Care Investments Pty Ltd</b>		
Postal address:	<b>C/- GSPC PO BOX 379 GRACEMERE QLD 4702</b>		
Contact number:	(07) 4922 7033	Email:	<a href="mailto:admin@gspc.com.au">admin@gspc.com.au</a>

## 2. PROPERTY DESCRIPTION

Street address:	123 Denham Street, Allenstown
Real property description:	Lot 24 on RP600323

## 3. OWNER DETAILS

Name:	MSK Health Care Investments Pty Ltd
Postal address:	3 Henry St THE RANGE QLD 4700

## 4. DEVELOPMENT APPROVAL SOUGHT

**Development Permit for Material Change of Use for a Health Care Services (Extension)**

## 5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## 6. REFERRAL AGENCIES

**NIL**

## 7. IMPACT ASSESSMENT

Will Impact Assessment be required?	<b>YES</b>
The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:	
<ul style="list-style-type: none"> <li>- Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and</li> <li>- Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and</li> <li>- Giving a notice to all owners of any lots adjoining the premises which are the subject of the application.</li> </ul>	



## 8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

## 9. INFORMATION REQUEST

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

## 10. SUPERSEDED PLANNING SCHEME

Is the application to be assessed under a Superseded Planning Scheme?
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<b>NO</b>
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**You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.**

## 11. ASSESSMENT MANAGER

Name: <b>Kathy McDonald</b> <b><u>SENIOR PLANNING</u></b> <b><u>OFFICER</u></b>
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Signature:
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Date: 20 December 2023
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**Rockhampton Office**  
232 Bolsover St, Rockhampton  
**Gracemere Office**  
1 Ranger St, Gracemere  
**Mount Morgan Office**  
32 Hall St, Mount Morgan

10 January 2024

Our Reference: D/174-2023  
Enquiries: Kathy McDonald  
Telephone: 07 4936 8099

MSK Health Care Investments Pty Ltd  
C/- GSPC  
PO BOX 379  
GRACEMERE QLD 4702

Dear Sir/Madam

**DEVELOPMENT APPLICATION D/174-2023 FOR A MATERIAL CHANGE OF USE FOR HEALTH CARE SERVICES (EXTENSION) – SITUATED AT 123 DENHAM STREET, ALLENSTOWN – DESCRIBED AS LOT 24 ON RP600323**

Council refers to your development application lodged with Council on 8 December 2023. Council has determined that an Information Request is not required, and you may now proceed to the next stage under the Development Assessment Rules.

You are further advised that once Part 3: Information Request ends, Part 4: Public Notification starts. Public notification must be undertaken in accordance with the *Planning Act 2016* and as described in the Development Assessment Rules.

Should you have any queries in relation to the above, please contact the Development Advice Centre via email [developmentadvice@rrc.qld.gov.au](mailto:developmentadvice@rrc.qld.gov.au) or telephone (07) 4936 8099.

Yours faithfully

Kathy McDonald  
Acting Principal Planning Officer  
Planning and Regulatory Services