



Department of
**State Development,
 Manufacturing,
 Infrastructure and Planning**

Department of State Development, Manufacturing, Infrastructure and Planning

Statement of reasons for application 1809-7273 SRA

(Given under section 56 of the *Planning Act 2016*)

Departmental role: Referral agency

Applicant details

Applicant name: D F & S J Dunne

Applicant contact details: c/- Scot Stewart
 Town Planning Consultant
 20 London Creek Rd
 Peachester QLD 4519
 ssplanning@ozemail.com.au

Location details

Street address: 154 Wedel Road, Alton Downs

Real property description: Lot 154 on PL641

Local government area: Rockhampton Regional Council

Development details

Development permit Reconfiguring a lot - one lot into three lots

Assessment matters

Aspect of development requiring code assessment	State Development Assessment Provisions, version 2.3 Applicable codes
Reconfiguring a lot	<ul style="list-style-type: none"> State code 1: Development in a state-controlled road environment

Reasons for the department's decision

The reasons for the response are the proposed development:

- is not expected to adversely impact the state-controlled road in relation to stormwater and drainage
- will access lot 2 from McKenzie Road (a local road) and the access location is set back from the intersection of McKenzie Road and Ridgeland Road (a state-controlled road)
- will access lot 3 from Ridgeland Road and the access has been located to minimise potential conflicts with existing accesses on the opposite side of the road
- will construct the access to Ridgeland Road from lot 3 to an appropriate standard
- is not expected to adversely impact on the safety and efficiency of the state-controlled road
- complies with State code 1, subject to implementation of conditions.

Response:

Nature of approval

Development approval

Response details

Approved with conditions

Date of response

22 February 2019

Relevant material

- Development application
- Information request response
- State Development Assessment Provisions published by the Department of State Development, Manufacturing, Infrastructure and Planning
- *Planning Act 2016*
- Planning Regulation 2017
- Development Assessment Rules



Department of
**State Development,
Manufacturing,
Infrastructure and Planning**

Our reference: 1809-7273 SRA
Your reference: D/95-2018

22 February 2019

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton Qld 4700
enquiries@rrc.qld.gov.au

Attention: Jonathon Trevett-Lyall

Dear Sir/Madam

Referral agency response—with conditions

(Given under section 56 of the *Planning Act 2016*)

The development application described below was properly referred to the Department of State Development, Manufacturing, Infrastructure and Planning on 14 September 2018.

Applicant details

Applicant name:	D F & S J Dunne
Applicant contact details:	c/- Scot Stewart Town Planning Consultant 20 London Creek Rd Peachester QLD 4519 ssplanning@ozemail.com.au

Location details

Street address:	154 Wedel Road, Alton Downs
Real property description:	Lot 154 on PL641
Local government area:	Rockhampton Regional Council

Application details

Development permit	Reconfiguring a lot - one lot into three lots
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Referral triggers

The development application was referred to the department under the following provisions of the Planning Regulation 2017:

- Schedule 10, part 9, division 4, State transport corridors and future State transport corridors
subdivision 2, table 1, item 1

Conditions

Under section 56(1)(b)(i) of the *Planning Act 2016* (the Act), the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

The department must provide reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Advice to the applicant

The department offers advice about the application to the applicant—see Attachment 3.

Approved plans and specifications

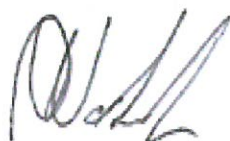
The department requires that the plans and specifications set out below and enclosed must be attached to any development approval.

Drawing/report title	Prepared by	Date	Reference no.	Version/issue
Aspect of development: Reconfiguring a lot				
Proposal Plan, as amended in red	Hoffman Surveyors	4/2/19	R18016-PRO-001	Revision B
Central District Standard Drawing – Property Access	Department of Main Roads	2/10/07	SP-01	Revision B

A copy of this response has been sent to the applicant for their information.

For further information please contact Tracey Beath, Senior Planning Officer, on (07) 4924 2917 or via email RockhamptonSARA@dsdmip.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
Manager Planning

cc D F & S J Dunne c/- Scot Stewart, ssplanning@ozemail.com.au

enc Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Advice to the applicant
Approved plans and specifications

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Reconfiguring a lot		
State transport corridors and future State transport corridors—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	(a) Stormwater management of the development must ensure no worsening or actionable nuisance to the state-controlled road. (b) Any works on the land must not: <ul style="list-style-type: none"> (i) create any new discharge points for stormwater runoff onto the state-controlled road; (ii) interfere with and/or cause damage to the existing stormwater drainage on the state-controlled road; (iii) surcharge any existing culvert or drain on the state-controlled road; (iv) reduce the quality of stormwater discharge onto the state-controlled road. 	(a) At all times (b) At all times
2.	The road access location between lot 2 and McKenzie Road is to be located generally in accordance with the Proposal Plan, prepared by Hoffman Surveyors, dated 4/2/19 reference R18016-PRO-001 and revision B, as amended in red to identify the minimum distance for the access from Ridgeland Road.	At all times
3.	(a) The road access location between lot 3 and Ridgeland Road (state-controlled road) is to be located generally in accordance with the Proposal Plan, prepared by Hoffman Surveyors, dated 4/2/19 reference R18016-PRO-001 and revision B, as amended in red to identify the minimum distances for the access from the western and eastern boundaries of lot 3. (b) Road access works (at the road access location) must be provided generally in accordance with the Central District Standard Drawing – Property Access, prepared by the Department of Main Roads, dated 2/10/07 reference SP-01 and revision B	(a) At all times (b) Prior to submitting the Plan of Survey to the local government for approval
4.	Direct access is not permitted between Ridgeland Road (state-controlled road) and lot 2.	At all times

Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

- to ensure that the impacts of stormwater events associated with development are minimised and managed to avoid creating any adverse impacts on the state-transport corridor
- to ensure the road access location to the local road from the site does not compromise the safety and efficiency of the state-controlled road
- to ensure the road access location to the state-controlled road from the site does not compromise the safety and efficiency of the state-controlled road
- to ensure the design of any road access maintains the safety and efficiency of the state-controlled road
- to ensure access to the state-controlled road from the site does not compromise the safety and efficiency of the state-controlled road. Direct access to the state-controlled road is prohibited where not required.

Attachment 3—Advice to the applicant

Road access works approval	
1.	Under sections 62 and 33 of the <i>Transport Infrastructure Act 1994</i> , written approval is required from the Department of Transport and Main Roads to carry out road works that are road access works (including driveways) on a state-controlled road. Please contact the Department of Transport and Main Roads on CorridorManagement@tmr.qld.gov.au to make an application for road works approval. This approval must be obtained prior to commencing any works on the state-controlled road reserve. The approval process may require the approval of engineering designs of the proposed works, certified by a Registered Professional Engineer of Queensland (RPEQ). Please contact the Department of Transport and Main Roads as soon as possible to ensure that gaining approval does not delay construction.

IMPORTANT NOTE

- This plan was prepared for the sole use of the client for the specific purpose of producing a plan. This plan is strictly limited to that purpose and does not apply directly or indirectly and will not be used for any other application, use or matter. The plan is presented without the assumption of a duty of care to any other person (other than the Client) ("Third Party") and may not be relied on by Third Party.
- Hoffmann Surveyors will not be liable (in negligence or otherwise) for any direct or indirect loss, damage, liability or claim arising out of or incidental to:
 - a Third Party publishing, using or relying on the plan;
 - Hoffmann Surveyors relying on information provided to it by the Client or a Third Party where the information is incorrect, incomplete, inaccurate, out-of-date or unreasonable;
 - any inaccuracies or other faults with information or data sourced from a Third Party;
 - Hoffmann Surveyors relying on surface indicators that are incorrect or inaccurate;
 - the Client or any Third Party not verifying information in this plan where recommended by Hoffmann Surveyors
 - lodgment of this plan with any local authority, against the recommendation of Hoffmann Surveyors
 - the accuracy, reliability, suitability or completeness of any approximations or estimates made or referred to by Hoffmann Surveyors
- Without limiting paragraph 1 or 2 above, this plan may not be copied, distributed, or reproduced by any process unless this note is clearly displayed on the plan.
- For reasons of plan presentation, not all of the information can be shown on this plan.

This plan was prepared as a proposed subdivision and should not be used for any other purpose. The dimensions, areas and total number of lots shown hereon are subject to field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation. In particular, no reliance should be placed on the information on this plan for any financial dealing involving the land. This note is an integral part of the plan.

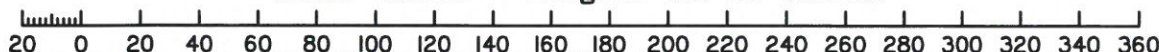
Amended in red by SARA on
22 February 2019

Plan of Proposed Lots 1 - 3
Cancelling Lot 154 on PL641

PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE

SARA ref: 1809-7273 SRA
Date: 22 February 2019

Scale 1:2500 - Lengths are in Metres.



HOFFMANN
SURVEYORS



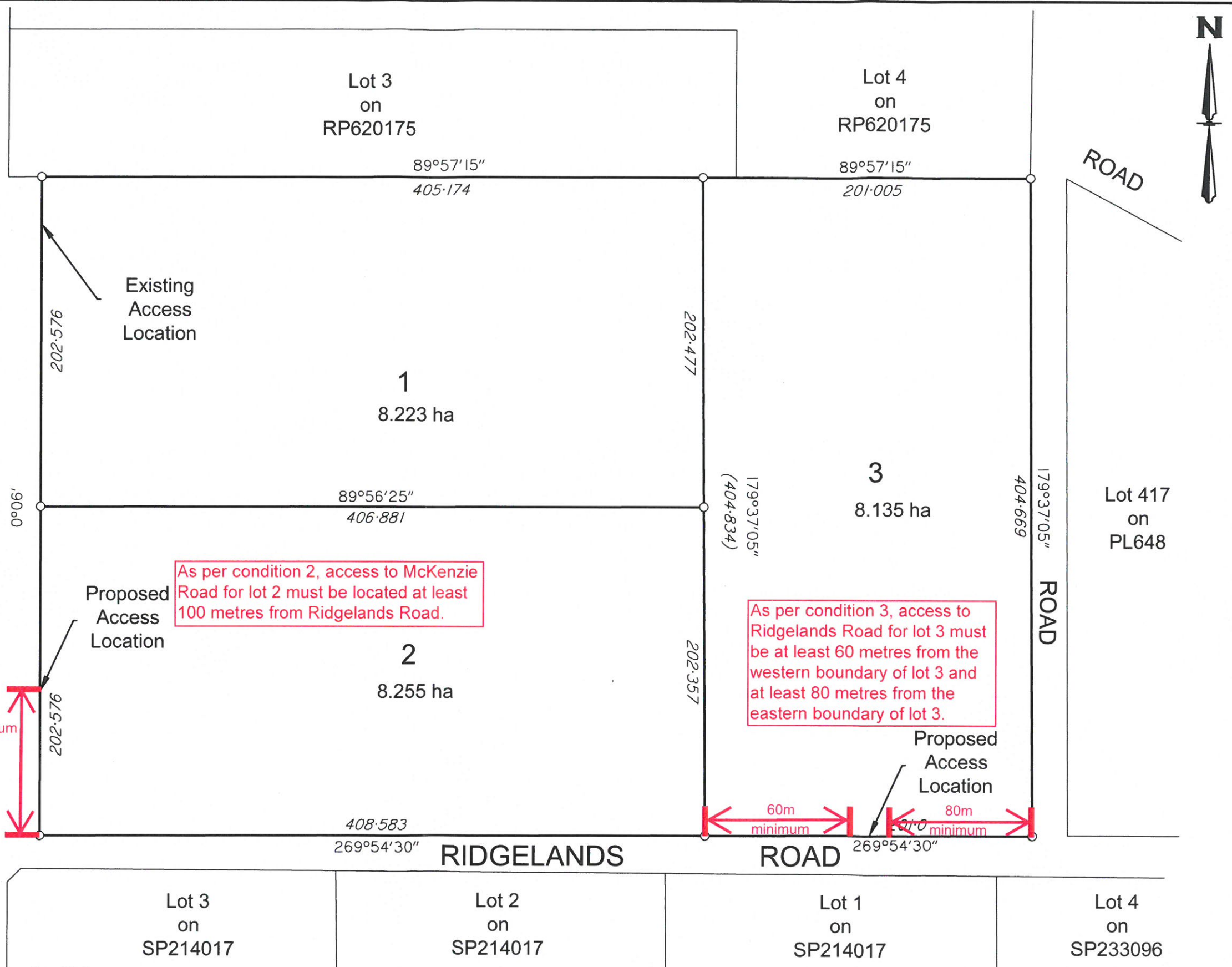
P 07 4922 3834 hoffmannsurveyors.com.au
Rockhampton Longreach Blackall Charleville

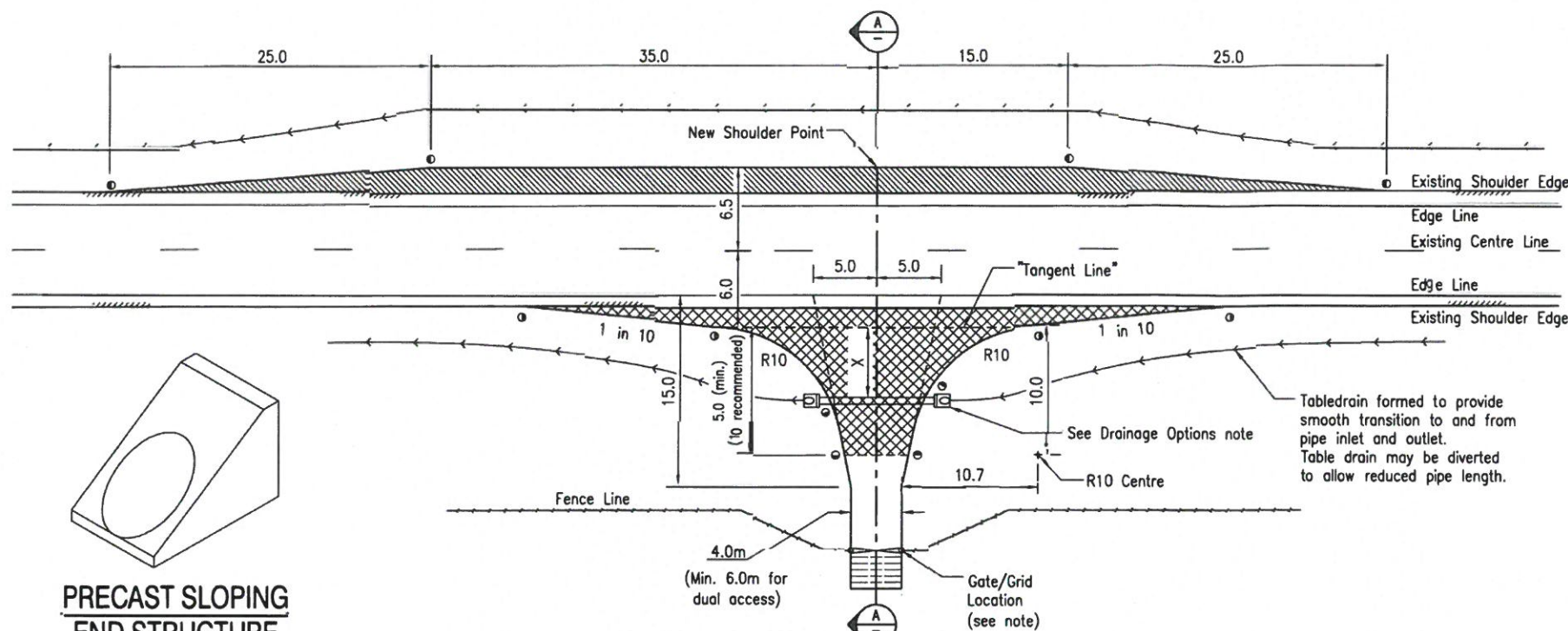
Project:
Proposed Subdivision Ridgелands Road, Alton Downs
Title:
Proposal Plan
Client:
Dunne

Rev.	Reason for Issue or Amendment	Date	Drawn	Checked	Surveyed
B	Access Locations Added	4/2/19	KN		
A	Original Issue	20/06/18	SP	KN	

Local Government: Rockhampton Regional	Locality: Alton Downs
Co-ord System: vide RP620175	Level Datum: AHD
Scale: 1:2500 at A3	Sheet: 1 of 2
Drawing No: R18016-PRO-001	Revision: B

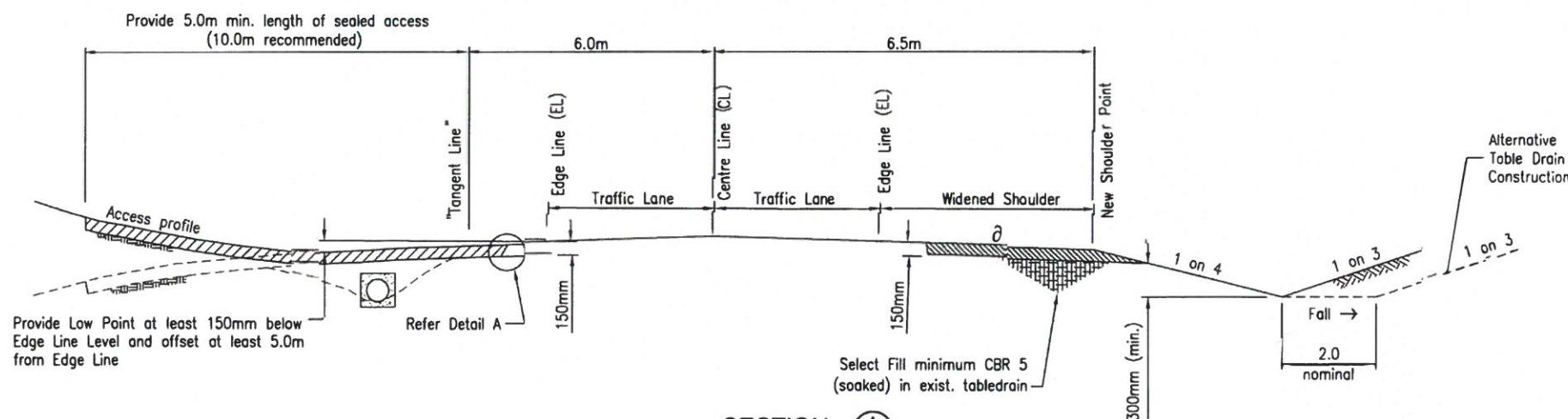
MCKENZIE ROAD



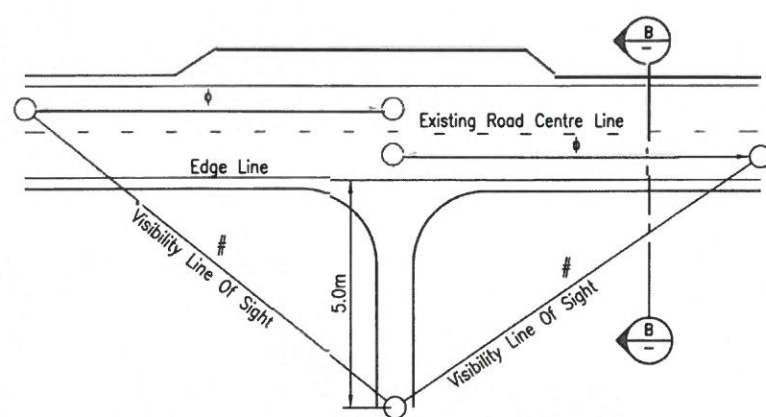


PRECAST SLOPING END STRUCTURE

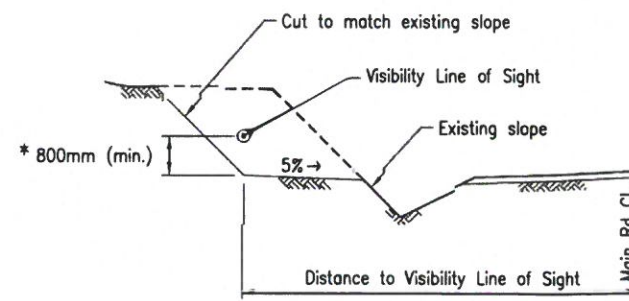
GENERAL LAYOUT



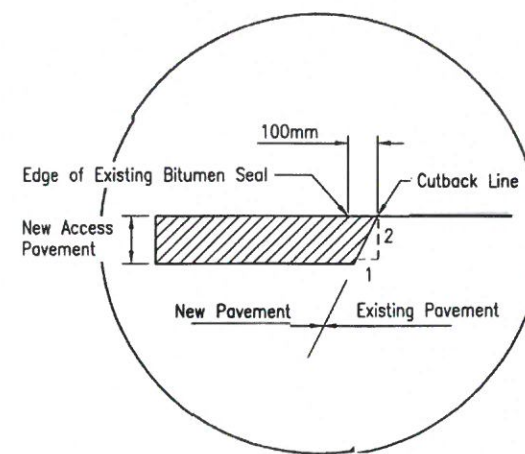
SECTION A-A



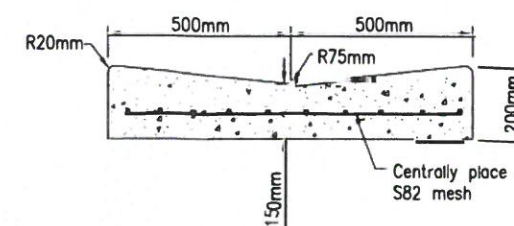
VISIBILITY TRIANGLES



TYPICAL SECTION VISIBILITY BENCHING



DETAIL A



DETAIL B

GATE/GRID LOCATION

A 3.6m gate (opening inwards) shall be installed at the following distance from the Main Road Edge Line (EL) depending on the type of vehicle using the access.

Vehicle Type	Minimum Distance from Edge Line
Articulated	22m
Single Unit	15m

If the access point at the property fence line is less than the minimum distance specified above, a grid shall be installed with a minimum width equal to the width of the access formation at that point.

DRAINAGE OPTIONS

- Provide 375mm dia. (or as specified) RCP class 3 with precast concrete sloping end structures. Minimum cover to be 300mm.
- If a grid is installed, the table drain flow may be diverted under the grid in lieu of installing an RCP.
- In special circumstances only, Main Roads may approve the use of a concrete invert (see Detail B) in lieu of installing an RCP.
- If practical, the table drain flow may be diverted away from the road.

MINIMUM RCP PIPE LENGTHS

Distance X	PIPE LENGTHS (m)	
	4.0m	6.0m
3	13.2	14.4
4	12.0	13.2
5	10.8	12.0
6	9.6	10.8
7	8.4	9.6
8	8.4	9.6

● Road Edge Guide Post

NEW PAVEMENT (Refer Section A)

Access Pavement:

150mm Base, Unbound Pavement Type 2.1 (CBR 80)

Widened Shoulder Pavement:

150mm Base, Unbound Pavement Type 2.5 (CBR 15)

Compaction (all work) - 100% STD

∅ Match existing crossfall

BITUMEN SEALING (Refer General Layout)

New Pavement (No Bitumen Seal)

Bitumen Sealed Pavement (2 Coat - Same Day)

First coat: C170 (3% cutter) at 1.5 litres/m²
Cover Aggregate 14mm @ 95m²/m³

Second coat: C170 (3% cutter) @ 1.2 litres/m²
Cover Aggregate 10mm @ 120m²/m³

100mm overlap of existing Bitumen Seal with New Bitumen Seal

VISIBILITY TRIANGLE

Sight Distance:	Posted Speed km/h		
	100	80	60
Desirable (ESD)	500m	400m	220m
Minimum (SISD)	297m	215m	149m

Sight distances are based on the design speed being 10 km/h greater than the posted speed limit.

Visibility Line Of Sight to be based on a Driver Eye Height of 1.15m above the Main Road and 1.15m above the Access.

VISIBILITY BENCHING

* Physical Bench to be provided by removing vegetation and embankment to 800mm below Visibility Line Of Sight. This allows for vegetation regrowth up to 300mm in height.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DEPARTMENT OF MAIN ROADS SPECIFICATIONS AND THE STANDARD CONDITIONS FOR THE CONSTRUCTION OF PROPERTY ENTRANCE.

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 1809-7273 SRA

Date: 22 February 2019

Amended: _____

Revisions	Certified	Date	Microfiled	Associated Job Nos	Survey Data	Scales	General Layout	CTL CHGE	Reference Points	Drawing	Design	Design	Certified	Approved	Reference	Approval No.	Drawing No.	Series/Number	of	MRR Detail (08/06)
B RPDm Ch13 Ver Oct 2006						0 2 4 6 8 10m	All other details: Not to Scale			D.T.White	D.T.White	D.T.White	RPEQ				SP-01			
A Original Issue A1/A3										A.J.Williams	G.M.Legh	R.S.Hicks								