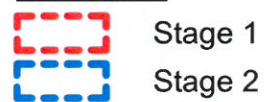




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LEGEND



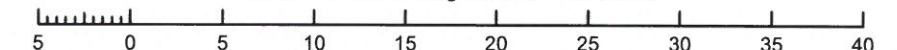
PROPOSAL NOTES

- Proposed Hardstand Area = 410m²
- Total Use Area = 1793m²
- Gross Floor Area (Office) = 42m²
- Car Park Dimensions = 2.4m x 5.4m
- Quantity of vehicles is indicative
- House on Lot 4 RP606200 to be removed
- Number of Staff = 2
- Hours of Operation = 8am to 5pm

*Proposed Use is not limited to vehicles as pictured in this Site Plan



Scale 1:400 - Lengths are in Metres.



Rev	Description	Drawn	Checked	Date
D	Introduction of Staging	TH	MF	30/10/2017
C	Proposed Office amended	AG	MF	29/09/2017
B	Hardstand area updated	TH	MF	27/07/17
A	Original Issue	TH	MF	19/07/17

This plan is prepared from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose. The title boundaries shown hereon were not marked by the author at the time of survey and have been determined by plan dimensions only and not by field measurement. Services shown hereon have been located where possible by field survey. If not able to be located, services may have been plotted from the records of relevant authorities where available. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services. This note is an integral part of this plan.

SITE PLAN

PROJECT: MCU - Outdoor Sales

LOCATION: 33-35 Brown St, Berserker

Real Property Description: Lot 3&4 on RP606200 & Lot 1 on RP602823

CLIENT: Mike Gorman

Horiz. Datum: N/A

Vert. Datum: N/A

Local Authority: Rockhampton Regional

Contour Interval: N/A



Airlie Beach | Mackay | Townsville | Rockhampton | Brisbane | Gold Coast

E : admin@visionsurveysqld.com.au

P : 13000VISION

Scale: 1 : 400 @ A3

Drawn: TH

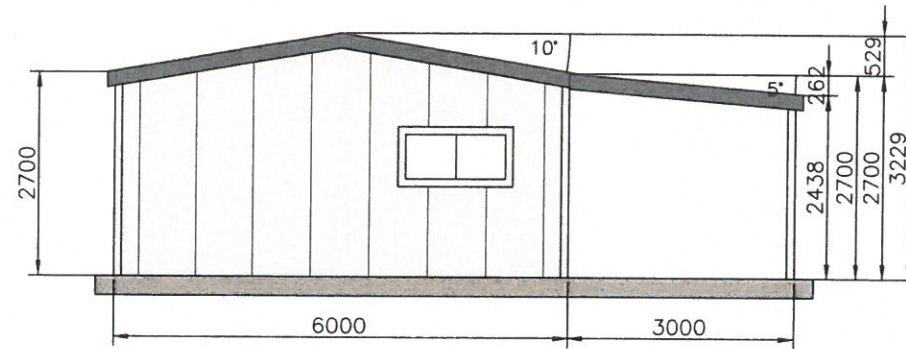
Surveyor: N/A

Drawing No: 17406-PP-01

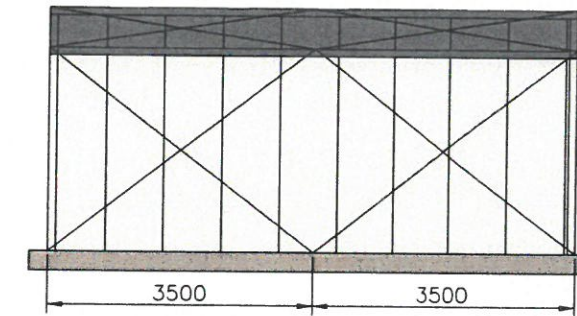
Sheet: 1 of 1

Revision: D

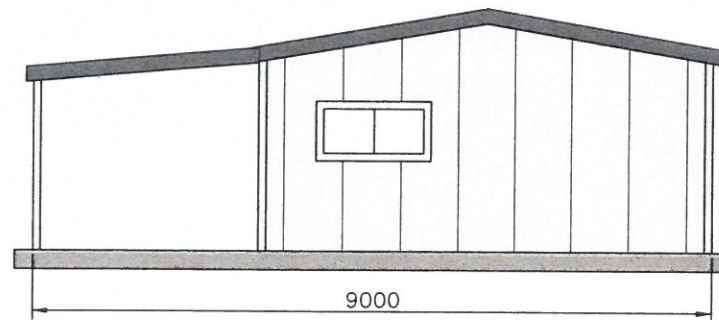
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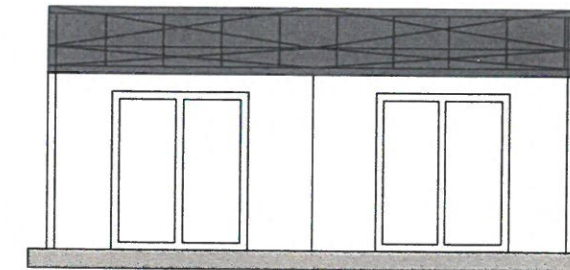
Front Elevation (External)



Left Elevation (Scale = 1:100)



Back Elevation (Scale = 1:100)



Right Elevation (Scale = 1:100)



Ahrens Steel Buildings
Unit 3, 5-7 Channel Road,
Mayfield West NSW 2304
Email: asb.support@ahrens.com.au

Supplied By: Spanbild Pty Ltd
Phone 07 3827 8010 Fax
74 Platinum Street, CRESTMEAD QLD 4132

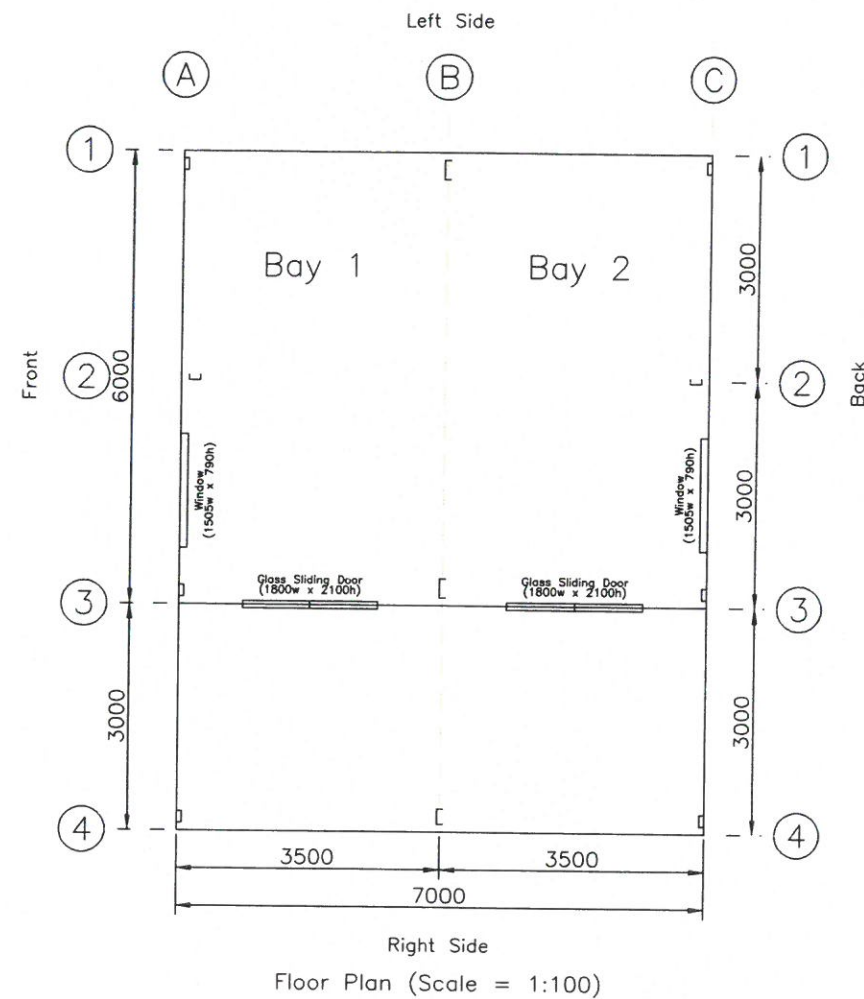
Customer: Mike Gorman
39 Brown Street, North Rockhampton

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sec.	Column
A1	C15024
A2	C15024
A3	C15024
A4	C15019
B1	C25024
B3	C25024
B4	C20012
C1	C15024
C2	C15024
C3	C15024
C4	C15019



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