



IMPORTANT NOTE

This plan was prepared to accompany an application to Rockhampton Regional Council and should not be used for any other purpose.

The dimensions and areas shown hereon are subject to field survey and also to the requirements of council and any other authority which may have requirements under any relevant legislation.

In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land.

This note is an integral part of this plan.

client

J. Childs

project

**130 High Street,
Berserker**

plan of

**Reconfiguration Plan
(1 Lot into 2 Lots)
(with Detail Underlay)**

rpd

Lot 169 on RP603402

lga

Rockhampton Regional Council

rev	date	details	authorised
A	6-09-2018	Initial Issue	RJKF

created



scale **1:250 @ A3** datum **AHD**
 sheet no. **1 of 1** cad file **7164-01-ROL-A**
 plan no. **7164-01-ROL** revision **A**

HIGH STREET

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with **Development Permit No.: D/96-2018**
 Dated: **16 October 2018**

CP
BUP60075

170
RP603402

179
RP603402

180
RP603402

181
RP603402

Lowset Weatherboard Dwelling

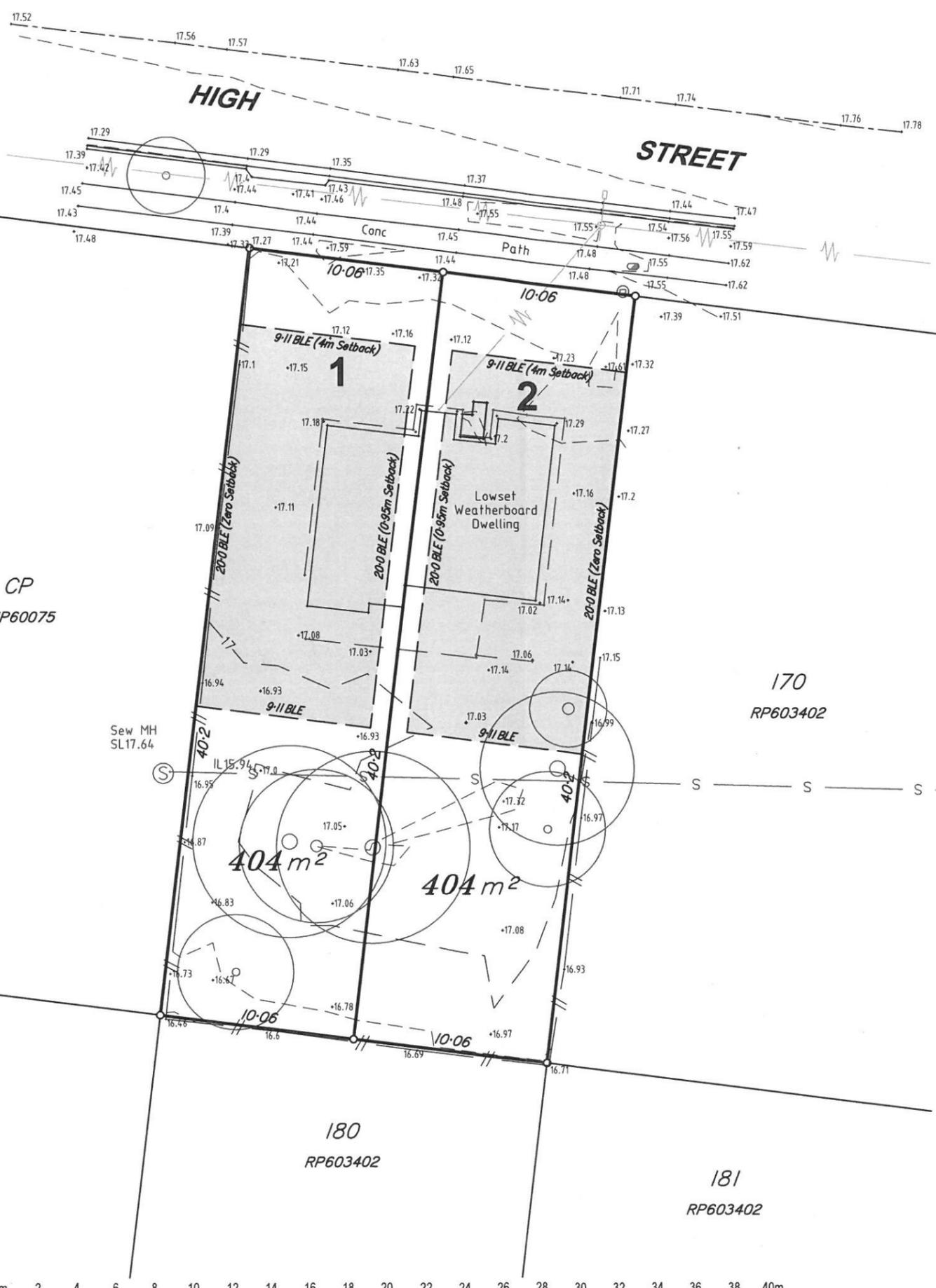
404 m²

404 m²



ROCKHAMPTON REGIONAL COUNCIL
ADDITIONAL PLANS APPROVED
15 January 2019
DATE

These plans are approved and now incorporated into the approved suite of plans subject to the current conditions of approval associated with **Development Permit No.: D/96-2018**
Dated: 16 October 2018



Denotes Proposed Building Location Envelope (See notes below)

- BLE Notes:**
- All eaves to be included within the Building Location Envelope
 - No wall longer than 8m to be constructed along the zero boundary setback, where not on the boundary to be 0.95m setback.
 - Only a garage wall is permitted along the zero boundary setback.
 - Garage to be a minimum setback of 5.4m from High Street boundary.

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client
J. Childs

project
130 High Street, Berserker

plan of
**Reconfiguration Plan
 Plan of Development
 (1 Lot into 2 Lots)
 (with Detail Underlay)**

rdp
Lot 169 on RP603402

iga
Rockhampton Regional Council

rev	date	details	authorised
A	6-09-2018	Initial Issue	RJKF
B	7-12-2018	Proposed BLE's added	RJKF
C	9-01-2019	Proposed BLE's & notes amended	RJKF



scale
1:250 @ A3

sheet no.
1 of 1

plan no.
7164-01-ROL

datum
AHD

cad file
7164-01-ROL-C

revision
C

CP
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