

Alterations to existing child care centres

188 Farm Street, North Rockhampton

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/87-2021

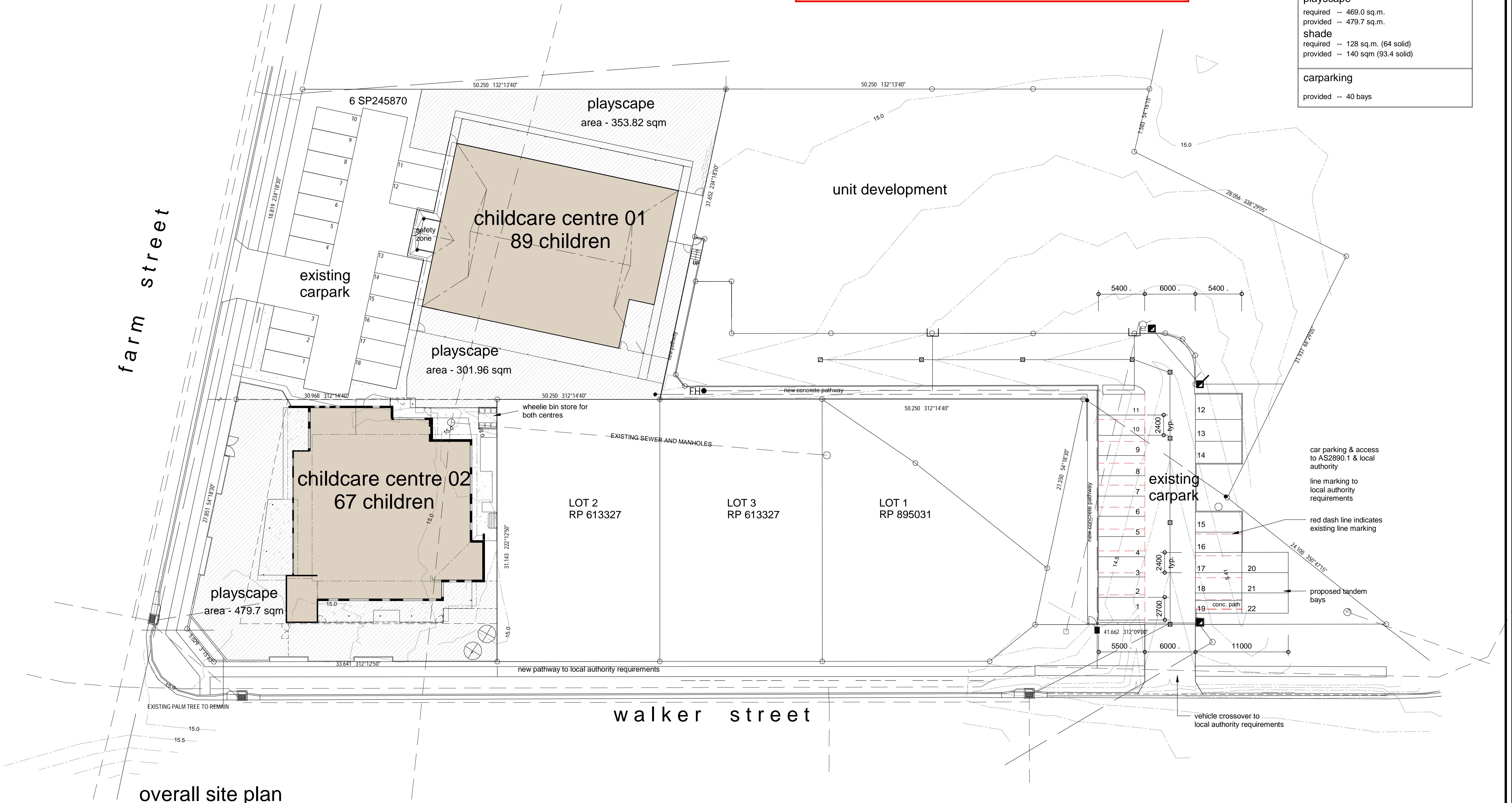
Dated: 9 September 2021

site data

proposal	
alterations to existing childcare centres	
r.p.d.	
6 SP245870	
local authority	rockhampton regional council
childcare centre 01	
no. of children	- 89
no. of activity rooms	- 5
playscape	
required	-- 623.0 sq.m.
provided	-- 655.78 sq.m.
shade	
required	-- 170 sq.m. (85 solid)
provided	-- 178.77 sqm (178.77 solid)

childcare centre 02	
no. of children	- 67
no. of activity rooms	- 4
playscape	
required	-- 469.0 sq.m.
provided	-- 479.7 sq.m.
shade	
required	-- 128 sq.m. (64 solid)
provided	-- 140 sqm (93.4 solid)

carparking	
provided	-- 40 bays



overall site plan

01/07/21	site data updated	C
29/06/21	carpark & child numbers updated	B
08/07/16	initial issue	A
date	revision	issue



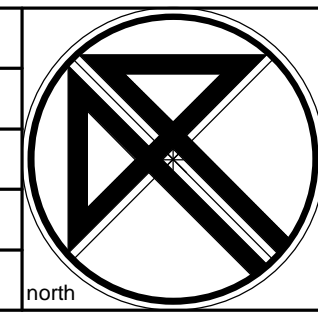
cameron raymond design pty. ltd.
a.c.n. 156 289 119
building designers established
1974
11 ensenada court
broadbeach waters
QLD 4218
- phone 07 - 55267131
Q.B.S.A. license no. 1178466;
NSW accreditation no. 6242



all work shall comply with the provisions of the building code of australia, any applicable government act, australian standards, and any bylaws or requirements of the local authority.
use figured dimensions only, do not scale, if in doubt ask.
report any discrepancies immediately for clarification and rectification. verify dimensions on site prior to any ordering or shop fabrication.
this drawing shall not be copied or used without authorisation and is protected by copyright.

this is a drawing referred to in our contract

proprietor	contractor	date	/ /
datum	A. H. D.		
survey	finch surveying		
scale	1 : 250 at A1		
designed	c. c. raymond		
drawn	c. c. r.		
approved		date	dec. '13.

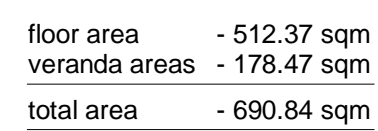


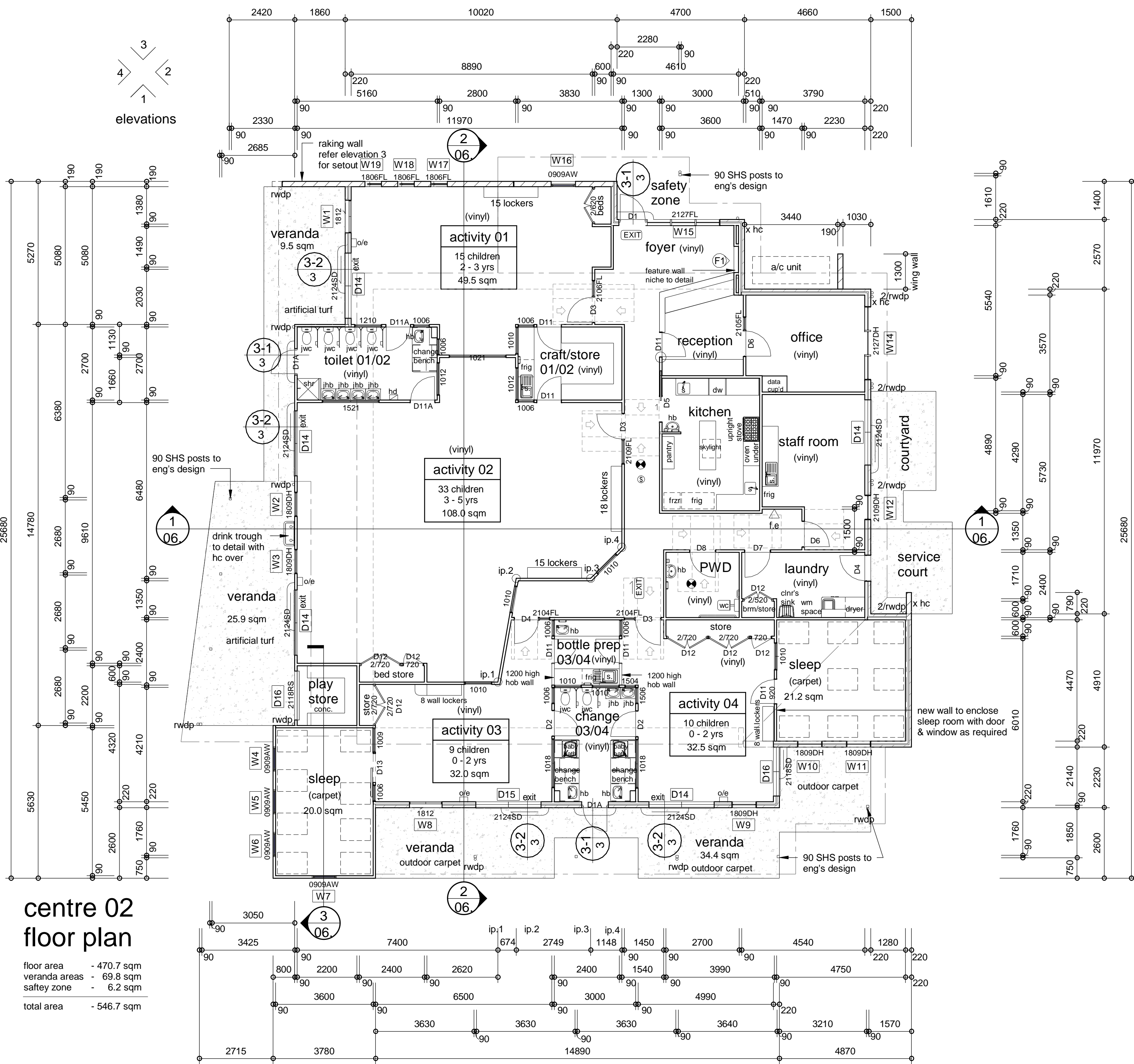
project
proposed childcare centre
farm street
rockhampton

client
JRA (qld) pty. ltd.

drawing title
face sheet/site plan

drawing no.	RD13032	01.	issue	C
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floor plan legend

- EXIT** illuminated exit sign to BCA requirements
- EXIT** as required by BCA sliding doors forming paths of exit must comply with with BCA C. D2.19 with an opening force not greater than 110N
- exit indicates exit door to open space
- emergency lighting to BCA requirements
- fire extinguisher 2A : 40B(E) C/W sign over
- smoke detector to AS 3786 & B.C.A. 3.7.2
- 36 lm fire hose reel in cabinet
- outdoor equipment locker to detail refer to J2
- direct wired hand dryer
- indicates door circulation space to AS1428.1
- indicates air conditioning unit location
- indicates square set nib
- 900 x 600 roof access panel
- exhaust fan to roof space to B.C.A. requirements
- meterboard - refer electrical consultant dwgs for spec.

notes

specification

these drawings and the construction are to be read in conjunction with the specification

access and egress

due to the requirement of protection & safety of children the building and playscape are required to be secured by the child care centre regulation and clause D2.21 (ii) (B) which applies to the operation of the latch, all staff are properly instructed to the duties and responsibilities as required by the regulations.

emergency lighting

emergency lighting is provided as required by the BCA E4 applicable part C1 E4.2 (b) (i) and E4.2 (f) public access is only permitted to the reception area. the toilets are not public toilets and are for use of staff only therefore C1 E4.2 (f) only applies to areas having public access reception lobby and foyer

construction - fire hazard properties

any material and assembly shall comply with specification c1.10. of the building code of australia and floors, walls and ceilings to comply with specification c1.10.a in regards to fire hazard properties.

floor coverings

floor coverings to have a critical radiant flux of not less than 2.2 and a smoke development rate of 750 percent minutes unless otherwise denoted all floor coverings shall be selected vinyl. change rooms, toilets & kitchen shall be vinyl floor with cove 100 up walls n.b. toilet areas to be set down to allow for graded bed & vinyl, min 1 : 80 fall

waterproofing of wet areas

waterproofing of wet areas shall be in accordance with F1.7 of the building code of australia and AS 3740

sliding windows & doors

aluminium framed sliding windows & doors to AS.2047 all windows & doors to be fitted with flyscreens all internal windows and doors to AS 1288

refer to specification for extent of s/s security screens to sliding doors & windows

construction of exits including doors and door hardware shall comply with part D2 and part D3 of the Building Code of Australia class 2 - 9 as applicable sliding doors nominated as exits shall be operable manually by a force not exceeding 110kn.

heads of all sliding & fixed glass windows internally to line up with door heads internal windows less than 1200 wide are to be fixed light windows no's. shown thus e.g. 2100 - 21 indicates 2100 high - 09 indicates 900 wide suffix SD - sliding patio door FL - fixed light DH - double hung PV - permanent vent AS - awning sash

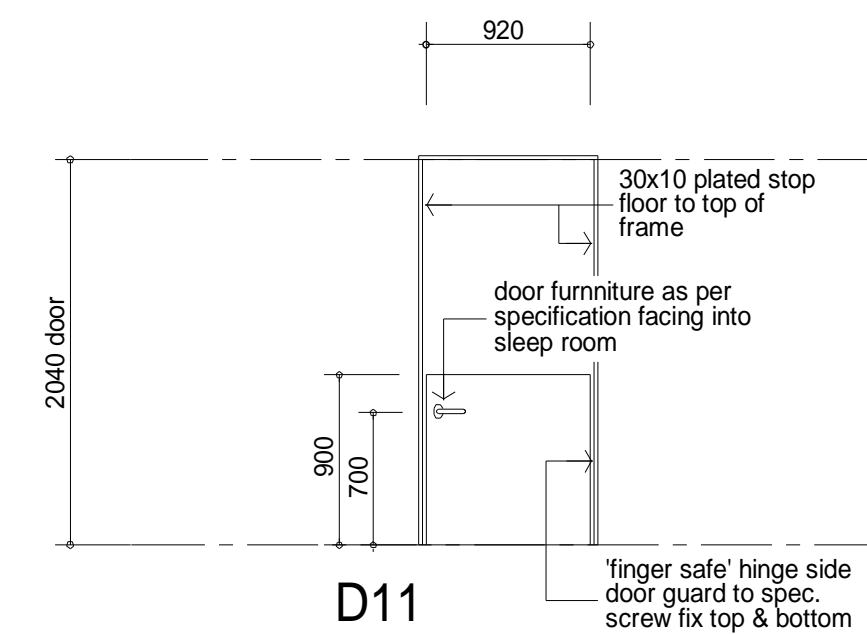
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

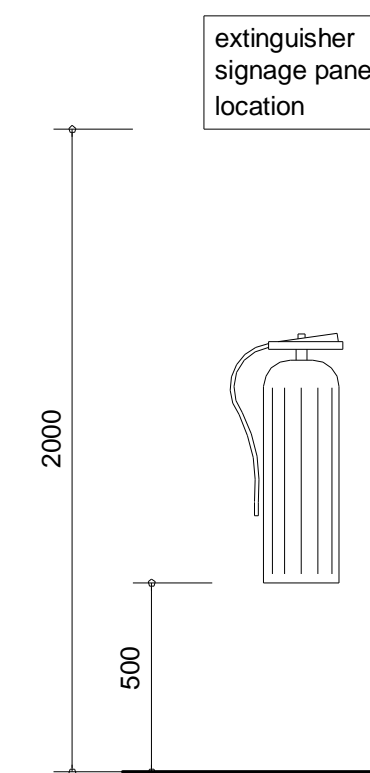
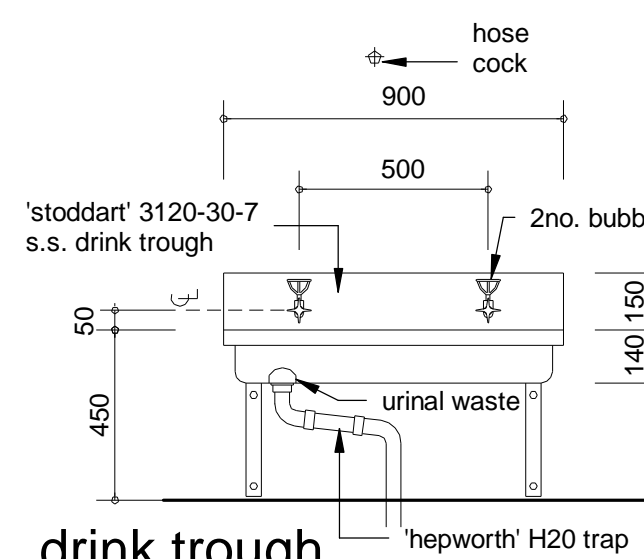
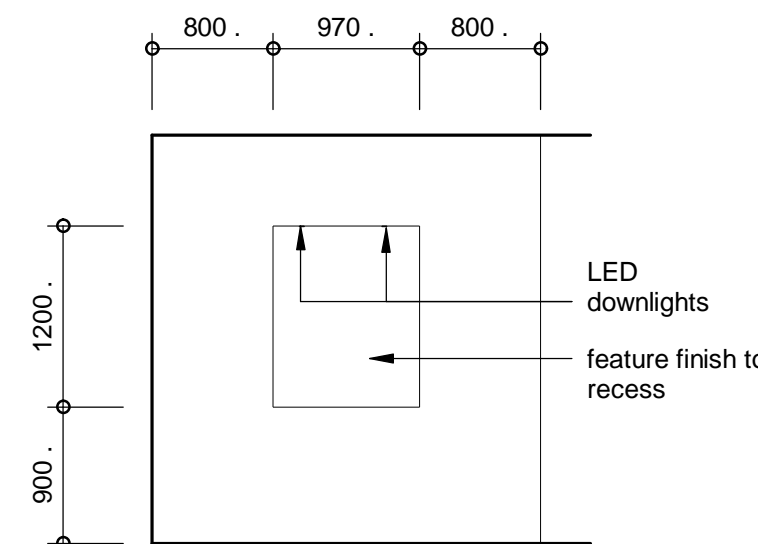
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door details



BCA parameters

NCC volume one
 class 9b building
 type C construction
 C1

29/06/21	child numbers updated	B
08/07/16	initial issue	A
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RD
raymond Design

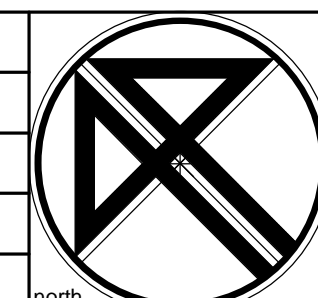
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survey	finch surveying		
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drawn	c. c. r.		
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proposed childcare centre
farm street
rockhampton

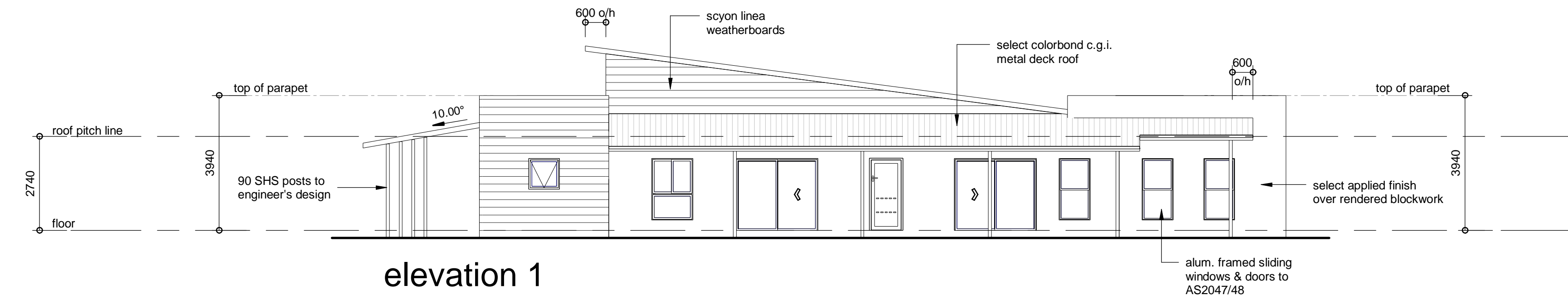
client
JRA (qld) pty. ltd.

drawing title
centre 02 floor plan

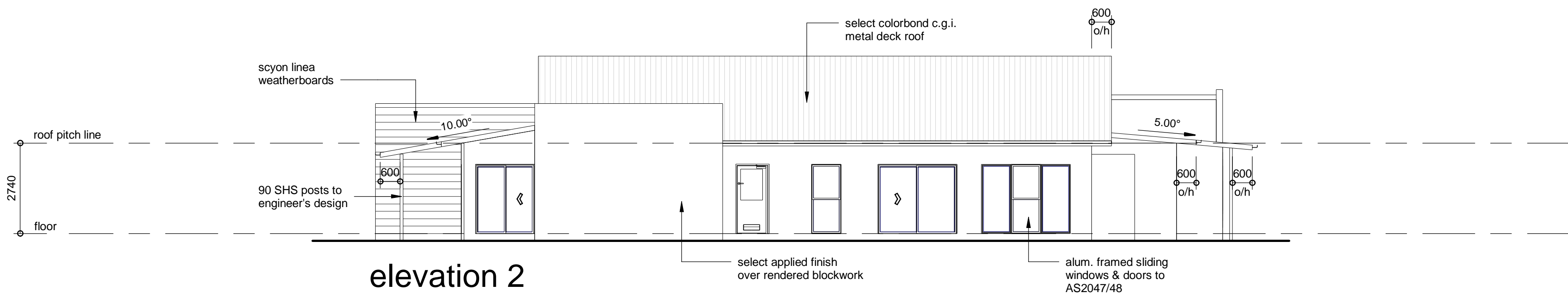
drawing no.
RD13032

03.

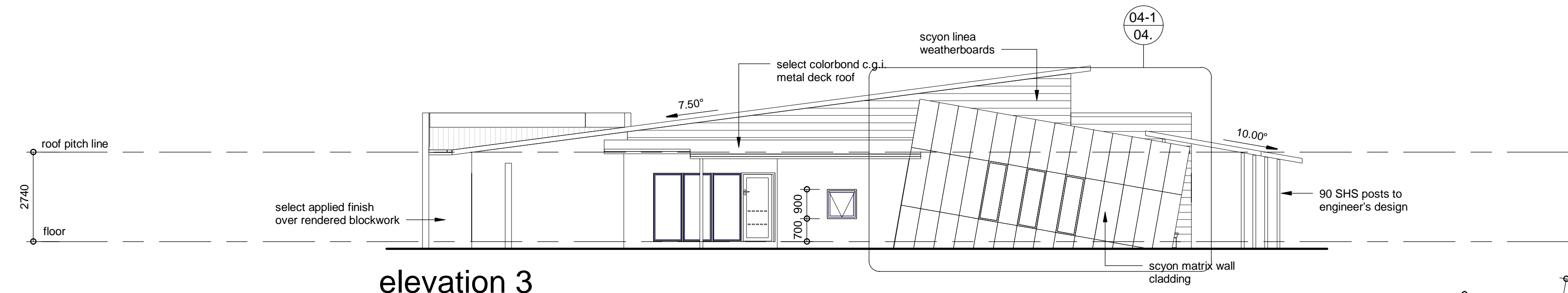
issue
B



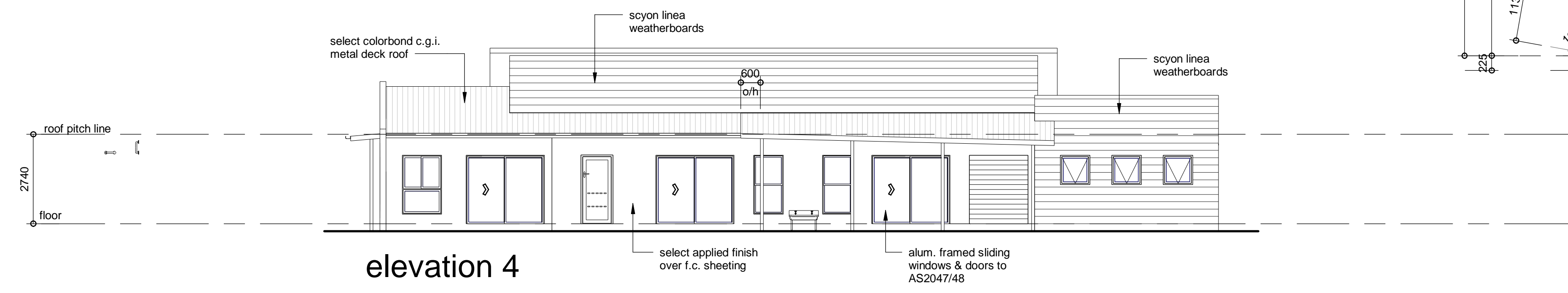
elevation 1



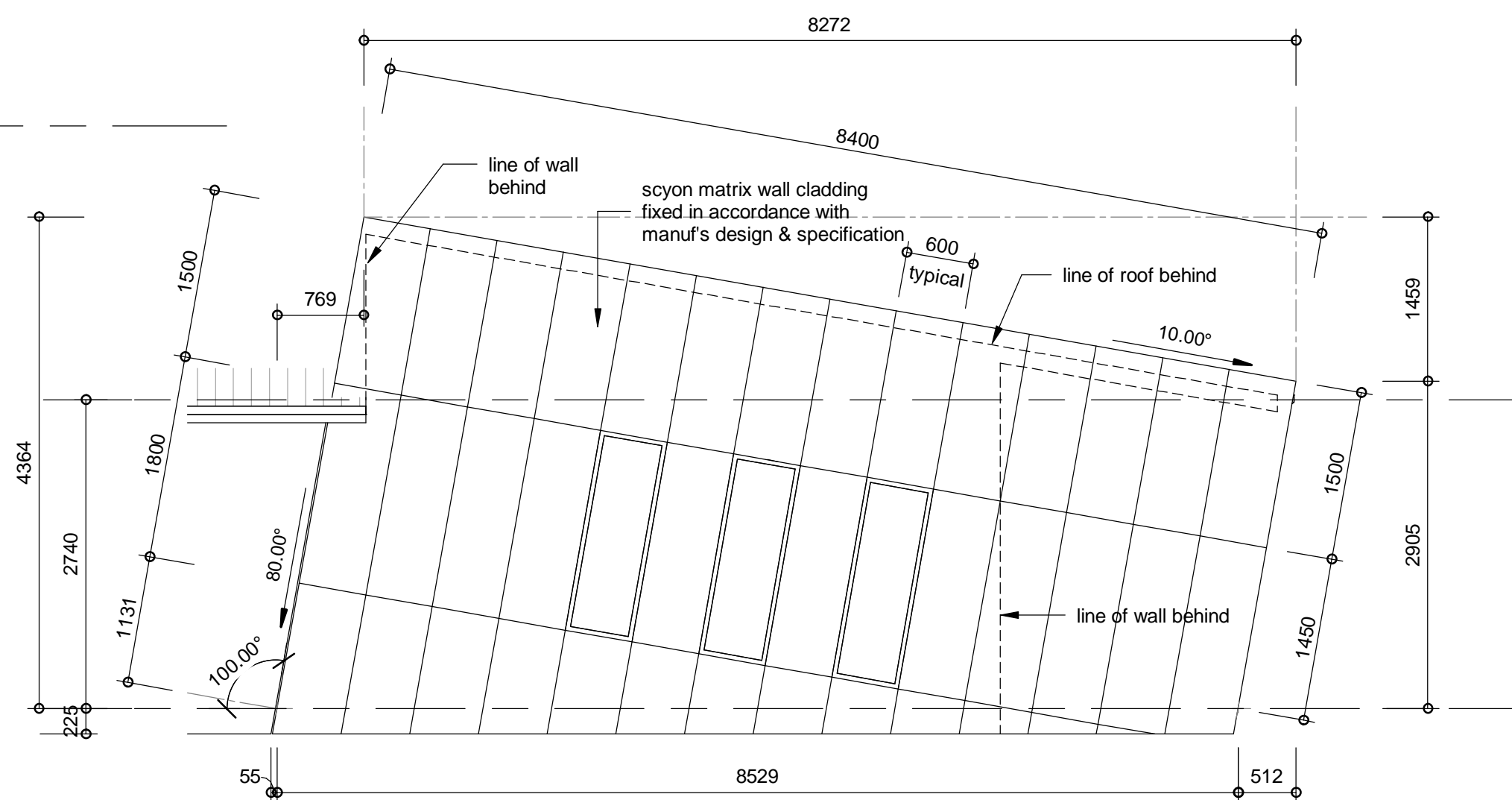
elevation 2



elevation 3



elevation 4



detail 04-1

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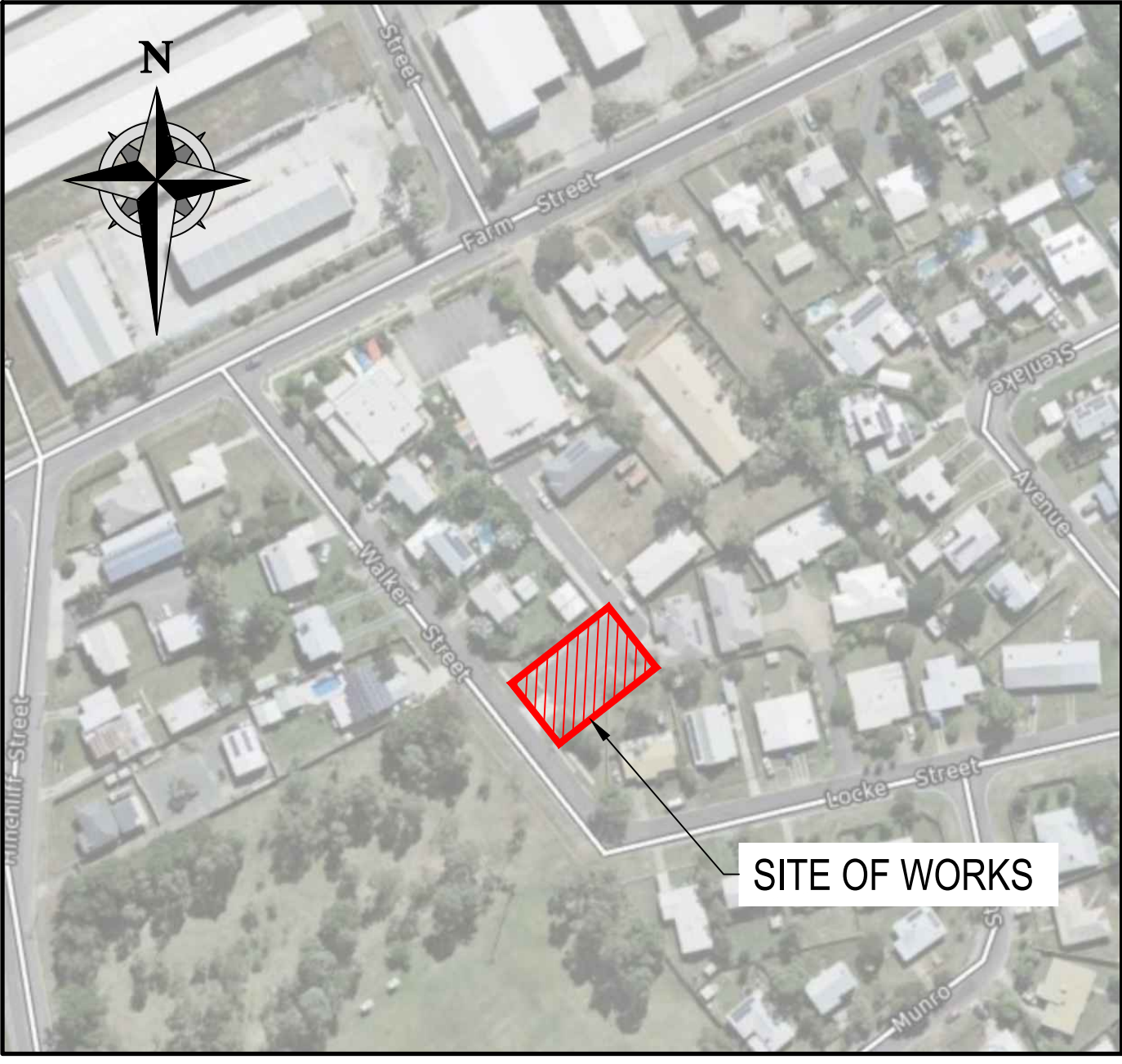
project
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farm street
rockhampton

client
JRA (qld) pty. ltd.

drawing title
elevations

drawing no.	04.	issue	A
RD13032			

FARM ST ELC ADDITIONAL CAR PARKS

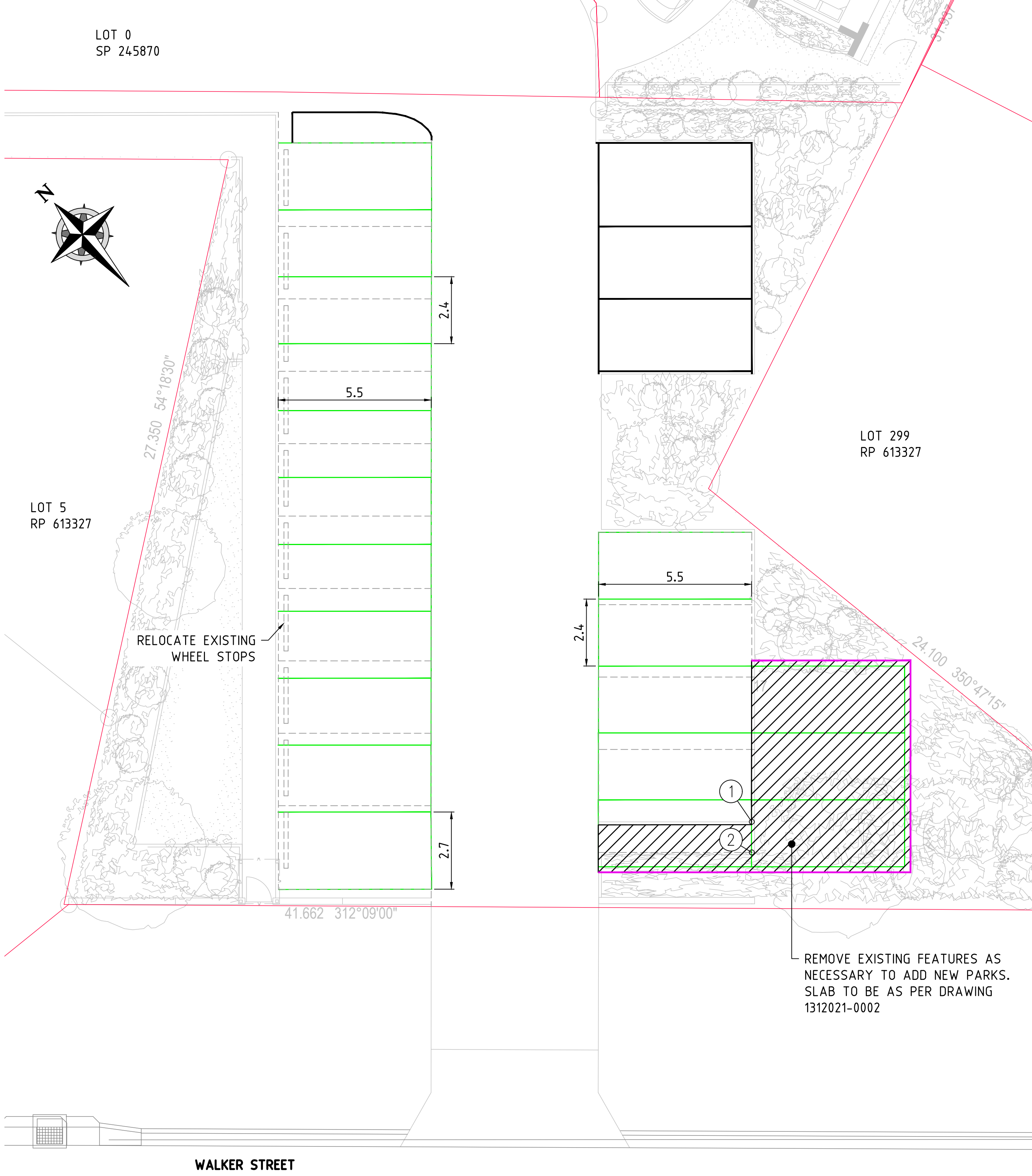


LOCALITY PLAN
NOT TO SCALE

DRAWING SCHEDULE		
DRAWING No.	DESCRIPTION	REV.
1312021-0001	GENERAL LAYOUT	A
1312021-0002	SLAB PLAN AND TYPICAL DETAILS	A

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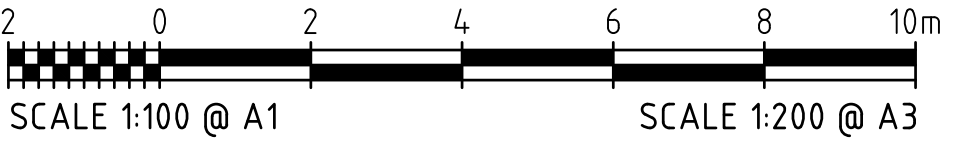
PREVIOUS DESIGN SETOUT POINTS			
No.	Easting	Northing	RL
1	10073.205	9898.321	14.528
2	10072.493	9897.377	14.520

LEGEND	
EXISTING LINEMARKING TO BE REMOVED	---
EXISTING LINEMARKING TO REMAIN	—
NEW LINEMARKING TO BE INSTALLED	—
LOT BOUNDARY	—
EXISTING FEATURES	—
NEW TYPE 3 BARRIER KERB	—
PROPOSED NEW CONCRETE CAR PARKING	▨

- ### GENERAL NOTES
- ALL DRAWINGS ARE REDUCED TO A3 SHEET SIZE FOR PLOTTING PURPOSES FROM A1 SHEET SIZE ELECTRONIC CAD DRAWING FILES.
 - REFERENCE TO THE FOLLOWING AUSTRALIAN STANDARDS. (AS 1100.101 - GENERAL PRINCIPALS AND AS 1100.401 - ENGINEERING AND SURVEYING)
 - DO NOT SCALE FROM DRAWINGS, IF IN DOUBT OBTAIN DIMENSIONS FROM THE ELECTRONIC DRAWING FILE. ALL DRAWINGS SHALL BE CONSTRUCTED AS DIMENSIONED. UNDER NO CIRCUMSTANCES IS A DRAWING TO BE SCALED FROM FOR CONSTRUCTION PURPOSES. A1 SHEET SIZE ELECTRONIC CAD DRAWING FILES ARE AVAILABLE UPON REQUEST.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ASSOCIATED RELEVANT DRAWINGS IN THE PLAN SET AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE IN METRES UNLESS SHOWN OTHERWISE.
 - THE LOCATION OF SERVICES ARE INDICATIVE ONLY.
 - HORIZONTAL DATUM IS GDA2020 AND ALL LEVELS ARE AHD.
 - CONTOURS PROVIDED ARE FROM DTM WITH VERTICAL ACCURACY 100mm NOMINAL.
 - NO. OF EXISTING CARPARKS = 18
NO. OF CAR PARKS WITH NEW CAR PARKS ADDED = 23
 - CAR PARKING DESIGNED FOR TYPE 1A USERS AS PER AS 2890.1 - PARKING FACILITIES - PART 1.

NOTE
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION.

R.P. DESCRIPTION	BENCHMARKS
LOT 6 ON SP245870 COUNTY OF KAWANA	PSM 134688 RL. 15.318 E: 245342.217 N: 7416775.191



PARKING LAYOUT
SCALE: 1:100(A1) 1:200(A3)

INFORMATION ONLY

SURVEYOR		BY		DATE		CLIENT	
FINCH'S SURVEYING		REVIEWED					
ADDRESS: SHOP 4, 54 JAMES STREET YEPPOON Q16, 4703		RPEQ ENG					
CO-ORDINATE DATUM AHD		RPEQ No:		SCALE: NTS			
HEIGHT DATUM AHD							
DRAWING No.	REFERENCE DRAWING TITLE	REV	DATE	SUBMITTED FOR INFORMATION	REVISION DESCRIPTION	DFT	DFT CHK
1	2	3	4	5	6	7	8

PREPARED BY

mcmurtrie
CONSULTING ENGINEERS

Address: 63 Charles Street
NORTH ROCKHAMPTON QLD 4701
PO BOX 2149, WANDAL QLD 4700
mail@mcmengineers.com

Phone: (07) 4921 1780
Mobile: 0407 631 066
Fax: (07) 4921 1790

CLIENT

JOE HURLEY
FARM ST EARLY LEARNING CENTRE EXTRA PARKING
GENERAL LAYOUT

DRAWING NUMBER

A1 1312021-0001

REVISION

A