

PARAGON 
Consulting
Engineers Pty Ltd

**4-Lot Subdivision,
20 Withers Street, Kawana 4701
(Lot 101 on SP329781)**

Engineering Report

**To Accompany the
Reconfiguring of a Lot Application**

**For
Apollo Care**

September 2023

Project Reference: 2477-02

Revision B

Written By:

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ROCKHAMPTON REGIONAL COUNCIL




APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/81-2023

Dated: 25 January 2024

Document Control

Rev No	Date	Revision Details	Author	Reviewer	Approver
A	18/09/23	For Council Approval	RMH	BKP	BKP RPEQ: 19819
B	27/09/23	Lot Numbers Amended			 RPEQ: 19819

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1.0 Introduction

This Report has been prepared by Paragon Consulting Engineers Pty Ltd on behalf of Apollo Care to accompany the Development Application for Reconfiguration of a Lot 4 application for the proposed 4-Lot Subdivision at 20 Withers Street, Kawana, QLD.

The subject land is described as Lot 101 on SP329781. The plan area of the subject land is approximately 4.86Ha. It is proposed that the subject land be subdivided as indicated on the preliminary Drawing No. 2477-02-002. Refer to Appendix A for further details.

The detailed design of the proposed earthworks, roadworks, access and services will be undertaken in accordance with the requirements as set out in the Rockhampton Region Planning Scheme and the Capricorn Municipal Development Guidelines.

2.0 Roadworks

2.1 Access Easements

The existing site (Lot 101 on SP329781) has four distinct areas, which are as follows:

- Villas, which are located on proposed Lot 1
- Relocated cottages, which are located on proposed Lot 2
- Units, which are located on proposed Lot 3
- Aged care facility, which is located on proposed Lot 4

Our subdivision site access assessment, that is based on the existing facilities is outlined in the following subsections.

Access easement for proposed Lot 1

The existing villas within proposed Lot 1 obtain vehicle access from Alexandra Street. Vehicles travelling to proposed Lot 1 need to drive through proposed Lot 2 in order to reach proposed Lot 1. Therefore, within proposed Lot 2 an access easement will need to be placed over the pavement and associated verge from Alexandra Street through to the southern boundary of proposed Lot 2.

Access easement for proposed Lot 2

The existing cottages within proposed Lot 2 obtain vehicle access from Alexandra Street. The existing vehicle turnaround facility for the cottages is located in the eastern portion of proposed Lot 4. Therefore, an access easement will need to be placed over the turnaround facility and associated vehicle access within Lot 4.

The existing turnaround facility is currently unsealed with no accompanying signage. It is proposed that road edge guide posts are installed to better define the turnaround area. Appropriate road signage, such as 'No Parking' signs shall also be installed to ensure that the turnaround area is not used for parking. An access easement shall be placed over the road pavement, associated verge and turnaround area facility within proposed Lot 4.



Figure 1 - Existing turnaround facility in the north-eastern portion of the site

Within the eastern portion of proposed Lot 4 there are currently ten cottages. On the current plan of development, a potential aged care build-out (of up to an additional 40 residence) has been designated on the eastern portion of proposed Lot 4. A separate application will be lodged for the aged care facility expansion. This application will need to identify any changes required to the vehicle access easement and turnaround area that services proposed Lot 2.

Access easement for proposed Lot 3

The existing units within proposed Lot 3 obtain vehicle access from Alexandra Street. Vehicles travelling to proposed Lot 3 need to drive through proposed Lot 2 in order to reach proposed Lot 3. Therefore, within proposed Lot 2 an access easement will need to be placed over the pavement from Alexandra Street through to the southern boundary of proposed Lot 2.

Access easement for proposed Lot 4

The existing aged care facility within proposed Lot 4 has a sealed parking area that adjoins Withers Street. The parking area has separate entry and exit vehicle cross-overs to Withers Street. The existing parking area does not need alterations for the proposed four-lot subdivision.

Proposed Lot 4 has a secondary 'back-of-house' type access from Alexandra Street that traverses proposed Lot 2. Therefore, within proposed Lot 2 an access easement will need to be placed over the pavement from Alexandra Street through to proposed Lot 4.

2.2 Parking

Proposed Lot 1 has 13 visitor parking facilities plus one disabled parking bay with shared zone. Each villa has its own driveway and sheltered parking spaces.

Proposed Lots 2 and 3 have no visible formal parking facilities. However, they have unsealed areas that are currently being used for vehicle parking.

The age care facility within proposed Lot 4 has a formal sealed parking facility for 22 vehicles, based on aerial photographs. These parking bays are located off Withers Street at the entrance to the facility.

2.3 Footpaths

A section of footpath is located along the southern corner of Alexandra Street running from the Farm Street intersection to the Alexandra Street entrance leading to Proposed Lot 2.

During a site inspection in December 2022 works were being carried out to install a new footpath along Farm Street for the full length of the block.

Proposed Lot 2 ,3 & 4 all have internal footpaths without connections to the adjoining streets.

2.4 Kerb and Channel

All three adjoining streets (Alexandra, Farm & Wither Street) have barrier kerb and channels.

3.0 Stormwater Management

3.1 Overland Flow Paths

As of writing this report, insufficient survey levels information is available to fully assess the overland flow paths.

The Villas located inside Proposed Lot 1 falls towards the centre of the road field inlet pits.

For Proposed Lot 2 the overland flow path falls away from Alexandra Street towards Proposed Lots 3 and 4.

Based on the footpath levels along the units located in Proposed Lot 3 the overland flow path falls towards Withers Street.

Based on the existing surface levels information available, Proposed Lot 4 appears to flow internally towards grated inlets pits inside the age care facility. The carpark for the facility also flows towards the internal gully pits located centrally.

During major rainfall events, it is likely that the stormwater drainage infrastructure within the subject site would become inundated. Once the underground stormwater drainage system has reached its capacity, excess stormwater flows will travel overland, with the overland flow from the southern portion of the site discharging into the basin and the northern portion of the site overflowing and contributing to the Withers Street Road reserve.

3.2 Underground Drainage

Proposed Lot 1 has seven surveyed field inlets within the roadways, which feed into the stormwater basin that is located in Proposed Lot 3.

Proposed Lot 2 has no underground drainage surveyed on site. The overland flow shall be covered by the proposed access / stormwater easement inside the lot. This proposed easement shall cease when the east to west running stormwater easement is reached inside proposed Lot 3.

Proposed Lot 3 houses a stormwater basin which shall remain. An appropriately sized stormwater easement shall be placed over the stormwater basin.

The underground drainage for the Carpark located in proposed Lot 4 will flow to an outlet located to the south west boundary of proposed lot 3. This outlet then travels via an open channel into the headwall perpendicular to Withers Street.

Refer to drawing 2477-02-003 within Appendix A for further details regarding the proposed stormwater drainage easements.

3.3 Roof Drainage

It is presumed that roof water from all of the existing buildings currently discharge into the stormwater basin, that is located on Proposed Lot 3.

It should be noted that the standalone housing (Relocated cottages) along Alexandra Street has no detected stormwater, hence the roof drainage outlets onto ground level. Which as noted prior, falls towards the access street, which in turn falls towards the stormwater basin with Proposed Lot 3.

3.4 Stormwater Detention

The existing on-site detention basin located in Proposed Lot 3 shall remain. As part of future development applications, any further increases in impervious area on site shall be assessed to determine if further stormwater detention infrastructure is required.

4.0 Water Reticulation

4.1 Water Service Connections

Proposed Lot 1 houses a water meter on the Farm Street frontage.

Proposed Lot 2 requires a new water meter to be installed on the Alexandra Street frontage, as the existing meter servicing the detached cottages will be located on Proposed Lot 4's Alexandra Street frontage.

The units located inside Proposed Lot 3 are currently being serviced by the water meter located on the Withers Street frontage.

Proposed Lot 4 has two water meters, one is located on the Withers Street frontage and the other is located on the Alexandra Street frontage. The Withers Street water meter services the age care facility, while the Alexandra Street water meter services the detached housings in the Relocated Cottages.

Once the aforementioned changes have been made for Proposed Lot 2, each lot shall have an independent water connection.

5.0 Sewer Reticulation

5.1 Sewer Reticulation

Proposed Lot 1 is currently serviced by an existing public sewer main (council asset). Refer to Woollam Construction Drw HS-01 (Project No Q5398), in Appendix D for further details.

Proposed Lot 2 is currently serviced via an existing public sewer main (council asset). Refer to Rockhampton Regional Council Drw DS1684(9) (Plan SP267888/101), in Appendix D for further details.

Proposed Lot 3 is serviced via an existing public sewer main (council asset) that is located on the southern side of the existing building on Proposed Lot 3. A sewer easement will be required over the council owned sewer mains. Refer to Rockhampton Regional Council Drw DS1684 (Plan SP267888/101), in Appendix D for further details.

Proposed Lot 4 is serviced via an existing private 150mmØ sewer main running from north to southeast along the Alexandra St Side of the property. Refer to Gary J.Garnett & Associates Pty Ltd Drw 1817/12/H1 Issue D, in Appendix D for further details.

The existing system is functional and has independent connections to each lot, and therefore shall remain as is. Refer to drawing 2477-02-002 within Appendix A for further details.

5.2 Sewer Easements

A total of four sewer easement are proposed for the site to protect the existing sewer infrastructure.

The public sewer main (council asset) that runs from north to southeast parallel with Alexandria Street requires a 4m easement as it is a council asset that is located on private land.

Proposed Lot 3 has a public sewer main (council asset) that will require a 4m easement as it is a council asset that is located on private land.

The private sewer main that runs along the Withers Street boundary requires a 4m easement that shall be located centrally over the existing main. The easement shall begin at the northern boundary of Lot 4 and follow the main along the northern boundary and along Withers Street before terminating at the southern end of the private sewer main, where it connects to the public sewer main (council asset).

Lastly the public sewer main (council asset) running from through Proposed Lot 3 requires an additional easement from the lot 1 boundary through the stormwater basin to the existing easement as it is a council asset that is located on private land.

6.0 Gas Reticulation

6.1 Gas Easement

An existing gas line has been located running from the south easter corner of the kitchen/ laundry units to Alexandra Street. This line will require an easement centrally located over the gas main. The width of this gas line will need to be in accordance to the asset owners' requirements.

Refer to drawing 2477-02-002 within Appendix A for further details.

7.0 Electrical and Telecommunications Services

7.1 General

An independent review shall by undertaken by a suitably qualified electrical engineer to determine the requirements for any electrical and telecommunication easements, service upgrades and/or alterations to suit the proposed subdivision.

References

1. Rockhampton Region Planning Scheme Policies – 2015
2. Rockhampton Regional Council's Interactive Mapping – January 2023
3. Queensland Urban Drainage Manual, Fourth Edition - 2016

Appendix A – Preliminary Layout Drawings

2477-02-001 – Existing Site Features

2477-02-002 – Proposed Site Layout

LEGEND	
---	Existing Lot Boundary
---	Existing Easement
-*-S*-S-	Existing Redundant Gravity Sewer
---S---	Existing Gravity Sewer & Manhole
---MSW---	Existing Storm water Line & Manhole
-*-*-*-*W-	Existing Redundant Water Line
---W---	Existing Water Line
---PM---	Existing Potable Water Meter
---G---	Existing Gas Line



POSITIONS OF EXISTING SERVICES SHOWN ARE PROVIDED FOR GUIDANCE ONLY AND LOCATIONS MAY VARY FROM THE INFORMATION SHOWN. ADDITIONAL EXISTING SERVICES MAY BE PRESENT ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE POSITION OF ALL EXISTING SERVICES ON SITE.

No.	Date	Revisions
A	18/09/2023	FOR INFORMATION

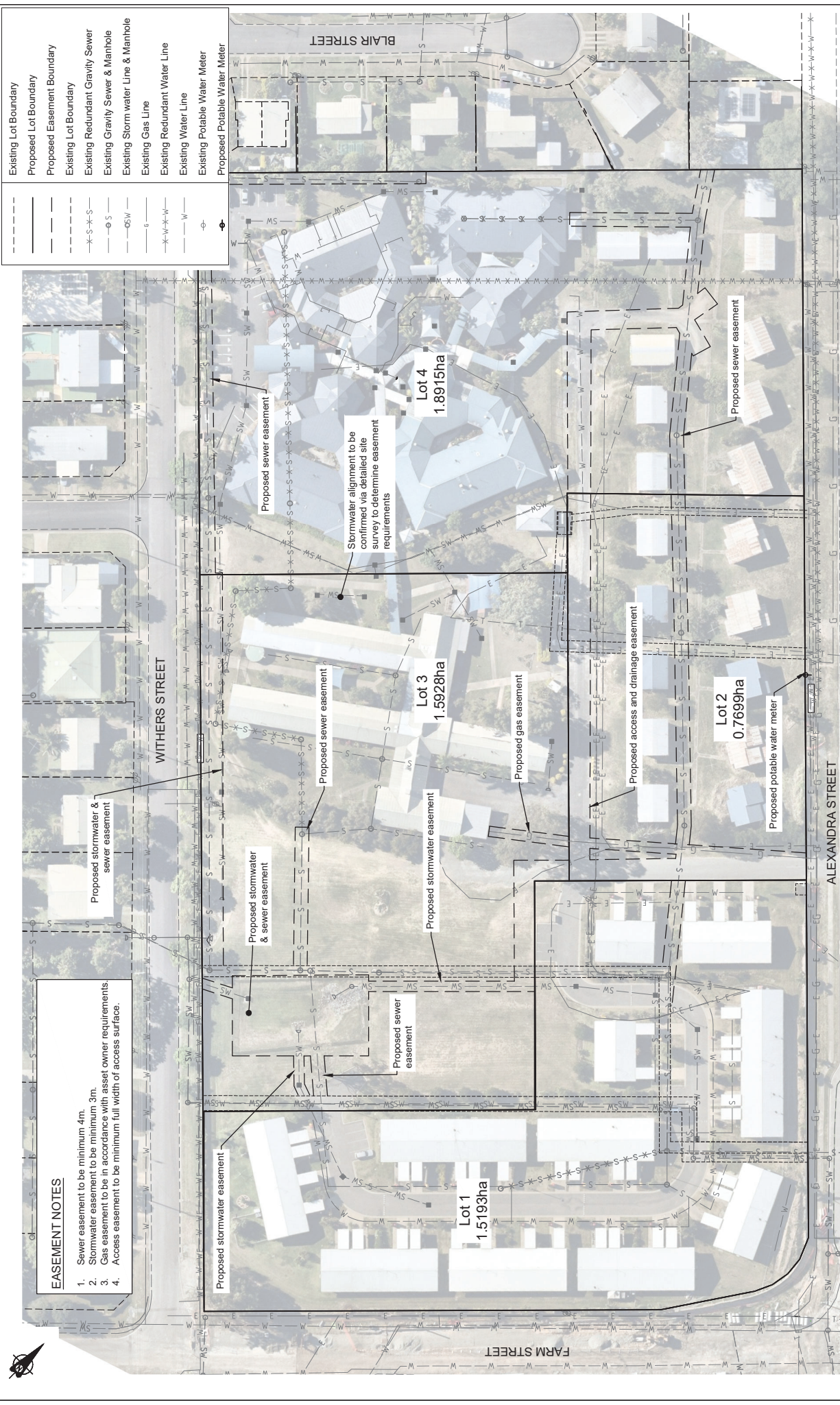
By	Date	Drawn	Checked	Approved
		BKP	18/19	
		BKP		
		BMH		
		Approved		

Client:		Project:	
Address:	85 Sefton Street, P.O. Box 1175, Melody QLD 4120	Client:	APOLLO CARE
Telephone:	(07) 4697 2330	Project:	4-LOT SUBDIVISION AT 20 WITHERS STREET, KAWANA
E-Mail:	mail@paragon.com.au		
Web Site:	www.paragon.com.au		
ABN No:	41 001 001 988		

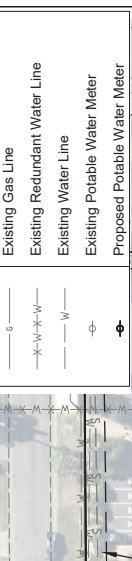
As Shown		Scale(s)	
Designed:	R.HURKING	Scale(s):	
Reviewed:	B.PURNELL	Date:	AHD
Approved:	B.PURNELL	PCE Job No:	2477-02
Drawing No:	2477-02-001	Rev. No:	A

INFORMATION ONLY (NOT FOR CONSTRUCTION)	
Detail:	EXISTING SITE FEATURES





- EASEMENT NOTES**
1. Sewer easement to be minimum 4m.
 2. Stormwater easement to be minimum 3m.
 3. Gas easement to be in accordance with asset owner requirements.
 4. Access easement to be minimum full width of access surface.



POSITIONS OF EXISTING SERVICES SHOWN ARE PROVIDED FOR GUIDANCE ONLY. LOCATIONS OF NEW SERVICES AND THE ADDITIONAL EXISTING SERVICES ARE PREPARED ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE POSITION OF ALL EXISTING SERVICES ON SITE.

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with:
Development Permit No. DP1-2493
Dated: 25 January 2024

PROJECT: 4-LOT SUBDIVISION AT 20 WITHERS STREET, KAWANA

APOLLO CARE

AS SHOWN
 R-118/19 B.PURNELL Date: 24/7/02
 B.PURNELL PCE Job No: 2477-02
 2477-02-002 Rev. No: B

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No	Date	Revisions	Drawn	Checked	Approved	RF/EG/SL
B	27/09/2023	LOT NUMBERS AMENDED	BMH	BMH	BMH	18/19
A	16/09/2023	FOR INFORMATION	BMH	BMH	BMH	18/19

PROPOSED LAYOUT

Scale: 1:1000

0 10 20 30 40 50 (Metres)

Appendix B – Photographs



Age care facility carpark, looking north towards the main entrance



Age care facility carpark, looking west



Age care facility water meter along Withers Street



Kitchen / Laundry units within Proposed Lot 3



Proposed Lot 3 water meter on Withers Street frontage



Age care facility drainage outlet. The headwall in the centre of the photo discharges to the headwall on the left-hand side of the photo (these stormwater flows bypass the stormwater basin)



The stormwater headwall that captures stormwater discharge from the age care facilities underground stormwater drainage network



Existing stormwater basin located in Proposed Lot 3



Photo looking along the Alexandra Street property boundary, looking south



Photo looking along the Farm Street property boundary, looking east



Road profile of access road inside Proposed Lot 1, looking east



Unsealed access at the west boundary of Proposed Lot 2, looking south

Appendix C – DBYD Search Results



Australia's Academic and Research Network

Sequence No: 218341092
Job No: 33130351
Location: 20 Withers Street, Kawana, QLD 4701



Overview

Legend | Scale: 1:2996

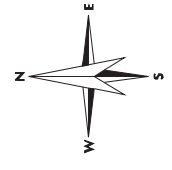
- Enquiry Area
- AARNet Fibre Optic Assets
- AARNet Power Assets
- Cadastre



DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither AARNet or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

For a full list of Map Symbols, please refer to the supplied DBYD Symbology Legend page

AS5488 Category "D" Plan

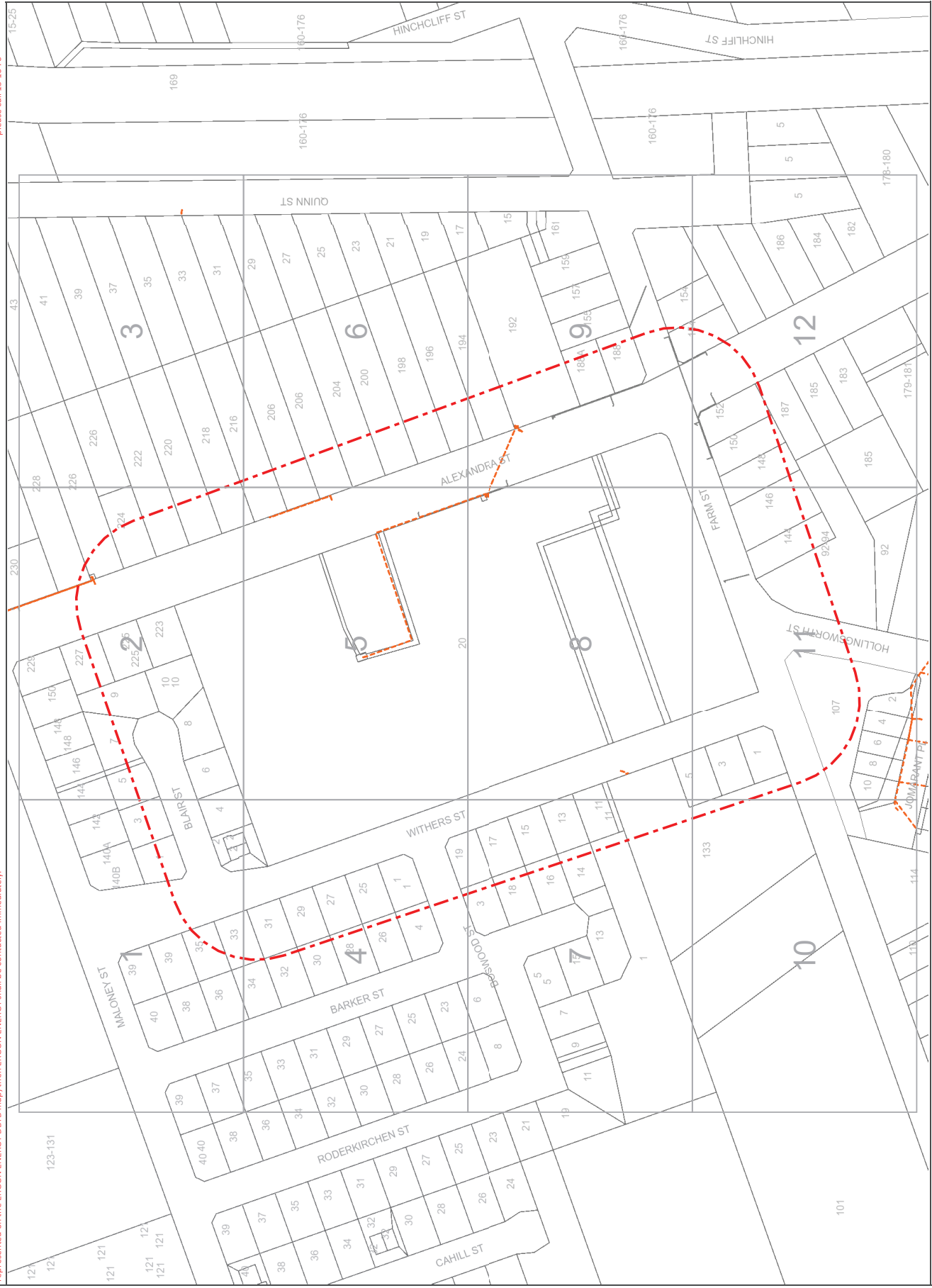


DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Ergon Energy nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

For Emergency Situations please call 13 16 70

Paper size A3 Map has been designed to be reproduced in colour

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ERGON ENERGY DBYD map, then ERGON ENERGY shall be contacted immediately.



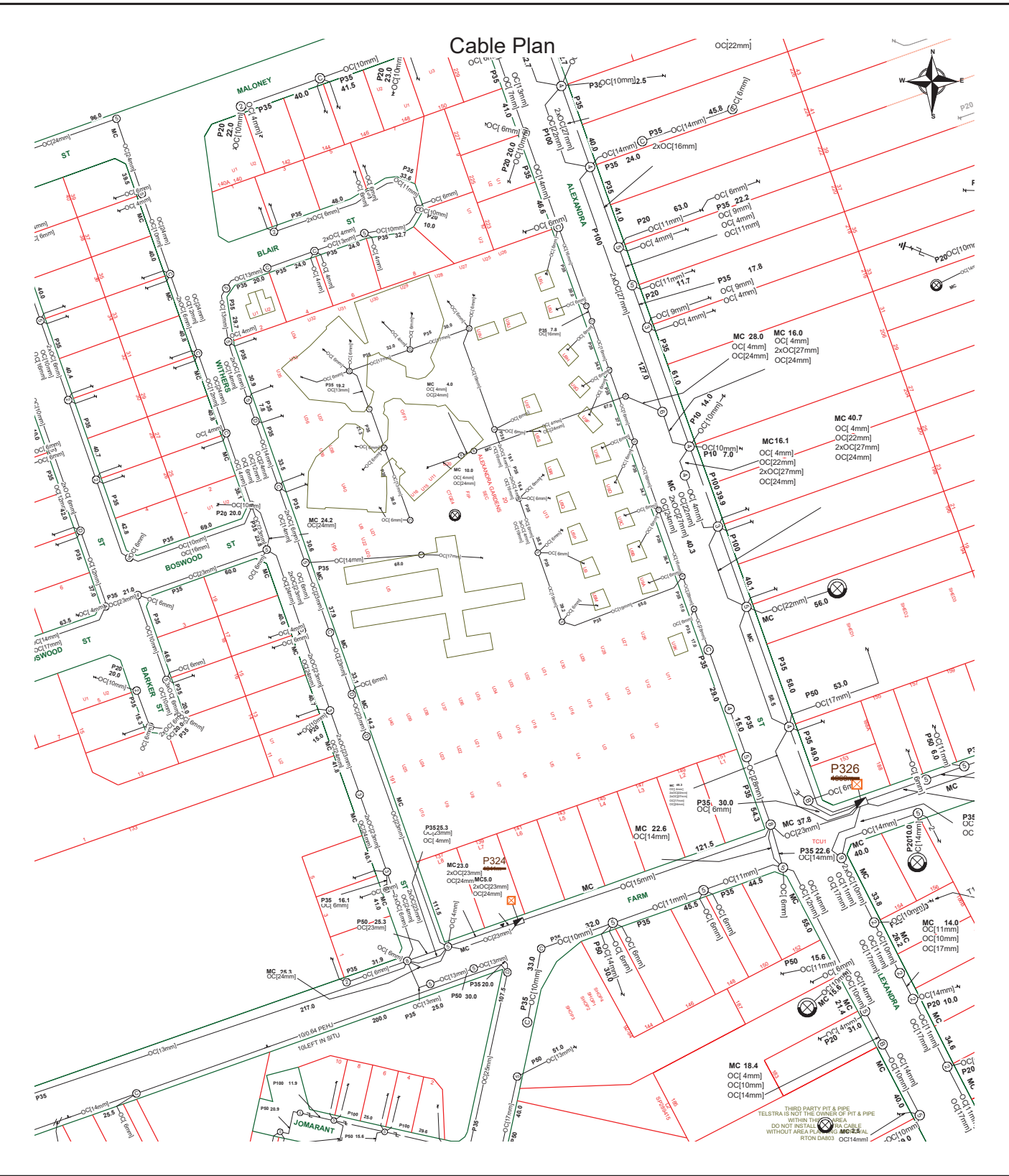
This output provides details of the ERGON ENERGY electrical network. As variations may exist no responsibility is incurred by ERGON ENERGY for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.



DBYD SYMBOLOLOGY LEGEND

	Cross Bonding Link Box - Critical		Planned Cross Bonding Link Box - New/Updated
	Disconnect Box - Critical		Planned Cross Bonding Link Box - Remove
	Ring Main Unit		Planned Disconnect Box - New/Updated
	Distribution Pad Substation		Planned Disconnect Box - Remove
	Earth		Planned Distribution Pad Substation - New/Updated
	Remote Earth		Planned Distribution Pad Substation - Remove
	Cable Marker		Planned Distribution Ground Substation - New/Updated
	Handhole		Planned Distribution Ground Substation - Remove
	Manhole		Planned Ring Main Unit - New/Updated
	Commercial Industrial Pillar		Planned Ring Main Unit - Remove
	Distribution Cabinet		Planned Earth - New/Updated
	Link Pillar		Planned Earth - Remove
	Service Pillar		Planned Cable Marker - New/Updated
	Feeder Pillar		Planned Cable Marker - Remove
	Pole		Planned Remote Earth - New/Updated
	Streetlight Column		Planned Remote Earth - Remove
	Communication Junction Pillar		Planned Underground Warning Post - New/Updated
	Communication Pit		Planned Underground Warning Post - Remove
	Fibre Patch Panel		Planned Remote Earth - New/Updated
	Pilot Cubicle		Planned Remote Earth - Remove
	Underground Asset 33kV and above		Planned Underground Warning Post - New/Updated
	Underground Asset below 33kV		Planned Underground Warning Post - Remove
	Underground Conduit with or without cable		Planned Fibre Patch Panel - New/Updated
	Pit		Planned Fibre Patch Panel - Remove
	Communication Boundary		Planned Fibre Patch Panel - New/Updated
	Reserve (RE)		Planned Fibre Patch Panel - Remove
	Water Resource (WR)		Planned Commercial Industrial Pillar - New/Updated
	Cadastral Parcels		Planned Commercial Industrial Pillar - Remove
	Planned Jointing Pit - New/Updated		Planned Distribution Cabinet - New/Updated
	Planned Jointing Pit - Remove		Planned Distribution Cabinet - Remove
	Planned Communication Boundary - New/Updated		Planned Link Pillar - New/Updated
	Planned Communication Boundary - Remove		Planned Link Pillar - Remove
	Planned Tunnel/Trench/Bore - New/Updated		Planned Service Pillar - New/Updated
	Planned Tunnel/Trench/Bore - Remove		Planned Service Pillar - Remove
			Planned Pole - New/Updated
			Planned Pole - Remove
			Planned Manhole - New/Updated
			Planned Manhole - Remove
			Planned Streetlight Column - New/Updated
			Planned Streetlight Column - Remove
			Planned Handhole - New/Updated
			Planned Handhole - Remove
			Planned Communication Junction Pillar - New/Updated
			Planned Communication Junction Pillar - Remove

Cable Plan



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>
 Ph - 13 22 03
 Email - Telstra.Plans@team.telstra.com
 Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

Sequence Number: 218341094

CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556
 Generated On 17/11/2022 10:00:31

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
 Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.



OPENING ELECTRONIC MAP ATTACHMENTS -

Telstra Cable Plans are generated automatically in either PDF or DWF file types dependant on the site address and the size of area selected. You may need to download and install free viewing software from the internet e.g.



PDF Map Files (max size A3)

Adobe Acrobat Reader (<http://get.adobe.com/reader/>),



DWF Map Files (all sizes over A3)

Autodesk A360 (<https://360.autodesk.com/viewer>) or

Autodesk Design Review (<http://usa.autodesk.com/design-review/>) for DWF files.
(Windows)



Telstra DBYD map related enquiries

email - Telstra.Plans@team.telstra.com

1800 653 935 (AEST Business Hours only)



REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY

Report online - <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>

Ph: **13 22 03**

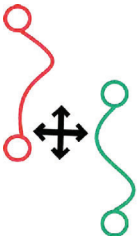
If you receive a message asking for a phone or account number say:

"I don't have one" then say "Report Damage" then press 1 to speak to an operator.



Telstra New Connections / Disconnections

13 22 00



Telstra asset relocation enquiries: 1800 810 443 (AEST business hours only).

NetworkIntegrity@team.telstra.com

<https://www.telstra.com.au/consumer-advice/digging-construction>

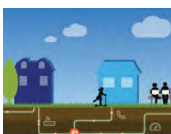
Certified Locating Organisation (CLO)

<https://dbydlocator.com/certified-locating-organisation/>



DBYDCertification[®]

Please refer to attached Accredited Plant Locator.pdf



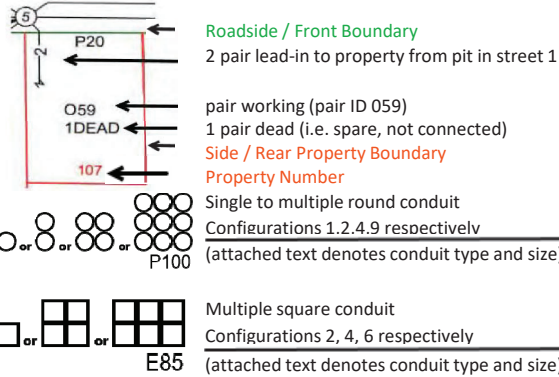
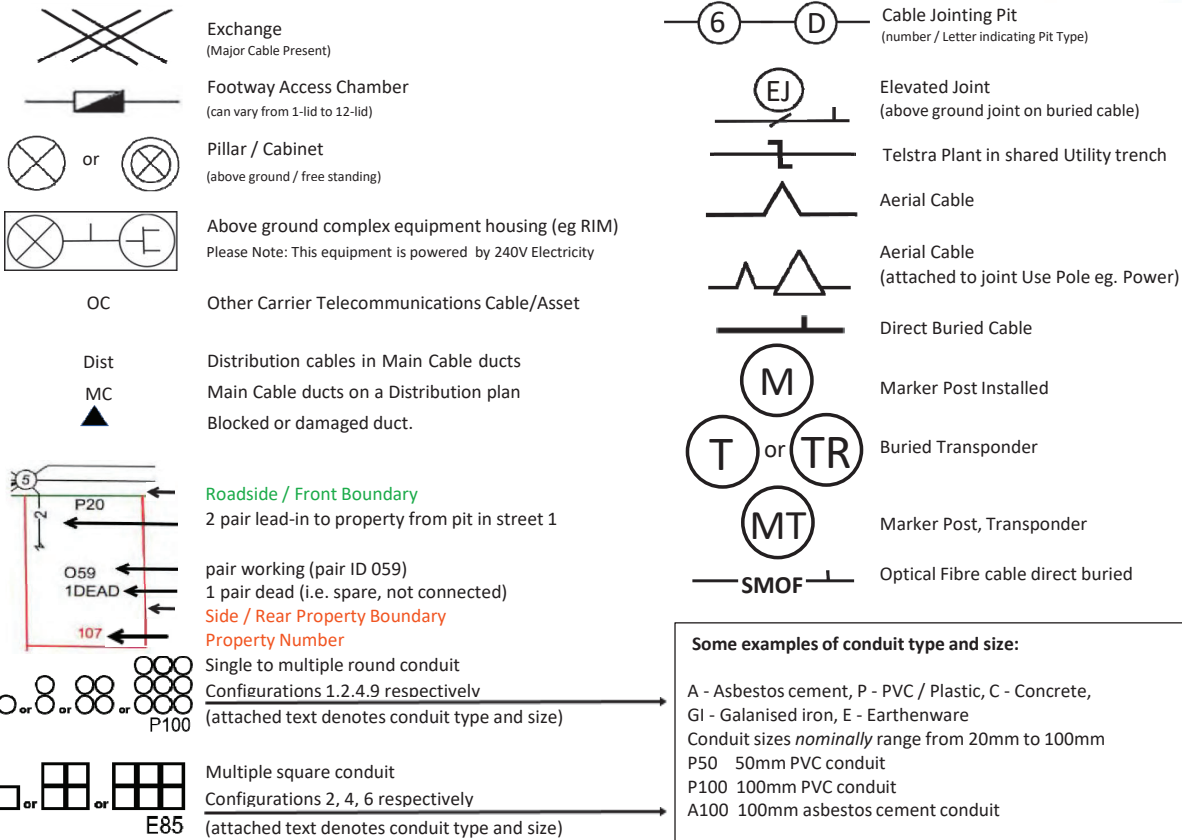
Telstra Smart Communities

Information for new developments (developers, builders, homeowners)

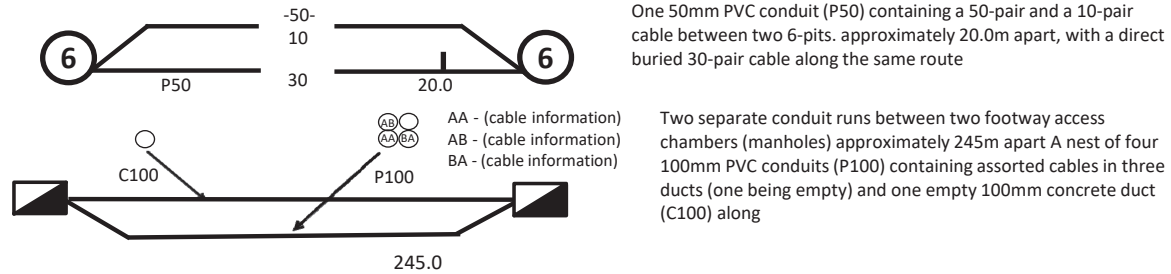
<https://www.telstra.com.au/smart-community>

LEGEND

For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935



Some Examples of how to read Telstra Plans



WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.



APA Group
PO Box 6014 Halifax Street
South Australia 5000



For your immediate information THERE IS A CRITICAL GAS PIPELINE AND/OR ASSOCIATED INFRASTRUCTURE in the area of your works.

17/11/2022

Company: Paragon Consulting Engineers Pty Ltd
Lauren Leotta
95 Sydney Street
Mackay
QLD 4740
Lauren.leotta@paragonce.com

Dear Lauren Leotta

Sequence Number: 218341096
Worksite Address: 20 Withers Street
Kawana
QLD 4701

Thank you for your Dial Before You Dig enquiry regarding the location of Gas Assets. We can confirm that the APA Group has **Critical Gas Assets** in the vicinity of the above location.

You are hereby notified that **before you commence any works** you are required to complete the attached **'Work In The Vicinity Of Critical Gas Assets'** request form and forward this to APA as soon as practicable.

As laid out in the **Duty of Care** requirements supplied, any activity in the vicinity of Critical Gas Assets operated by APA requires an Authority to Work Permit and potentially attendance on site by an APA representative during any work. Please ensure you read and comply with all the relevant requirements. Should you have any questions with regards to the attached information please contact our Qld Planning & Scheduling Officer - (07) 3215 6644.

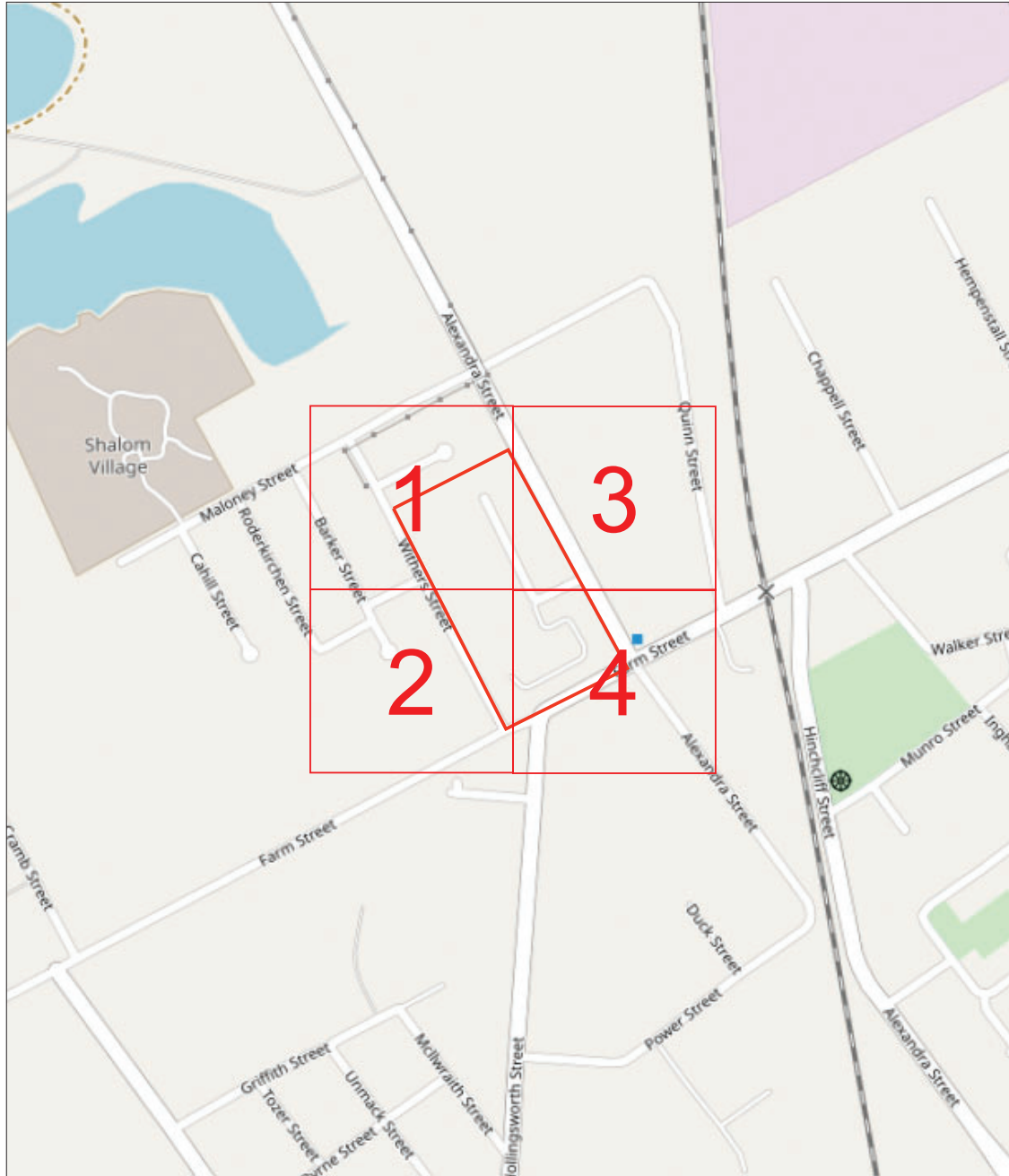
Caution - Damage to gas assets could result in possible explosion and fire with the risk of personal injury. For Gas Emergencies please call 1800 GAS LEAK (1800 427 532)




Please find enclosed the following information:-

- APA's Duty of Care, If you are unclear of your obligations under these requirements please contact the APA Representative listed above immediately
- An overview map with your requested area highlighted to assist in locating APA's Gas Assets
- A map(s) showing APA's Gas Assets in the requested area, this information is valid for 30 days from the date of this response, **please check this represents the area you requested**, if it does not, please contact the APA Representative listed above immediately
- A 'Work In The Vicinity Of Critical Gas Assets' request form, please complete and forward to APA as soon as practicable, via PermitsQld@apa.com.au, or the address above. **A minimum of 5 business days advance notification is required to process Authority To Work Request applications**

The outcome of this request may be that a qualified APA Group Representative will be required on site when you undertake your proposed works, if this is the case, this will need to be arranged dependent on their availability. Whilst we will aim to facilitate this within 5 business days from a decision, **this cannot be guaranteed.**

Site Address	20 Withers Street Kawana 4701	Sequence No	218341096
Name	Lauren Leotta		
Email	Lauren.leotta@paragonce.com		

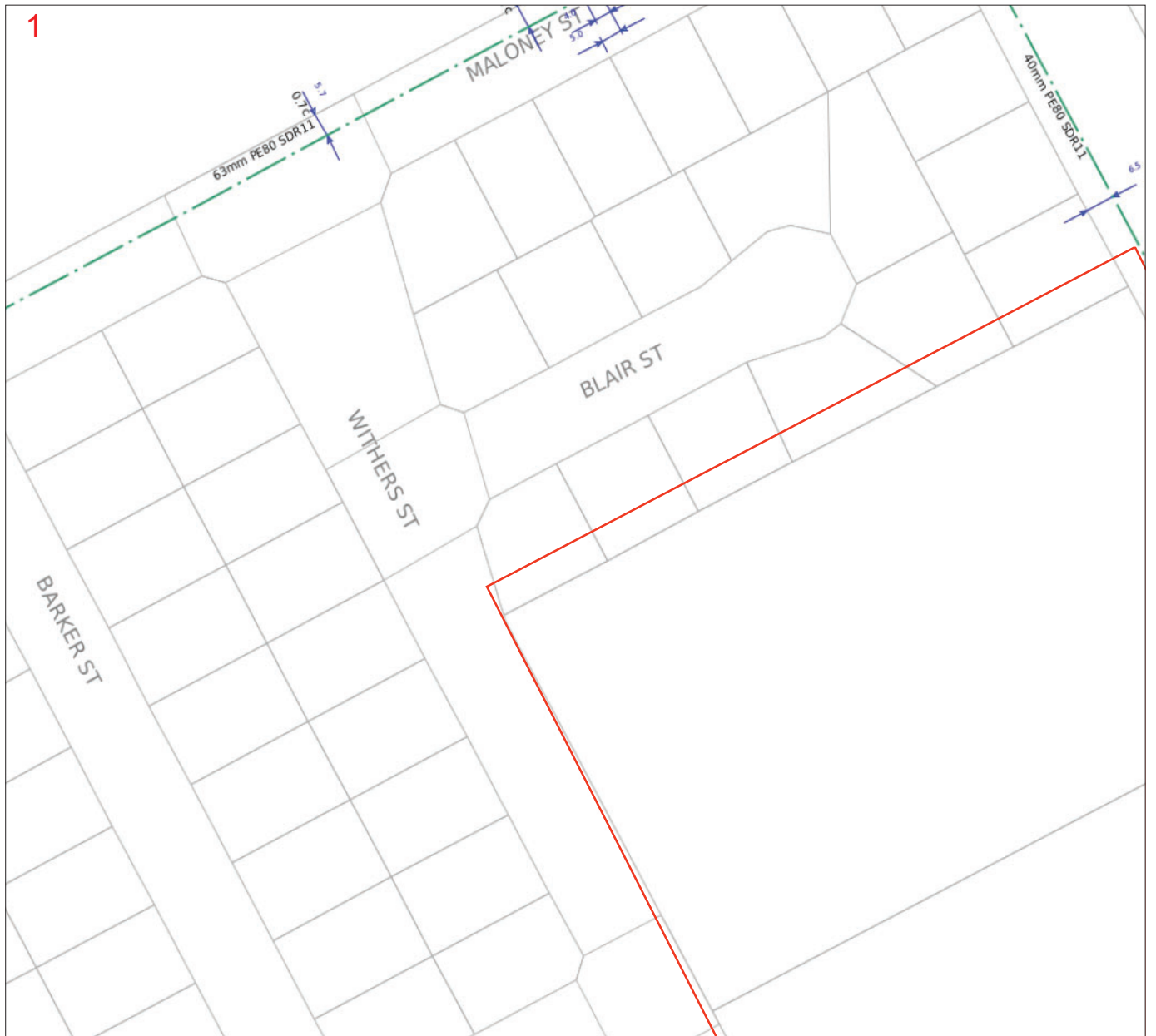


Scale 1: 6000		Enquiry Area 	Map Key Area 
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APA Group does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. APA Group is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map.

Site Address	20 Withers Street Kawana 4701	Sequence No	218341096
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Before you commence any works you are required to complete the attached 'Work In The Vicinity Of Critical Gas Assets' request form and forward this to APA as soon as practicable.



PIPE AND BOUNDARIES	PIPE CODE / MATERIALS	OBJECTS or TERMS
SERVICE (COLOUR BY PRESSURE)	C2, C1 Cast Iron	VALVES
LOW PRESSURES	CU Copper	BURIED VALVES
MEDIUM PRESSURES	N2, NY, NY11 Nylon	GATE / REGULATORS
HIGH PRESSURES	P# (e.g. P6) Polyethylene (PE)	GAS SUPPLIED = YES
TRANSMISSION PRESSURES	P6,P7,P9-P12 Medium Density PE	CP RECTIFIER UNIT
PRIORITY MAIN (BEHIND PIPE)	P2,P4,P8 High Density PE	CP TEST POINT/ ANODE
PROPOSED (COLOUR BY PRESSURE)	ST or S# Steel	SYPHON
LPG (COLOUR BY PRESSURE)	S6# (e.g. S61) Steel Class 600	TRACE WIRE POINT
ABANDONED	S3# (e.g. S33) Steel Class 300	PIPELINE MARKER
IDLE	W2 or GAL Wrought Galv. Iron	NOT TIED IN N.T.I.
SLEEVE	W3 or PGAL Poly Coat Wrought Galv. Iron	COUPLING & END CAP
CASING / SPLIT (BEHIND PIPE)	Pipe diameter in millimetres is shown before pipe code e.g. 40P6 = 40mm nominal diameter	DEPTH OF COVER
UNKNOWN		
EASEMENT/ JURISDICTION		
EXAMPLES		
40P6 in 80C2	40mm High Pressure Medium Density Polyethylene in an 80mm Cast Iron Casing	
63S8	63mm Medium Pressure Steel	

Map Key

1	3
2	4

Line / Polygon Request

This map is created in colour and shall be printed in colour

Scale 1:700	0 0.009km	
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APA Group does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. APA Group is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map.

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UNKNOWN		
EASEMENT/ JURISDICTION		
EXAMPLES		
40P6 in 80C2	40mm High Pressure Medium Density Polyethylene in an 80mm Cast Iron Casing	
63S8	63mm Medium Pressure Steel	

Map Key

1	3
2	4

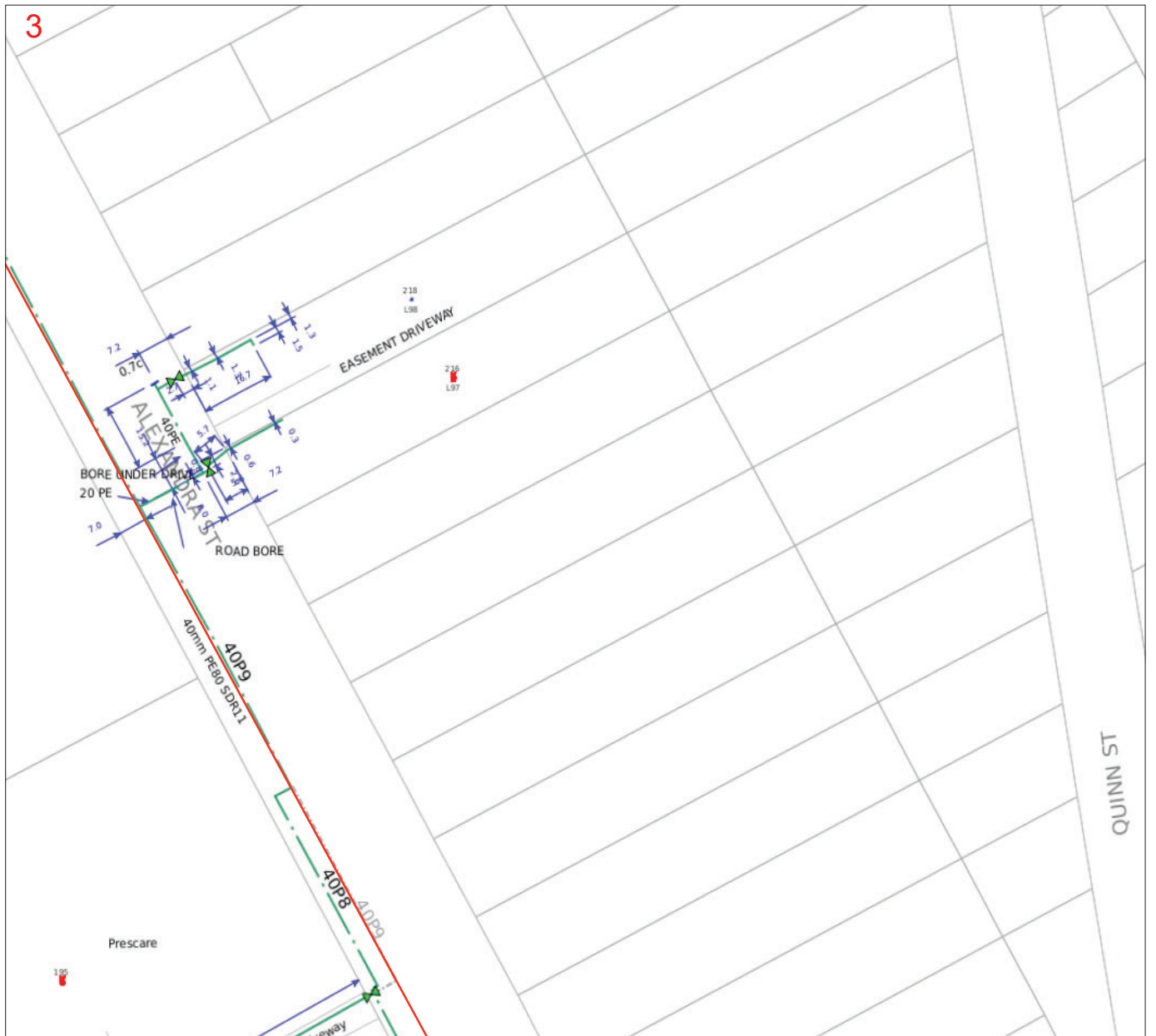
Line / Polygon Request This map is created in colour and shall be printed in colour

Scale 1:700	0 0.009km	
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Site Address	20 Withers Street Kawana 4701	Sequence No	218341096
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CASING / SPLIT (BEHIND PIPE)	Pipe diameter in millimetres is shown before pipe code e.g. 40P6 = 40mm nominal diameter	DEPTH OF COVER
UNKNOWN		
EASEMENT/ JURISDICTION		
EXAMPLES		
40P6 in 80C2	40mm High Pressure Medium Density Polyethylene in an 80mm Cast Iron Casing	
63S8	63mm Medium Pressure Steel	



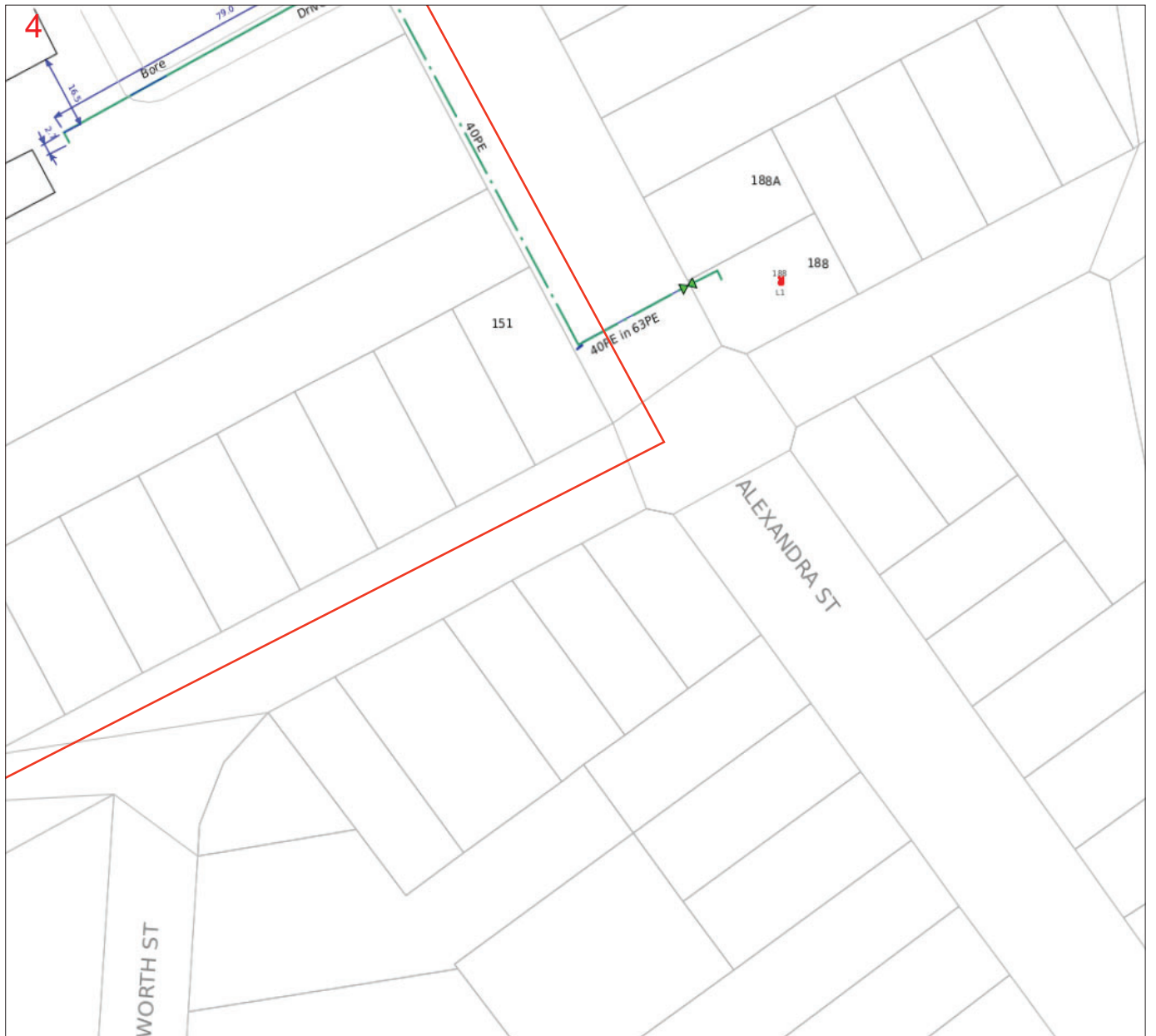
This map is created in colour and shall be printed in colour

Scale 1:700	0 0.009km	
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UNKNOWN	<i>e.g. 40P6 = 40mm nominal diameter</i>	
EASEMENT/ JURISDICTION		
EXAMPLES		
40P6 in 80C2	40mm High Pressure Medium Density Polyethylene in an 80mm Cast Iron Casing	
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Map Key

1	3
2	4

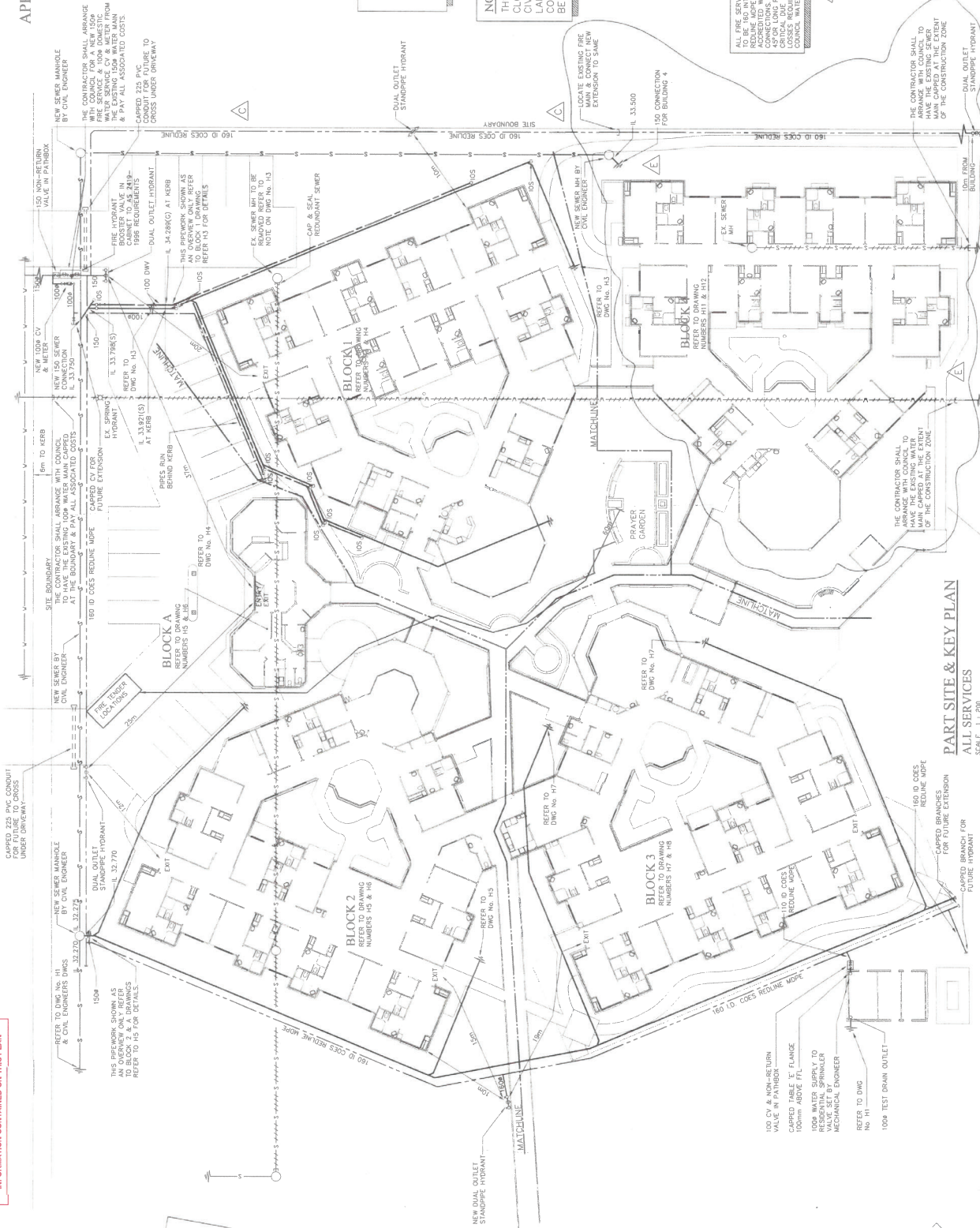
Line / Polygon Request This map is created in colour and shall be printed in colour

Scale 1:700	0 0.009km	
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Appendix D – Existing Services Drawings

ROCKHAMPTON REGIONAL COUNCIL ACCEPTS
NO RESPONSIBILITY FOR THE ACCURACY OF
INFORMATION CONTAINED ON THIS PLAN



PART SITE & KEY PLAN
SCALE: 1:100

ARCHITECT
GARY J. GARNETT & ASSOCIATES PTY LTD
LEVEL 1, 1000 QLD COAST HWY, PALM BEACH QLD 4221
PHONE: (07) 5534 2699
FAX: (07) 5598 2446
E-MAIL: gary@garnettjg.com.au

ISSUE DATE	AMENDMENT
A	13.03.02 PRELIMINARY ISSUE
B	25.03.02 REVISION ISSUE
C	19.04.02 SERVICE & HYDRANT ADDRESS
D	08.05.02 CONTRACT & WORKING ISSUE
E	10.07.02 PRELIMINARY ISSUE

HYDRAULIC SERVICES
EXISTING SERVICES
HOUSE DRAINAGE
STORMWATER
COLD WATER SERVICE



NORTH

PROJECT
48 BED NURSING CENTRE
AT
MORRISON PARK, ROCKHAMPTON.
FOR
PRESCARE.

DRAWN: N.B.B.
DATE: JANUARY 2002
SCALE: 1:200 AT A1
DRAWING NO.:
ISSUE NO.:
1817/12/H2

APPLICATION No.

Development Application
J 2647 2002

THE CONTRACTOR SHALL:
1) ARRANGE TO HAVE THE EXISTING 100mm WATER SERVICE CROSSING THE EXISTING 100mm WATER MAIN & SEALING AT EACH BOUNDARY & PAY ALL ASSOCIATED COSTS.
2) ALLOW TO REMOVE REDUNDANT SPRING WATER SERVICE, CV & METER WITH 100mm WATER MAIN & PAY ALL ASSOCIATED COSTS.
3) ARRANGE WITH COUNCIL FOR A NEW 100mm WATER SERVICE, CV & METER WITH 100mm WATER MAIN & PAY ALL ASSOCIATED COSTS.

with the requirements of the Building Act 1975
01 AUG 2002
Approved by the Council on 17th July 2002
Subject to the following conditions: 1. The contractor shall ensure that the work is completed in accordance with the requirements of the Building Act 1975.

NOTE
PIPEWORK SHOWN AROUND BUILDING IS FOR OVERVIEW PURPOSES ONLY. THIS IS SHOWN IN DETAIL ON THE 1:100 DRAWINGS H3 - H7.

NOTE
THE CONTRACTOR IS TO LIASE CLOSELY WITH THE BUILDER, CIVIL, ELECTRICAL & LANDSCAPE CONTRACTORS TO CO-ORDINATE THE SERVICES BETWEEN THE BUILDINGS.

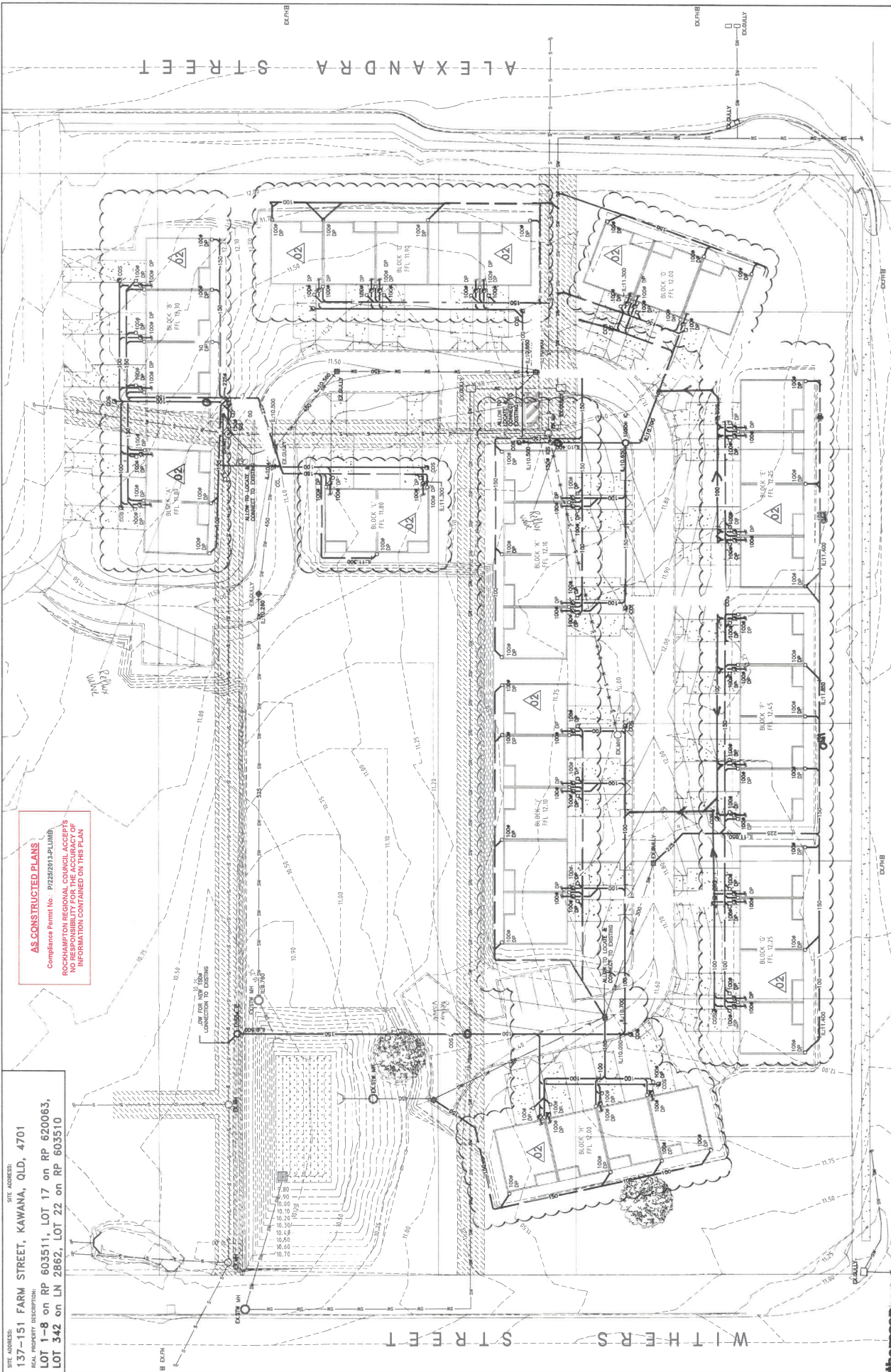
ALL FIRE SERVICE PIPEWORK IN GROUND TO BE 100mm INTERNAL DIAMETER COES ACCREDITED WELDER ELECTRO-FUSION JOINTS. ALL BRIDS TO BE MINIMUM 100mm ABOVE FFL. ALL JOINTS TO BE CRITICAL DUE TO MINIMUM FRICTION COUNCIL WATER PRESSURE.

THE CONTRACTOR SHALL TO ARRANGE WITH COUNCIL TO HAVE THE EXISTING WATER MAIN CAPPED AT THE EXTENT OF THE CONSTRUCTION ZONE.

SITE ADDRESS:
 137-151 FARM STREET, KAWANA, QLD, 4701
 REAL PROPERTY DESCRIPTION:
 LOT 1-8 on RP 603511, LOT 17 on RP 620083,
 LOT 342 on LN 2862, LOT 22 on RP 603510

AS CONSTRUCTED PLANS

Compliance Permit No. P12252013-PLUMB
 ROCKHAMPTON REGIONAL COUNCIL ACCEPTS
 NO RESPONSIBILITY FOR THE ACCURACY OF
 INFORMATION CONTAINED ON THIS PLAN



	CONTRACTOR: wooliam CONSTRUCTION Design and Construction 31 North Road, East Brisbane, QLD 4159 since 1984 PO Box 7124, East Brisbane, QLD 4159 www.wooliamconstruction.com.au	PROJECT: ALEXANDRA GARDENS PROPOSED 40 INDEPENDANT LIVING UNITS AGED CARE EXTENSION AT 20 WITHERS STREET & 131-151 FARM STREET, KAWANA, ROCKHAMPTON	HYDRAULIC CONSULTANT: 	CLIENT: PRESICARE TITLE: HYDRAULIC SERVICES SITE PLAN DRAINAGE LAYOUT	NORTH 	DATE ISSUED: 02
	DATE: 14/03/15 MK CHECKED: 03/07/15 MK DATE: 03/07/15 MK CHECKED: 03/07/15 MK	DRAWN BY: MK DATE: 2012 CHECKED BY: MK DATE: 2012	PROJECT NO: HS-01	DRAWING NUMBER: 02	SCALE: 1:250	PROJECT NO: HS-01

SANITARY DRAINAGE PLAN

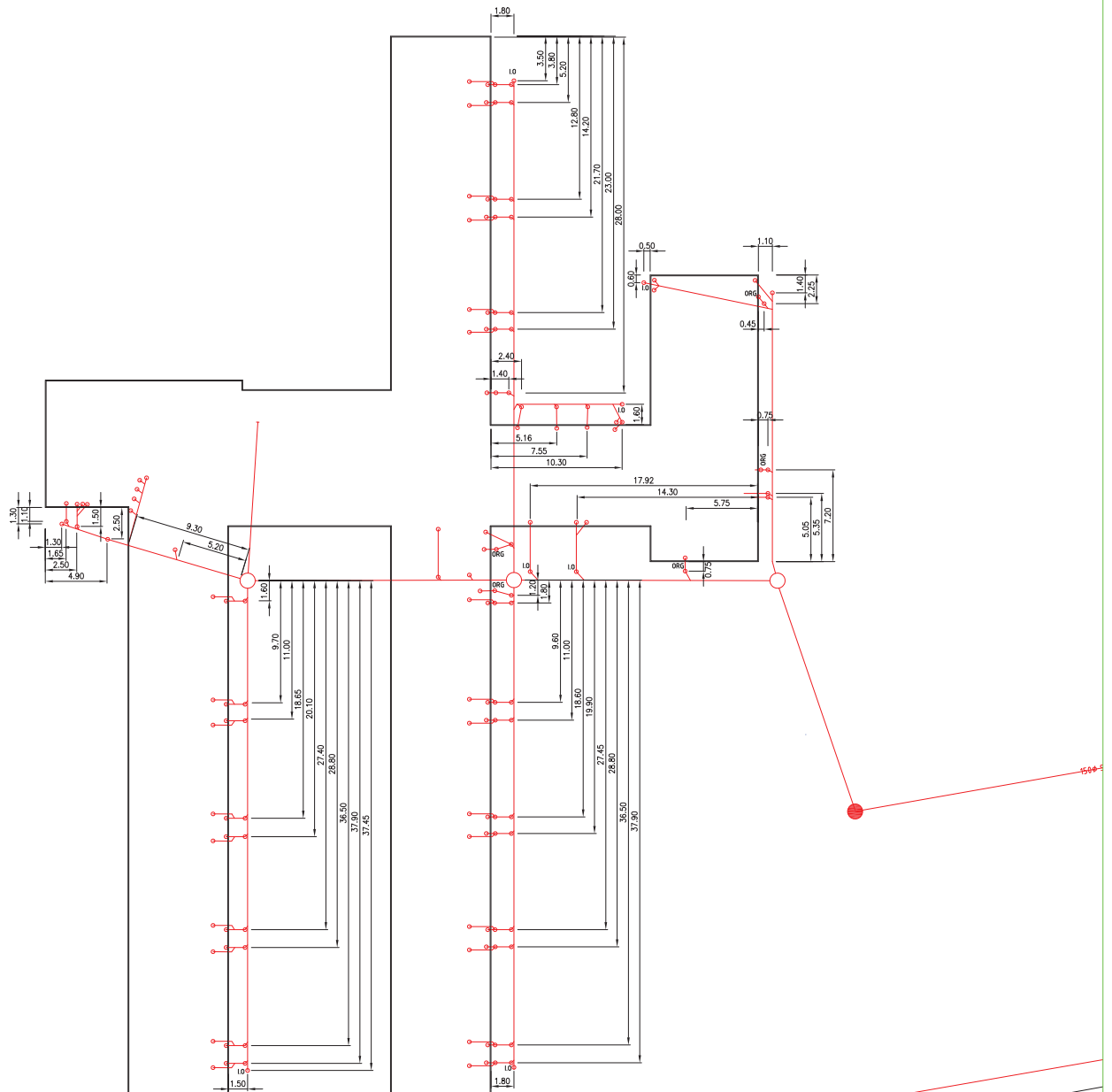
SITE: 20 WITHERS STREET DS : DS1684
 KAWANA
 LOT /PLAN: SP267888/101 FILE: 101SP267888_KITCHEN LAUNDRY.dwg
 APP/No: 34796

REFERENCE

AAV	AIR ADMITTANCE VALVE	I.O.S.	INSPECTION OPENING TO SURFACE
C.O.	CLEAR OUT	J.U.	JUMP UP
D.T.	DISCONNECTOR TRAP	O.R.G.	OVERFLOW RELIEF GULLY
F.W.G.	FLOOR WASTE GULLY	P.B.	PLAIN BEND
G.T.	GULLYTRAP	S.P.	SOIL PIPE
I.O.	INSPECTION OPENING	S.V.P.	SOIL VENT PIPE
I.O.B.	INSPECTION OPENING BEND	V.P.	VENT PIPE
I.O.J.	INSPECTION OPENING JUNCTION	EXP.	EXPANSION JOINT
I.O.P.	INSPECTION OPENING PIPE	REF.	REFLUX VALVE
W.I.P.	WATER INLET POINT	SW.	SWIVEL JOINT

LAST AMENDMENT
 LAST PLOTTED: 20/08/2019
 LAST SAVED BY: GLENNA

UNITS/LAUNDRY & KITCHEN
 ALEXANDRA GARDENS
 20 WITHERS STREET
 SP267888/101



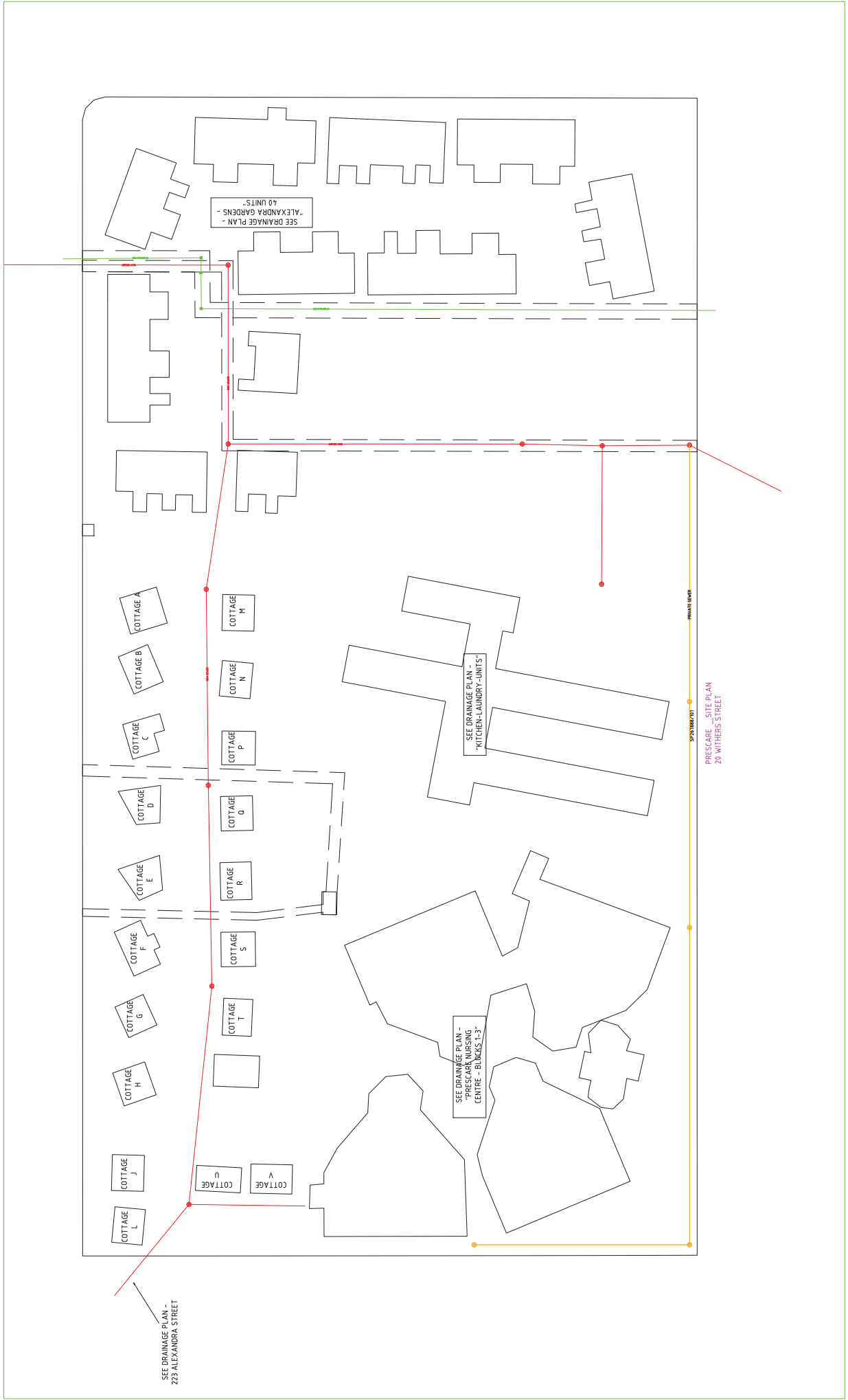
WARNING: IMAGE NOT AT ORIGINAL SCALE

SANITARY DRAINAGE PLAN
 SITE PLAN DS : DS1684 (9)
 20 WITHERS STREET
 KAWANA
 LOT / PLAN: SP267888/101 FILE: 101SP267888_SITE PLAN.dwg

REFERENCE

AAV	AIR ADMITTANCE VALVE	I.O.S.	INSPECTION OPENING TO SURFACE
C.O.	CLEAR OUT	J.U.	JUMP UP
D.C.	DISCONNECTOR TRAP	O.R.G.	OVERFLOW RELIEF GULLY
F.W.G.	FLOOR WASTE GULLY	P.B.	PLAN BEND
G.	GULLY	S.P.	SOIL PIPE
I.D.	INSPECTION OPENING	S.V.P.	SOIL VENT PIPE
I.O.B.	INSPECTION OPENING BEND	V.P.	VENT PIPE
I.O.I.	INSPECTION OPENING JUNCTION	⊠	EXPANSION JOINT
I.O.P.	INSPECTION OPENING PIPE	⊞	REFLEX VALVE
		⊝	SWIVEL JOINT

LAST AMENDMENT
 LAST PLOTTED: 10/10/2019
 LAST SAVED BY: GEMME



Appendix E – Detailed Site Survey

IMPORTANT NOTES:
(These notes are an integral part of this plan)
This plan has been prepared for Apolo Care Operations P/L for the purposes of Detail Survey. It is not to be used by any other person or corporation for any other purposes and is subject to the following limitations:
See face of plan

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June 2023

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Discipline	Author	Checked
Detail Survey	SP329781	
Customer / Proprietor	Veris	
Aerial Images		
Field Notes		
Engineering Design		
Architectural Design		
Landscape Design		

Discipline	Author	Checked
AS - Survey and Draw	04 Sep 2023	AC
AS - Engineer	10 Sep 2023	CL
Detail Survey		

Contour Interval	+
Locality	Kawana
Local Authority	Rockingham R.C.
Projection	MOGA200 Zone 56
Horizontal Meridian	MOGA200 Zone 56
Vertical Level Datum	Plane
Level Origin	PL589193 RL 12.123
Scale	1:500 @ A1
Surveyed	SPL
Designed	KL 13.06.2023
Drawn	
Checked	04 Sep. 2023
Plot Date	
Computer File Ref.	402190 CD-01 Rev B.mxd

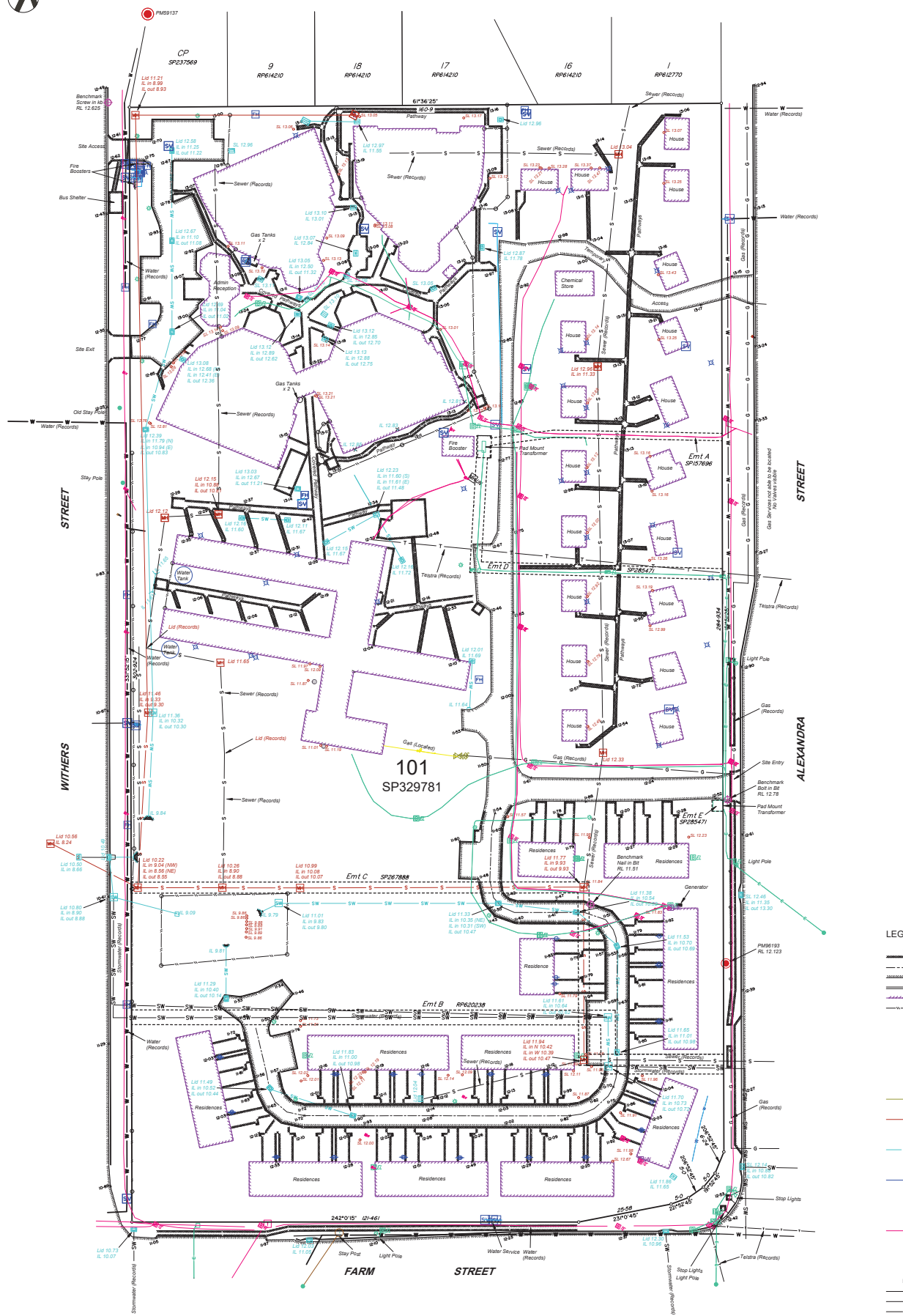
Plan of Structures and Services
Alexandra Gardens
20 Withers Street
Lot 101 on SP329781



veris

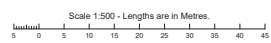
BRISBANE WHITSUNDAYS
071 464 4140 071 464 4000
MACKAY CAIRNS
071 462 9100 071 462 9460
VERIS.COM.AU
ACN 615 715 727
Veris Australia Pty Ltd

Drawing No	402190 CD-01	Issue	B
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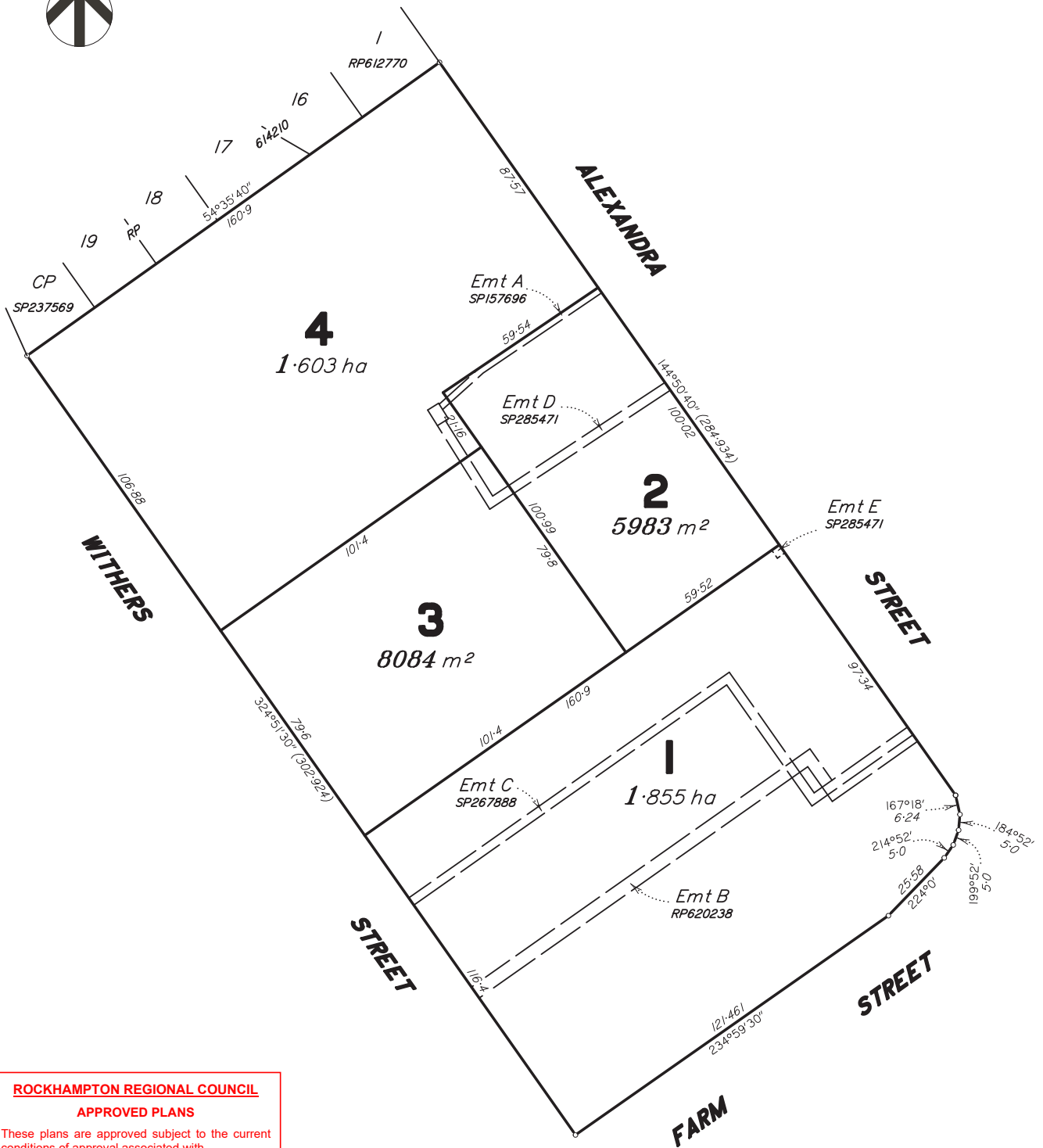


LEGEND

- Surveyed Level
- Concrete Edge
- Road Centreline
- Kerb Lip/Blumen Edge
- Kerb
- Building Edge
- Fence
- Fence Post
- Power Pole
- Light Pole
- Road Light
- ?
- Electrical Manhole
- Electrical Pillar
- Electrical Pit
- Gas Line Surveyed
- Gas Valve
- Sewer Line Surveyed
- Sewer Manhole
- Sewer Inspection Opening
- Stormwater Line Surveyed
- Grated Stormwater Pit
- Stormwater Manhole
- Water Pipe Surveyed
- Fire Hydrant
- Stop Valve
- Water Meter
- Water Tap
- Telstra Cable
- Telstra Pit
- Telstra Pillar
- Unknown service/feature
- Site Benchmark
- Invert Level
- Gas Line (Records)
- Sewer Line (Records)
- Stormwater Line (Records)
- Water Line (Records)



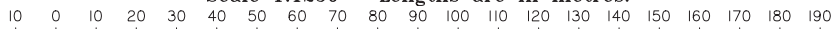
The title boundaries as shown herein were not marked by the author of the line of survey and have been determined by plan dimensions only and not by field measurement.
Services shown here are based on data obtained where possible by field survey. Some of the services shown on this plan have been located by a third party contractor. Some of the services shown on this plan have been provided from DGV, Google Earth Street View, Queensland Gas and Energy website.
If not able to be located, known services have been plotted from the records of relevant authorities where available and have been noted accordingly on the plan. Where water mains are not shown or are considered 'dark pipes', a minimum has been marked.
The Provider of underground services on this drawing are indicated by single line. Care should be exercised as the accuracy of service location is considered water and other that indicated on the drawing. Users should be aware during excavation or construction that services may exist for which there is no record.
Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed location of all services.



ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/81-2023
Dated: 25 January 2024

Scale 1:1250 – Lengths are in metres.



Sheet 1 of 2

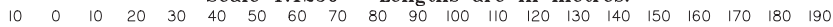
<p>THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF VERIS</p>		<p>Data Sources</p> <ul style="list-style-type: none"> Cadastral Boundaries SP329781 Contours / Topographic Aerial Images Flood Level Engineering Design Architectural Design Landscape Design 		<p>IMPORTANT NOTES: (These notes are an integral part of this plan) This plan has been prepared for LPM LINEAR Project Management for the purposes of a subdivision proposal plan. It is not to be used by any other person or corporation or for any other purposes and is subject to the following limitations: this information shown on the is plan is correct at the date of survey.</p>		<p>Locality: Kawana Local Authority: Rockhampton RC Projection: Horizontal Meridian: Vertical Level Datum: Level Origin: Scale: 1:1250 @ A3 Surveyed: Designed: Drawn: Checked: Plot Date: Computer File Ref: 402190.dwg</p>		<p>LPM LINEAR Project Management</p> <p>PLAN OF DEVELOPMENT</p> <p>Proposed Subdivision of Lot 101 on SP329781 20 Withers Street KAWANA</p>		<p style="text-align: center;">veris</p> <p>BRISBANE WHITSUNDAYS (07) 3656 4700 (07) 4545 6600 MACKAY CAIRNS (07) 4957 9700 (07) 4252 3400 veris.com.au ACN 615 735 727 Veris Australia Pty Ltd</p>							
<p>Copyright © Veris Australia Pty Ltd. 21/11/2021</p>		<table border="1"> <tr> <td>B</td> <td>Boundaries altered</td> <td>16/06/2023</td> <td>LF</td> </tr> <tr> <td>A</td> <td>Original</td> <td>17/11/2022</td> <td>LF</td> </tr> <tr> <td>Issue</td> <td>Revisions</td> <td>Date</td> <td>Drawn</td> </tr> </table>		B	Boundaries altered	16/06/2023	LF	A	Original	17/11/2022	LF	Issue	Revisions	Date	Drawn	<p>Drawing No 402190 PP-01</p> <p>Issue B</p>	
B	Boundaries altered	16/06/2023	LF														
A	Original	17/11/2022	LF														
Issue	Revisions	Date	Drawn														



ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/81-2023
Dated: 25 January 2024

AERIAL IMAGE SUPPLIED BY Qld Globe

Scale 1:1250 – Lengths are in metres.



Sheet 2 of 2

<p>THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF VERIS</p> <p>IMPORTANT NOTES: (These notes are an integral part of this plan) This plan has been prepared for LPM LINEAR Project Management for the purposes of a subdivision proposal plan. It is not to be used by any other person or corporation or for any other purposes and is subject to the following limitations: this information shown on the is plan is correct at the date of survey.</p> <p>Copyright © Veris Australia Pty Ltd. 21/11/2021</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Data Sources</td> <td>SP329781</td> </tr> <tr> <td>Cadastral Boundaries</td> <td>•</td> </tr> <tr> <td>Contours / Topographic</td> <td>• Qld Globe</td> </tr> <tr> <td>Aerial Images</td> <td>•</td> </tr> <tr> <td>Flood Level</td> <td>•</td> </tr> <tr> <td>Engineering Design</td> <td>•</td> </tr> <tr> <td>Architectural Design</td> <td>•</td> </tr> <tr> <td>Landscape Design</td> <td>•</td> </tr> </table>	Data Sources	SP329781	Cadastral Boundaries	•	Contours / Topographic	• Qld Globe	Aerial Images	•	Flood Level	•	Engineering Design	•	Architectural Design	•	Landscape Design	•	<p>Locality: Kawana Local Authority: Rockhampton RC Projection: • Horizontal Meridian: • Vertical Level Datum: • Level Origin: • Scale: 1:1250 @ A3 Surveyed: • Designed: • Drawn: LF 17/11/2022 Checked: NC 18/11/2022 Plot Date: 16 Jun, 2023 Computer File Ref: 402190.dwg</p>	<p>LPM LINEAR Project Management</p> <hr/> <p>PLAN OF DEVELOPMENT</p> <hr/> <p>Proposed Subdivision of Lot 101 on SP329781 20 Withers Street KAWANA</p>	<p>BRISBANE WHITSUNDAYS (07) 3666 4700 (07) 4545 6600 MACKAY CAIRNS (07) 4957 9700 (07) 4222 3400 veris.com.au ACN 615 735 727 Veris Australia Pty Ltd</p>
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