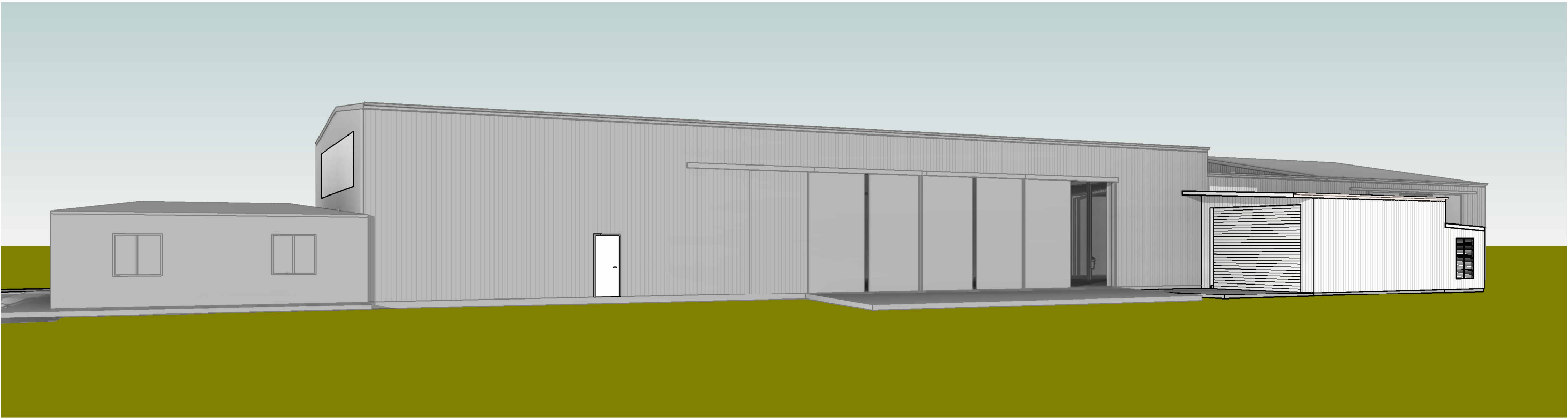


PROPOSED ADDITIONS AND ALTERATIONS FOR KENNARDS HIRE AT 1 FEATHERSTONE STREET PARKHURST



2 3D View 1



3 3D View 2

Plan Index	
Sheet Number	Sheet Name
00	Cover Sheet
01	Site Plan
02	Existing Floor Plan
03	Demolition Plan
04	Floor Plan
05	Mezzanine Floor Plan
06	Elevations
07	Sections and Roof Plan
08	Slab Plan
09	Indicative Roof Framing Plan
10	Building Water & Air Layout Plan
11	Disabled Toilet Details
12	Electrical Plan
13	Lighting Plan
14	Landscape Plan
15	Swept Path for Delivery/Garbage Truck Plan
16	Swept Path for Passenger Car plan

General Notes

CONST. TO BE IN ACCORD WITH THE QLD. BUILDING ACT 1975-1998 & THE STANDARD BUILDING REGULATION 1993 AND SHALL COMPLY WITH ALL LOCAL AUTHORITY REGULATIONS AND REQUIREMENTS.
DO NOT SCALE
ALL WALL DIMENSIONS ARE TO STRUCTURAL COMPONENTS - NOT TO THE FACE OF LININGS/FINISHES
VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE STARTING WORK.
WHERE CAVITY SLIDER DOORS ARE FITTED IT IS RECOMMENDED TO USE STEEL FRAMED CAVITY SLIDERS OR 90mm WALL FRAMES FOR TIMBER FRAMED CAVITY SLIDERS. USE WET AREA APPROVED CAVITY SLIDING DOOR FRAMES IN WET AREAS.
TOILET DOORS MUST OPEN OUTWARDS, SLIDE OR BE FITTED WITH DEMOUNTABLE HINGES IF THE DISTANCE BETWEEN THE PAN AND NEAREST PART OF THE DOORWAY IS LESS THAN 1200mm.

Site Details

REFER TO SITE DEVELOPMENT PLAN BY OTHERS WHERE PROVIDED.
SITE LEVELS AND FINISHED FLOOR LEVELS ARE TO BE VERIFIED BY THE BUILDER BEFORE STARTING WORK.
ALL CUT & FILLED EARTH EMBANKMENTS ARE TO BE MAX. SLOPE OF 1 IN 3 UNO ON CONSULTANTS PLAN. BANKS TO BE GRASSED UNO.
FOR LEVEL SITES FALL GROUND AWAY FROM BUILDING 50mm IN A MINIMUM DISTANCE OF 1m ON ALL SIDES.
FOR SLOPING SITES DIVERT SURFACE WATER FROM UPHILL SIDE AWAY FROM BUILDING.
PROVIDE FALLS TO FINISH GROUND SURFACE TO PREVENT WATER PONDING AT ANY POINT IN THE VICINITY OF THE BUILDING OR ON THE COMMON BOUNDARY OF ADJOINING ALLOTMENTS.
TERMITES MANAGEMENT - NEW BUILDING WORK

Stormwater Drainage

ALL STORM WATER DRAINAGE WORK TO BE IN ACCORDANCE WITH AS 3500. DISCHARGE RAIN WATER DOWN PIPES TO INTER-ALLOTMENT DRAINAGE SYSTEM IF AVAILABLE. KERB AND CHANNEL IF FALL PERMITS OR SPLASH PADS (SPLASH PADS NOT PERMITTED ON CLASS H & E SITES). ENSURE RAIN WATER IS DIRECTED AWAY FOR THE BUILDING. 100gpm OF ROOF AREA (MIN.) TO DISCHARGE TO RAIN WATER TANK FOR NEW HOUSES & UNITS.

Sewer Drainage

ALL PLUMBING & DRAINAGE WORK TO BE IN ACCORDANCE WITH WATER & SEWERAGE SUPPLY ACT AND AS 3500.
FOR SEWERED SITES DISCHARGE WASTE WATER TO COUNCIL SEWER.
THE LOCATION OF THE SEWER MAIN HAS BEEN SCALED FROM COUNCIL PLANS. WHERE THE SEWER LINE IS 2m OR LESS FROM THE BUILDING STRUCTURE IT IS THE RESPONSIBILITY OF THE BUILDER TO PHYSICALLY LOCATE THE SEWER MAIN BEFORE STARTING WORK.
FOR UNSEWERED SITES DISCHARGE WASTE WATER TO MINI TREATMENT SYSTEM, SEPTIC TANK OR HOLDING TANK AS SHOWN ON CONSULTANTS PLANS.

Slab & Footings

CONCRETE WORK TO BE IN ACCORDANCE WITH AS 3600.

Masonry

ALL MASONRY WORK TO COMPLY WITH AS 3700.
CONSTRUCT MASONRY CONTROL JOINTS AT LOCATIONS SHOWN ON ENGINEERS FOOTING PLAN

Timber Framing

ALL TIMBER SIZES AND CONNECTIONS NOT SHOWN TO BE IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDING ON WIND SPEED)
EXTERNAL TIMBER MEMBERS TO BE DURABILITY CLASS 1 OR 2 WITH SAPWOOD REMOVED OR PRESERVATIVE TREATED TO H3 UNLESS STATED OTHERWISE. ALL PINE TO BE LOSP TREATED TO H3 LEVEL.
ALL STRUCTURAL PLY IS TO BE IN ACCORDANCE WITH AS/NZ 2269 AND FIXED TO MANUFACTURERS SPECIFICATIONS.

ALL EXTERNAL NAILED AND SCREWED FIXING IN COASTAL AREAS FOR (BUT NOT LIMITED TO) CLADDING, FLOORING, SHEET LININGS, WINDOWS, DOOR FRAMES AND HINGES TO BE STAINLESS STEEL OR SILICON BRONZE.
TIMBER ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDING ON WIND SPEED) AND WPHS REQUIREMENTS.

METAL ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS.

TILE ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS.

ROOF TRUSSES - TIE DOWN, CONNECTIONS AND BRACING TO TRUSS MANUFACTURERS DETAILS

WALL FRAMES - TO BE DESIGNED, CERTIFIED & SUPPLIED BY WALL FRAME MANUFACTURER UNLESS DETAILED ON PLAN.

FLOOR FRAMING - FOR LVL MEMBERS IT IS RECOMMENDED THAT THE TOP EDGE BE PROTECTED FROM WATER PENETRATION DURING CONSTRUCTION. THIS CAN BE ACHIEVED BY THE APPLICATION OF A WATERPROOF TAPE OR PAINTING THE TOP EDGE OF THE MEMBER WITH DURAM DURABILT ACRYLIC. PAINTING IS RECOMMENDED WHILE MEMBERS ARE STACKED.
ALL OTHER MEMBERS EXCLUDING HARDWOOD SHOULD BE PROTECTED AS PER MANUFACTURERS SPECIFICATIONS.

INTERNAL STRIP FLOORING IS TO BE WEATHER PROTECTED AT ALL TIMES AND TO HAVE A MOISTURE CONTENT NOT GREATER THAN 15%.

Termite Protection

PROVIDE PROTECTION FOR NEW BUILDINGS IN ACCORD. WITH THE B.C.A. - QUEENSLAND AMENDMENTS AND AS 3602.1 - 2000.

TERMITES MANAGEMENT - NEW BUILDING WORK

PROVIDE PROTECTION FOR EXISTING BUILDINGS IN ACCORD. WITH THE B.C.A. - QUEENSLAND AMENDMENTS AND AS 3602.2 - 2000.

TERMITES MANAGEMENT - IN AND AROUND EXISTING BUILDINGS AND STRUCTURES.

OPTION SELECTED:-
☐ GRADED STONE BARRIERS
☐ MINIMUM 75mm SLAB EDGE EXPOSURE
☐ CHEMICAL IMPREGNATED PLASTIC SHEET
☐ CHEMICAL RETICULATION SYSTEM
☐ STAINLESS STEEL MESH
☐ CHEMICAL PERIMETER & PENETRATIONS SYSTEM
☐ SHIELDING
☐ MONOLITHIC CONCRETE SLAB
☐ ALL PRIMARY BUILDING ELEMENTS OF TERMITE RESISTANT MATERIALS
☐ METAL TERMITE CAP/STRIP
☐ SHIELDING

OTHER: _____

SUBSEQUENT INSPECTIONS ARE TO BE CARRIED OUT TO INSTALLERS REQUIREMENTS

Roofing

METAL ROOFING TO BE IN ACCORDANCE WITH AS 1562.1 AND FIXED TO MANUFACTURERS SPECIFICATIONS.

TILE ROOFING TO BE IN ACCORDANCE WITH AS 2049 AND FIXED TO MANUFACTURERS SPECIFICATIONS.

Wall Cladding

WALL CLADDING TO BE FIXED TO MANUFACTURERS SPECIFICATIONS.

Aluminium Windows & Doors

ALUMINIUM WINDOWS AND DOORS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AS 2047/48.

Structural Steel

RHS & SHS STEEL SECTIONS TO BE FIRST GRADE STEEL COMPLYING WITH AS 1163 AND HOT ROLLED SECTIONS TO COMPLY WITH AS 3679.

ALL STRUCTURAL STEEL MATERIALS, WORKMANSHIP, FABRICATION & ERECTION SHALL COMPLY WITH THE REQUIREMENTS OF AS 4100, AS 1538, AS 1554 AND ANY OTHER RELEVANT SPECIFICATIONS.

ALL EXTERNAL BOLTS, NUTS, WASHERS, BRACKETS ETC. TO BE HOT DIPPED GALVANIZED.

Wet Areas

WATER PROOFING OF WET AREAS IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA AND AS 3740.

FLOORS TO WET AREAS - CERAMIC TILES OR OTHER APPROVED MATERIALS.

SPLASH BACKS-
MIN. HEIGHT
150mm
1800mm
FIXTURE
BATHS, BASINS & SINKS
SHOWERS
MATERIAL
CERAMIC TILES*
CERAMIC TILES*

Insulation

- R1.8 ANTICON BLANKET ROOF INSULATION TO ALL NEW ROOFS

Sustainability Requirements

NEW HOUSES/ADDITIONS WITH PLUMBING (NEW WORK ONLY):

-PROVIDE AAA-RATED SHOWER ROSES WITH MIN. 3 STAR WATER EFFICIENCY AND STANDARDS RATING
-PROVIDE DUAL-FLUSH TOILETS WITH MIN. 4-STAR WATER EFFICIENCY AND STANDARDS RATING
-PROVIDE TAPWARE WITH MIN. 3-STAR WATER EFFICIENCY LABELING AND STANDARDS RATING FOR TAPS SERVING:
(A) LAUNDRY TUBS &
(B) KITCHEN SINKS &
(C) BASINS

-PROVIDE WATER PRESSURE-LIMITING DEVICES (WHERE WATER PRESSURE EXCEEDS 500 KILOPASCALS)

-ENERGY EFFICIENT LIGHTING TO A MINIMUM OF 80% OF THE ENCLOSED SPACE.

ADDITIONS WITHOUT PLUMBING (NEW WORK ONLY):

-ENERGY EFFICIENT LIGHTING TO A MINIMUM OF 80% OF THE ENCLOSED SPACE. IF PROVIDED AIR CONDITIONERS ARE TO HAVE A MINIMUM EFFICIENCY RATIO (EER) OF 2.9

REFER TO ENERGY EFFICIENCY REPORT BY OTHERS FOR ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS IF SUPPLIED.

Working At Heights

FOR CONSTRUCTION, CLEANING AND MAINTENANCE PROCEDURES WHERE THERE IS A RISK OF FALLING, COMPLY WITH THE FOLLOWING CLAUSE FROM DIV. 4 OF PART 18 OF THE "WORKPLACE HEALTH AND SAFETY REGULATION": (CLASS 188 - FALL ARREST HARNESS SYSTEM)

Stair Treads, Landings & Ramps

TREADS MUST HAVE A SLIP-RESISTANT FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS AND EDGE OF LANDINGS IN ACCORD. WITH NCS VOL. 2 PART 3.9.1.4 SLIP-RESISTANCE

APPLICATION	SURFACE CONDITIONS	
	DRY	WET
RAMP NOT STEEPER THAN 1:8	P4 or R10	P5 or R12
TREAD SURFACE	P3 or R10	P4 or R11
NOSING OR LANDING EDGE STRIP	P3	P4

Other Consultants

REFER TO DETAILS BY OTHER CONSULTANTS FOR:

- SLAB & FOOTING DESIGN
- SOIL TEST
- SITE CONTOURS
- CONCRETE DRIVEWAY INCLUDING FALLS
- ALL STRUCTURAL DETAILS
- ROOF DRAINAGE DESIGN
- SITE DRAINAGE DESIGN
- SEWER DRAINAGE DESIGN
- WATER RETICULATION DESIGN
- ELECTRICAL DETAILS



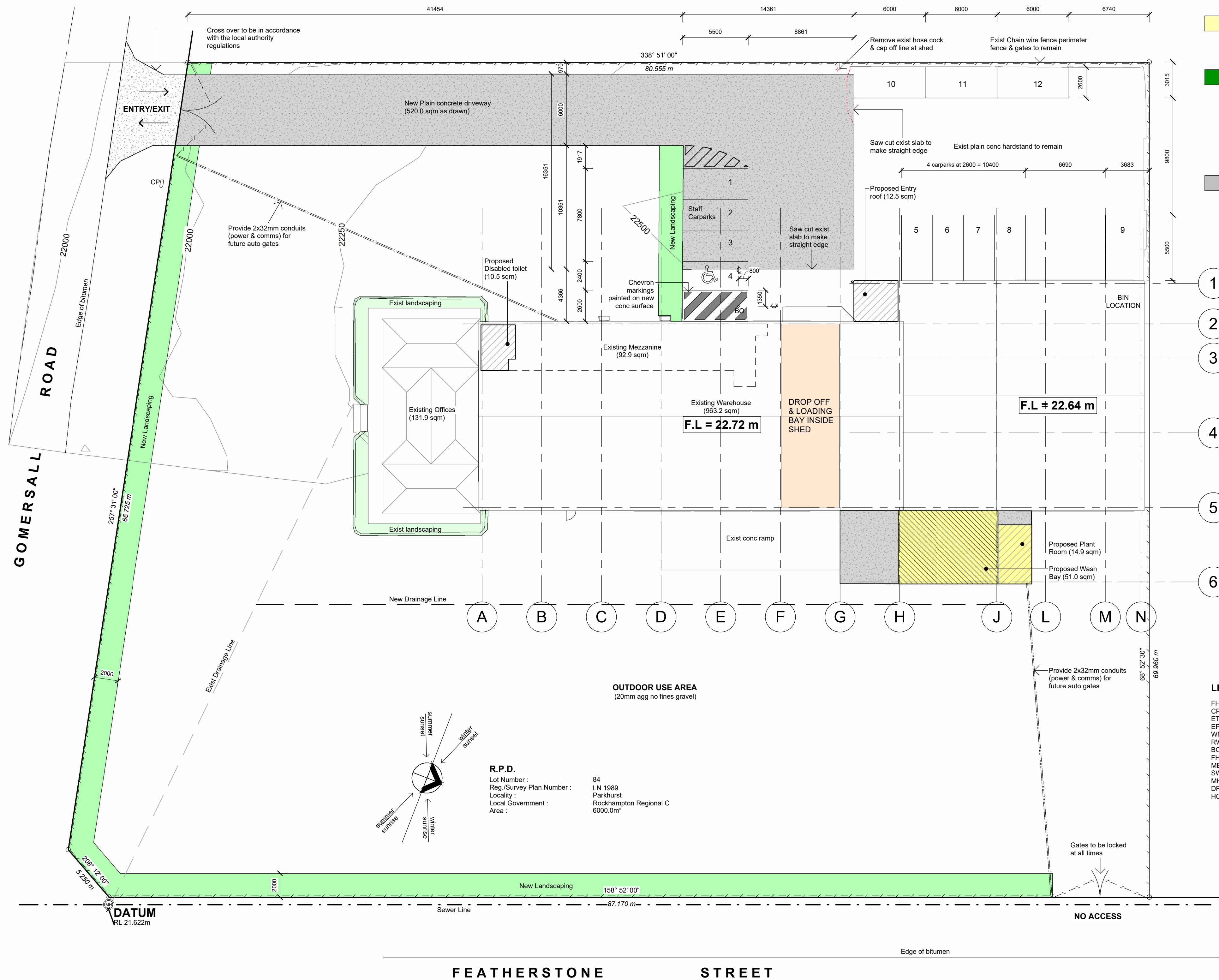
Telephone 61 7 49288011
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Project No:230218

Plan Set Revision : A

REVISIONS		
C	EXTRA FHR & DRAINAGE LINES ADDED	01/09/23
A	FOR CONSTRUCTION	28/07/23
NO	DESCRIPTION	DATE



Site Analysis	
Existing Floor Area	= 1188 sqm
Proposed Floor Area	= 65.9 sqm
Total Building Footprint Area	= 1161 sqm
Total Site Coverage	= 19.5 %
Total Landscaped Area Required	= Existing
Total Landscaped Area Provided	= 42.4 sqm
Total Site Area	= 6000 sqm
Car Parking	
Car parking spaces required	= 12
Total car spaces provided	= 12
Driveways	
Existing concrete driveway area	= 585.6 sqm
New concrete driveway area	= 520.0 sqm
Total driveway area	= 1105.6 sqm
Outdoor Use Area	
	= 3609.5 sqm

LEGEND	
FH	Street Fire Hydrant
CP	Communications Pit
ET	Electrical Turret
EP	Electrical Pit
WM	Water Meter
RWT	Rain Water Tank
BO	Bollard to eng's detail
FHR	Fire Hose Reel
MB	Electrical Meter Box
SWP	Storm Water Pit
MH	Man Hole
DP	Down Pipe
HC	Hose Cock

PROPOSED ADDITIONS AND
ALTERATIONS FOR KENNARDS HIRE
AT 1 FEATHERSTONE STREET
PARKHURST



STYLE • QUALITY • INNOVATION

MEMBER
BUILDING DESIGNERS
ASSOC. OF QLD INC.

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1180286

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E-mail mail@rufusdesigngroup.com

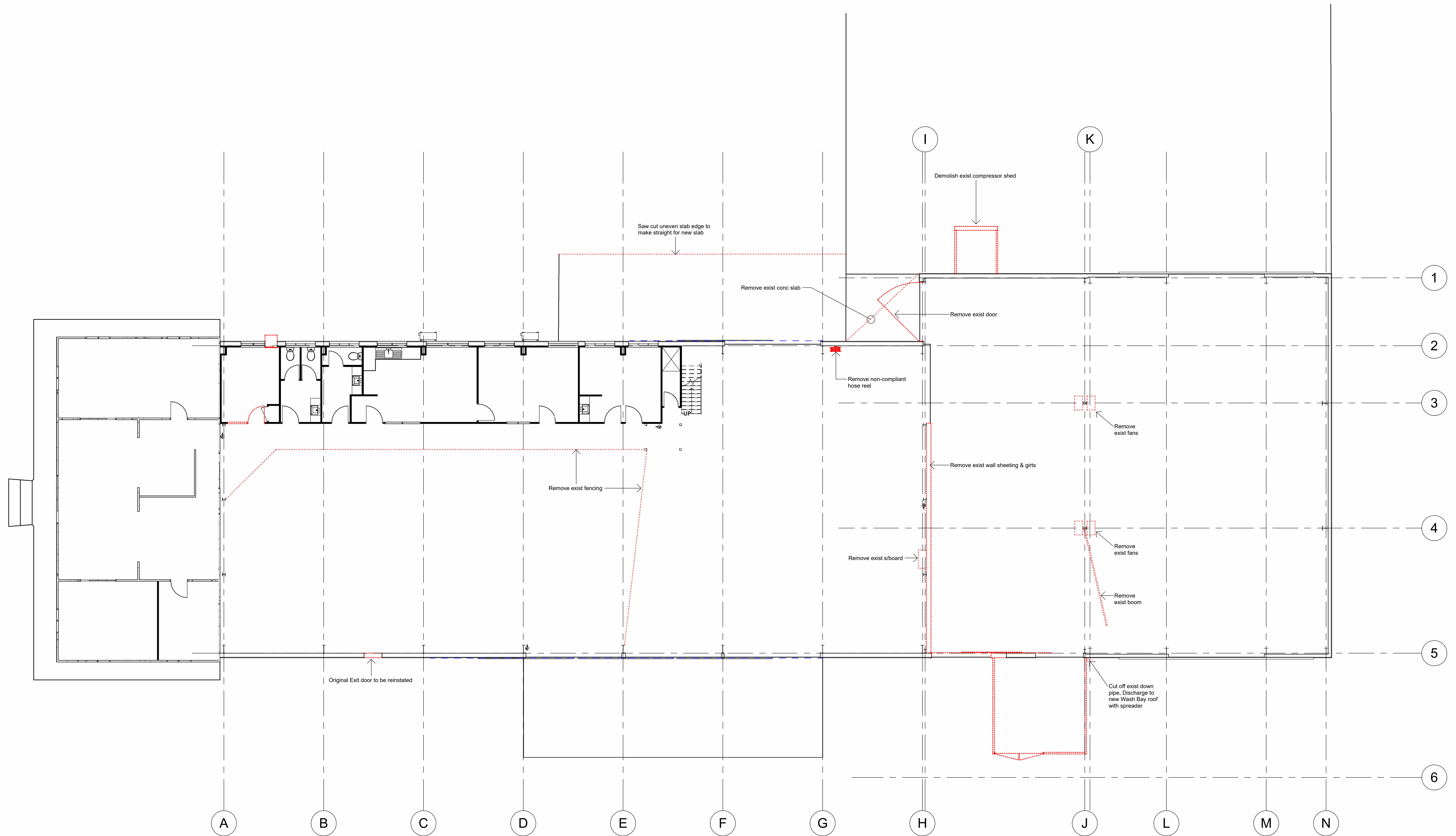
ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
These plans are approved subject to the current
conditions of approval associated with
Development Permit No.: D/78-2023
Dated: 12 December 2023

1 Site Plan
1 : 200

this drawing



Site Plan

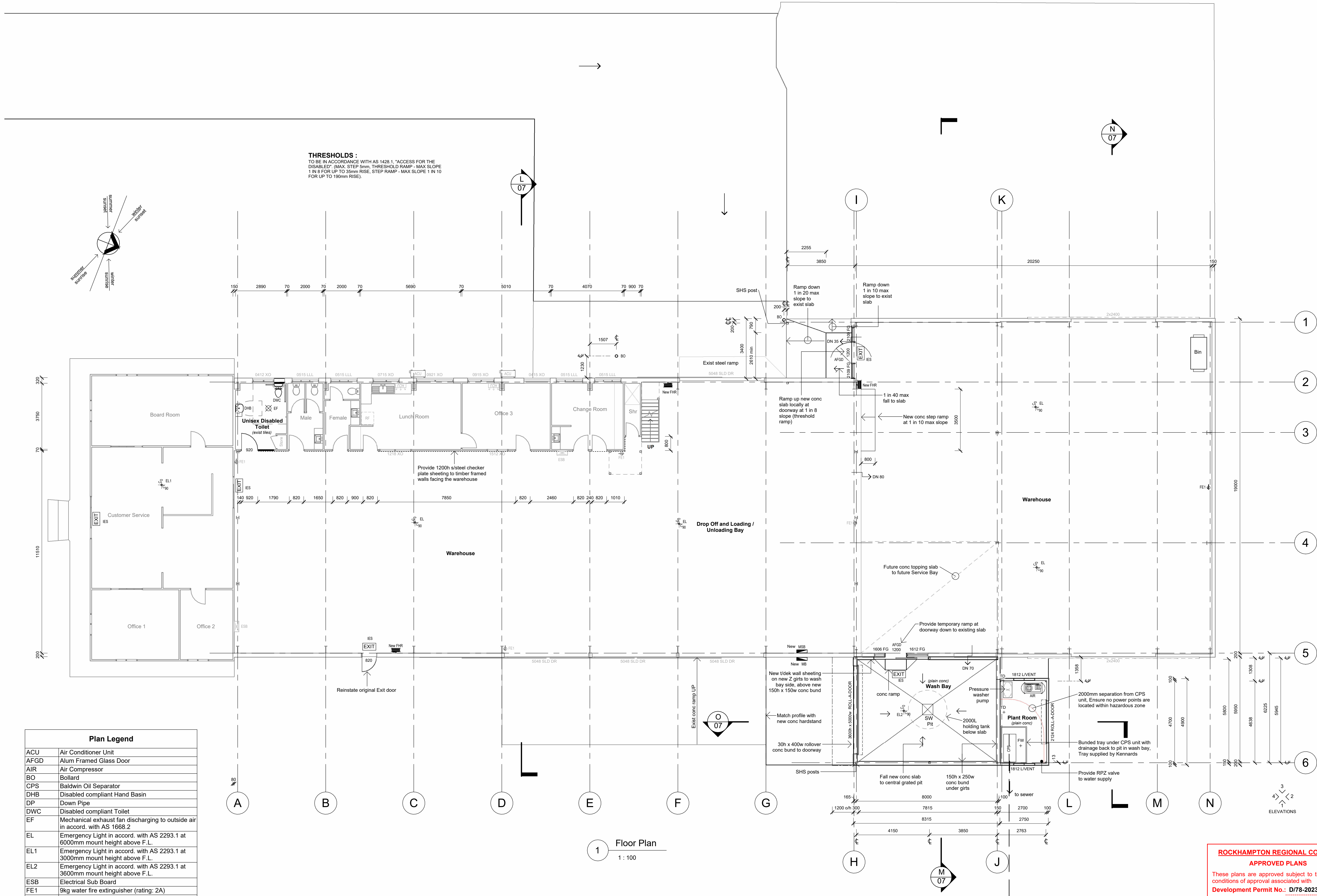
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DRAWN : <i>D. Webb</i>		PLAN SIZE: A1		SHEET 01 OF 16 SHEETS	
CHKD : <i>T.J.R.</i>				REVISION C	



1 Demolition Plan
1:100

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Dated: 12 December 2023

REVISIONS				PROPOSED ADDITIONS AND ALTERATIONS FOR KENNARDS HIRE AT 1 FEATHERSTONE STREET PARKHURST	this drawing Demolition Plan	 Rufus Design Group STYLE • QUALITY • INNOVATION	 MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC. Licenced under the QBCC Act Lic No. 1180286 Telephone 61 7 49288011 E-mail mailbox@rufusdesigngroup.com	PROJECT MANAGER : <i>D Webb</i> DRAWN : <i>D Webb</i> CHKD : <i>TJR</i>	WIND SPEED C2 PLAN SIZE: A1	PROJECT NUMBER 230218 - 03 SHEET 03 OF 16 SHEETS REVISION A
	A	FOR CONSTRUCTION	28/07/23							
	NO.	DESCRIPTION	DATE							



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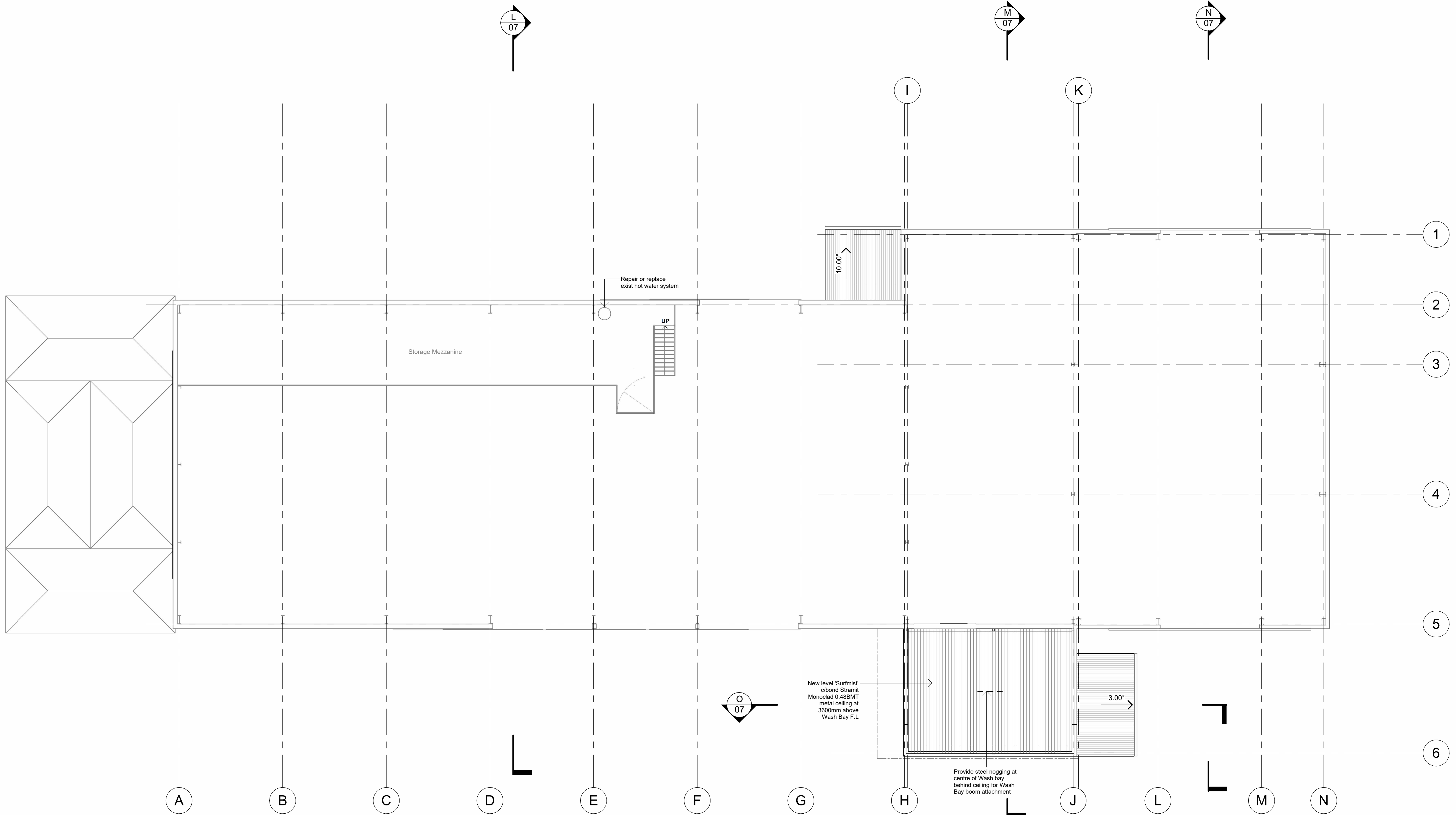
NO.	REVISIONS	DESCRIPTION	DATE
1	C	EXTRA FHR & DRAINAGE LINES ADDED	01/09/23
2	A	FOR CONSTRUCTION	28/07/23

PROPOSED ADDITIONS AND ALTERATIONS FOR KENNARDS HIRE AT 1 FEATHERSTONE STREET PARKHURST

this drawing
Floor Plan

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PROJECT MANAGER: **D. Webb**
DRAWN: **D. Webb**
CHKD: **T.J.R.**
WIND SPEED: **C2**
PLAN SIZE: **A1**
PROJECT NUMBER: **230218 - 04**
SHEET 04 OF 16 SHEETS
REVISION: **c**




1 Mezzanine Level
1 : 100

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Dated: 12 December 2023

REVISIONS		
NO.	DESCRIPTION	DATE
A	FOR CONSTRUCTION	28/07/23

PROPOSED ADDITIONS AND
ALTERATIONS FOR KENNARDS HIRE
AT 1 FEATHERSTONE STREET
PARKHURST

this drawing
Mezzanine Floor Plan

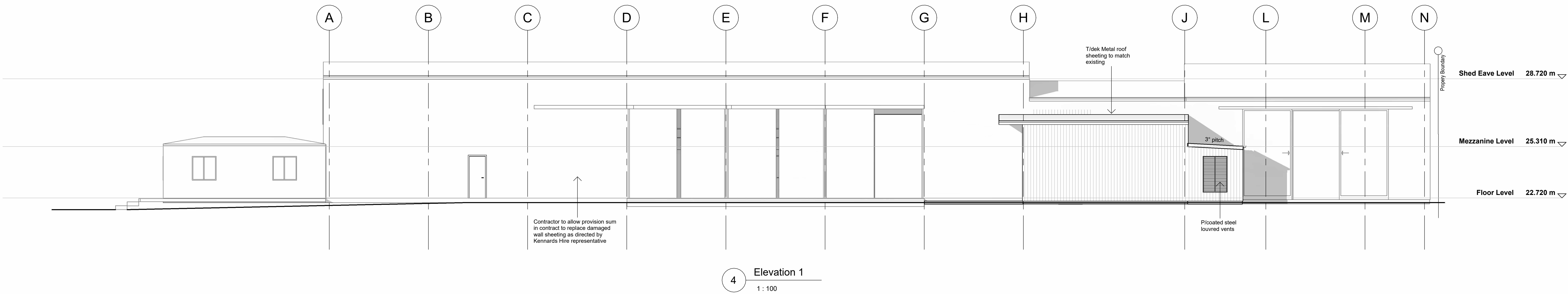


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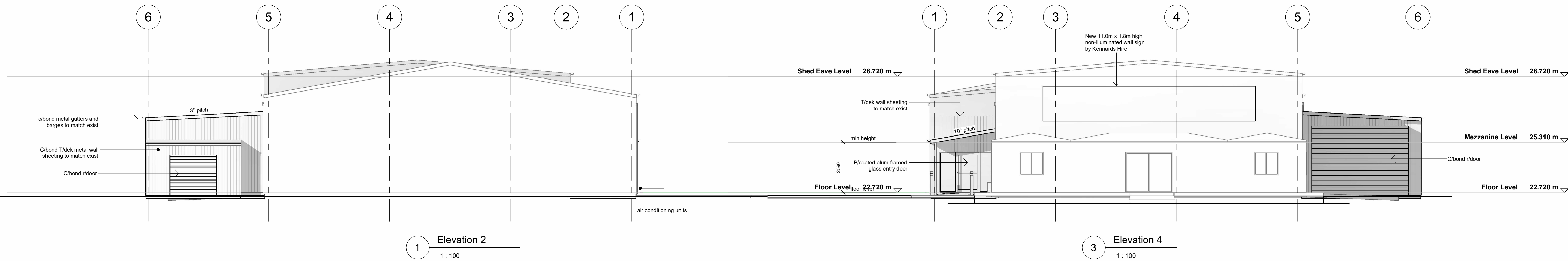
PROJECT
MANAGER : *DP Webb*
DRAWN : *DP Webb*
CHKD : *TJR*

WIND
SPEED C2
PLAN
SIZE: A1

PROJECT NUMBER
230218 - 05
SHEET 05 OF 16 SHEETS
REVISION A

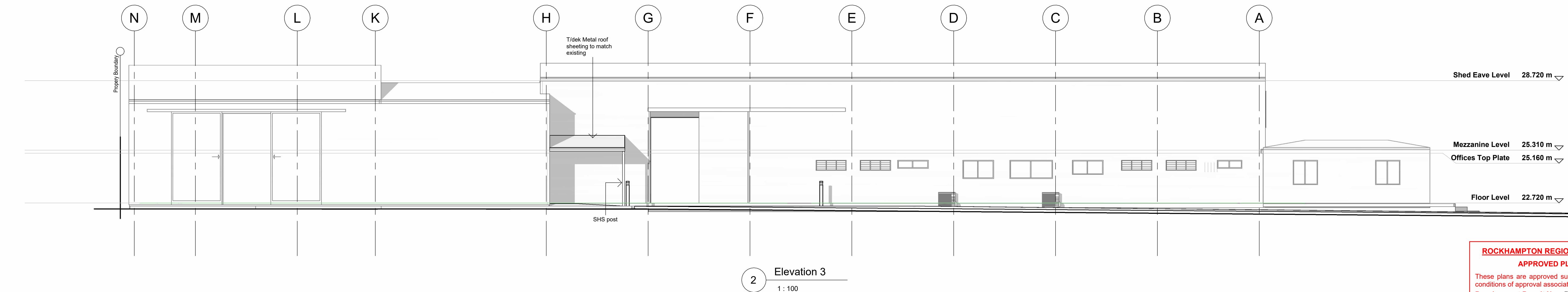


4 Elevation 1
1 : 100



1 Elevation 2
1 : 100

3 Elevation 4
1 : 100



2 Elevation 3
1 : 100

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NO.	DESCRIPTION	DATE
A	FOR CONSTRUCTION	28/07/23

PROPOSED ADDITIONS AND ALTERATIONS FOR KENNARDS HIRE AT 1 FEATHERSTONE STREET PARKHURST

this drawing
Elevations



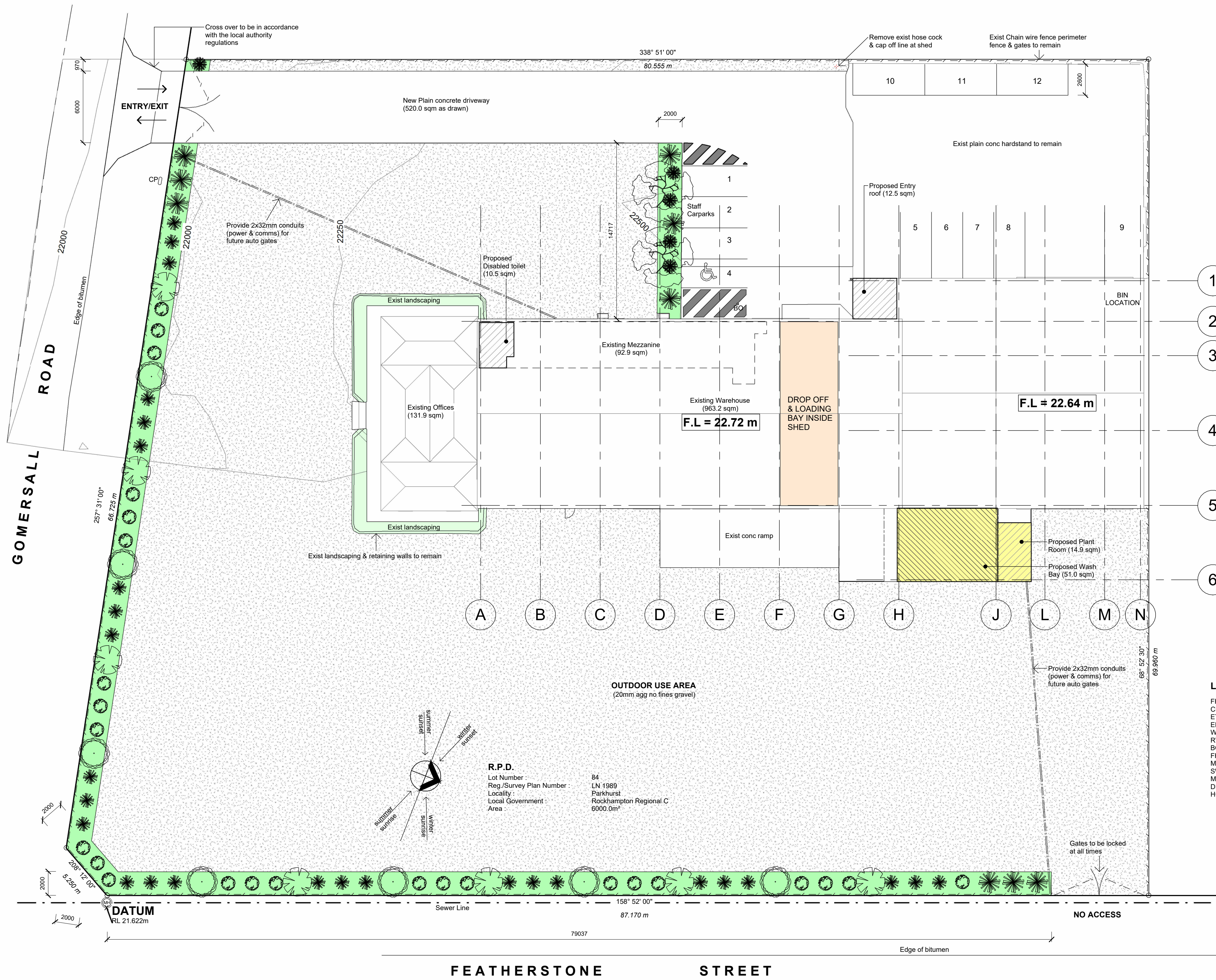
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Telephone 61 7 49288011
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PROJECT MANAGER : *DA Webb*
DRAWN : *DA Webb*
CHKD : *TJR*

WIND SPEED C2
PLAN SIZE: A1

PROJECT NUMBER 230218 - 06
SHEET 06 OF 16 SHEETS
REVISION A

PRINT DATE : 1/09/2023 8:33:05 AM



Landscaping

Species:
Planting to landscaped areas is to be selected from the following species. Other species may be used subject to availability.

Code	Botanical/Common Names	Native/Exotic	Mature Ht	Qty.
Groundcovers and Creepers (2000 min pot size)				
	Bracteantha Bracteata/Everlasting Daisy	Native	600mm	5
Clumping and Tussock plants (2000 min pot size)				
	Lomandra Longifolia/Spinyhead Mat rush	Native	1000mm	9
Shrubs (2000 min pot size)				
	Melastoma malabathricum / Blue Tongue	Native	1000mm	25
	Syzygium / Northern Gem	Native	1200mm	27
	Pavetta australiensis / Butterfly Bush	Native	2000mm	7
	Syzygium australe / Mini Lilly Pilly	Native	2000mm	7
Trees (45 L min pot size)				
	Xanthostemon Chrysanthus/Golden Penda	Native	6000mm	2

Details:

Top Soil _____ 100mm organic loam
Mounding (Clean topsoil) _____ 100mm min
Existing Trees _____ NIL
Mulch beds with wood chips, wood chip depth _____ 100mm
Maintenance program _____
- Watering _____ Automatic operated drip system with timer
Hedging/shrubs _____ drippers
- Maintenance _____ Local Lawn Care Business employed permanently for fortnightly visits
Planting _____
- Garden Beds _____ Cultivate exist soil to 300mm min depth.
If clay is encountered break up & mix with gypsum 1kg/sqm. Import clean topsoil over.
Fertilize with 'Agriform' plant pills as directed
- Shade Trees _____
New trees to be double stacked, mulched & watered in.
Use of water crystals is recommended.
New trees to be watered with automatic drip system with timer

2 Landscape Plan
1 : 200

REVISIONS			
	A	FOR CONSTRUCTION	28/07/23
	NO.	DESCRIPTION	DATE

PROPOSED ADDITIONS AND ALTERATIONS FOR KENNARDS HIRE AT 1 FEATHERSTONE STREET PARKHURST

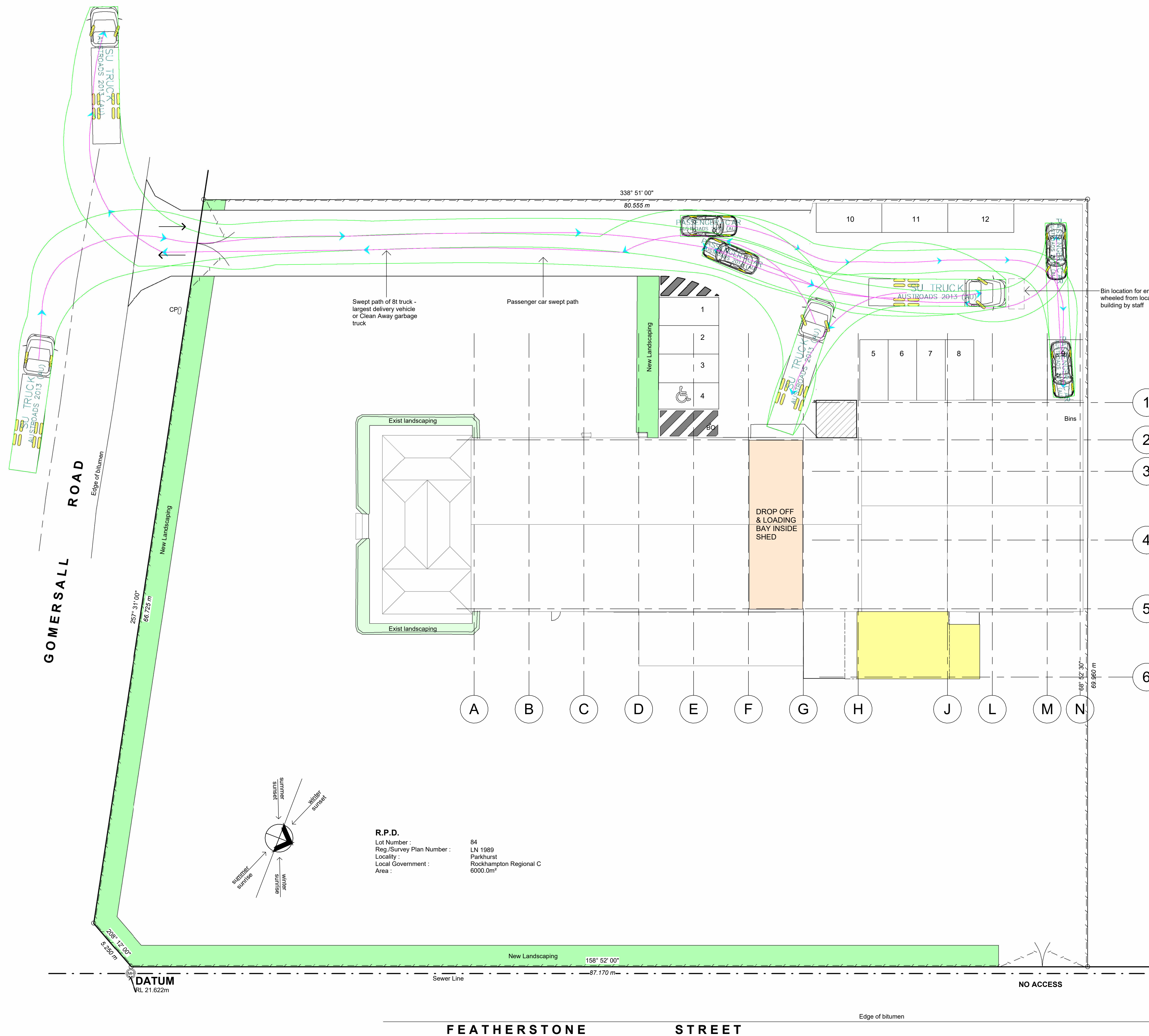
this drawing
Landscape Plan

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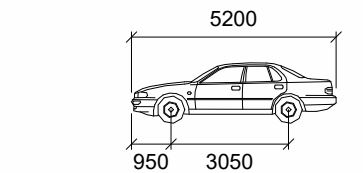
PROJECT MANAGER : <i>DAWebb</i>	WIND SPEED C2	PROJECT NUMBER 230218 - 14
DRAWN : <i>DAWebb</i>	PLAN SIZE: A1	SHEET 14 OF 16 SHEETS
CHKD : <i>TJR</i>		REVISION A

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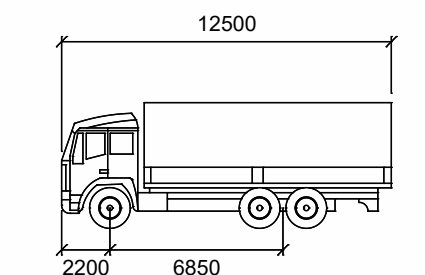


VEHICLE
SWEEP PATH'S

Sweep Path's Generated by
AutoTURN Version 11.0



CAR mm
Width : 1940
Track : 1840
Lock to Lock Time : 6.0
Steering Angle : 33.5

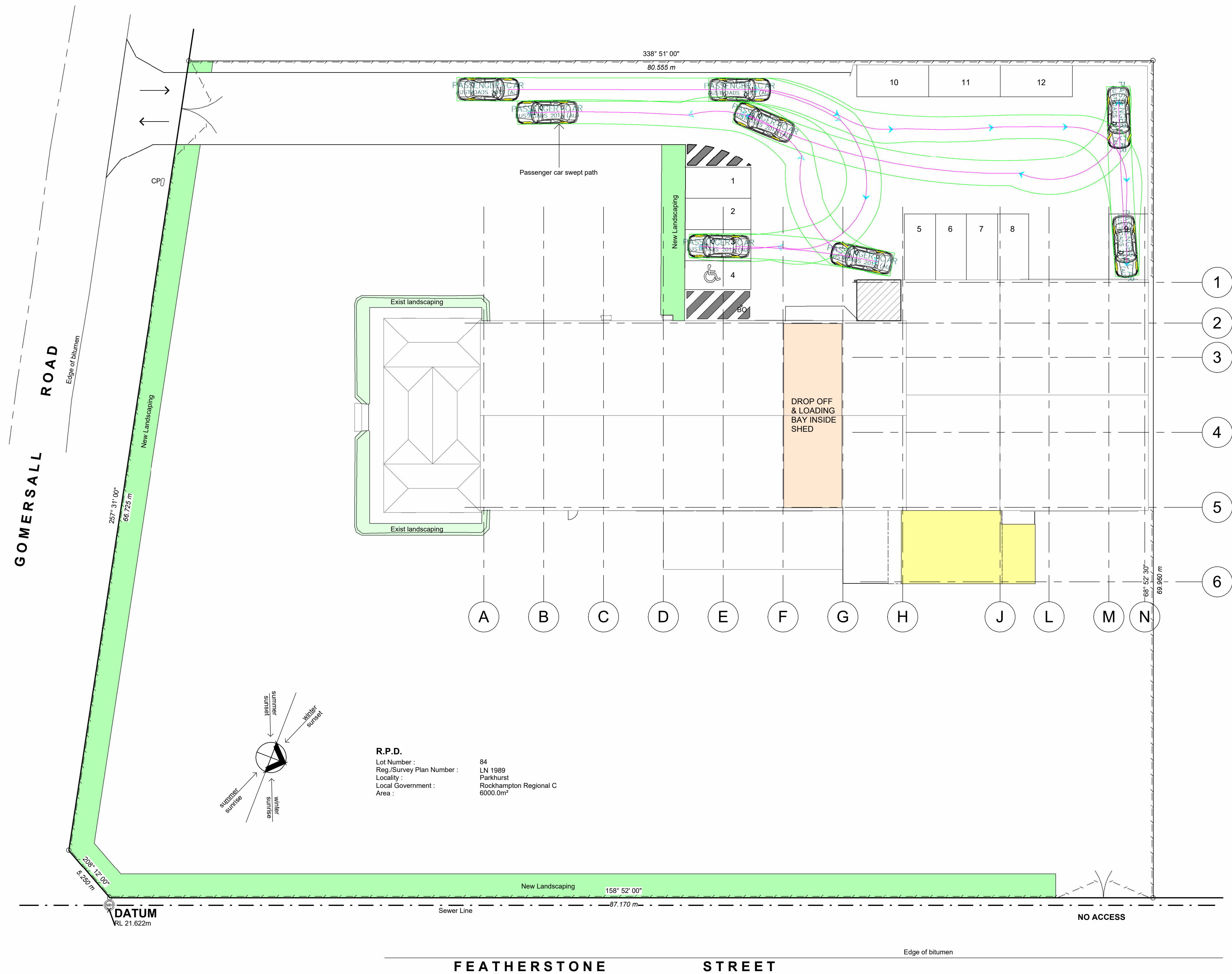


SU TRUCK mm
Width : 2500
Track : 2500
Lock to Lock Time : 6.0
Steering Angle : 36.6

1 Sweep Path for Delivery/Garbage Truck Plan
1 : 200

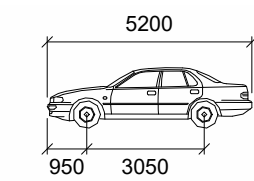
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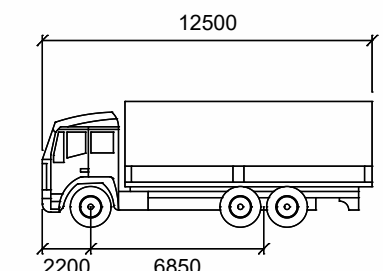


VEHICLE SWEEP PATH'S

Sweep Path's Generated by
AutoTURN Version 11.0



CAR mm
Width : 1940
Track : 1840
Lock to Lock Time : 6.0
Steering Angle : 33.5



SU TRUCK mm
Width : 2500
Track : 2500
Lock to Lock Time : 6.0
Steering Angle : 36.6

1 Sweep Path for Passenger Car Plan
1 : 200

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/78-2023
Dated: 12 December 2023

REVISIONS	NO.	DESCRIPTION	DATE
B	1	VEHICLE SWEEP PATH PLANS SEPARATED	16/08/23

PROPOSED ADDITIONS AND
ALTERATIONS FOR KENNARDS HIRE
AT 1 FEATHERSTONE STREET
PARKHURST

this drawing
Sweep Path for Passenger
Car plan

Rufus
Design Group
STYLE • QUALITY • INNOVATION

MEMBER
BUILDING DESIGNERS
ASSOC. OF QLD INC.
No. 1180286

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QBCC Act Lic
No. 1180286

Telephone 61 7 49288011
E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C2	PROJECT NUMBER 230218 - 16
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	SHEET 16 OF 16 SHEETS
CHKD : <i>T.J.R.</i>	REVISION	B

31 August 2023

NL232292

SLR

Mitchell Kennedy
10 Kings Road
New Lambton NSW 2305

Level 1, 215 Pacific Highway
Charlestown NSW 2290
02 4943 1777
newcastle@northrop.com.au
ABN 81 094 433 100

Dear Mitchell,

Re: 1 Featherstone Street, Parkhurst, QLD – D/78-2023 - Stormwater Management Letter

We, Northrop Consulting Engineers Pty Ltd, have reviewed the architectural drawings by Rufus Design Group (Revision A) for the proposed additions and alterations for Kennards Hire at 1 Featherstone Street Parkhurst. The existing site is approximately 6000m² and is currently developed, consisting primarily of a warehouse, office building and concrete hardstand area, totalling approximately 1773m² of impervious area (30% impervious fraction). Minimal landscaping exists currently on the site (approximately 42m²), with the remaining area consisting of an all weather gravel material with compacted base/subgrade that is trafficked by vehicles, as such is considered to have a high runoff co-efficient with low permeability. The site appears to be flat, falling south toward Gomersall Road at grade in the order of 1%.

The proposed development consists of a small building extension (65.9m²) to the existing warehouse for a proposed wash bay and plant room and new concrete pavement/driveway (520m²). The total impervious area of the proposed development is approximately 2359m² (39% impervious fraction). New landscaping is proposed on the site, adjacent to the new carparking as well as a 2m wide strip along the southern and eastern boundaries, totalling approximately 311m².

Stormwater runoff from the new concrete pavement and roof area is proposed to flow overland to the proposed pervious landscaping, prior to discharging the existing road reserve as per the existing scenario. The landscape buffer will treat runoff and promote passive irrigation and infiltration. Given the minor change in runoff co-efficient between the existing gravel and proposed new impervious areas, the minor increase in impervious fraction (less than 10% of site area), the addition of landscape buffers as well as the flat grades on-site, it is considered the proposed development will cause minimal change to site runoff compared to the existing scenario as such on-site detention is not proposed. It is also noted the material change in use is less than 25% of the net developable site area therefore provision of water quality measure is not required based on Table B of the Queensland Government State Planning Policy (July 2017). As such this development is unlikely to cause any adverse impacts that would cause actional nuisance to surrounding properties or infrastructure.

We trust this meets your requirements, however should you require anything further, please do not hesitate to contact the undersigned.

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/78-2023

Dated: 12 December 2023

		Date
Prepared by	KS	31/08/2023
Checked by	SK	31/08/2023
Admin	CB	31/08/2023

Yours sincerely,



Kane Sinclair

Associate | Group Manager | Senior Civil Engineer
BEng (Civil) (Hons) MIEAust CPEng NER (Civil)

Reviewed By:

Sam Killoran

Group Manager – Senior Civil Engineer
BE BCom MIEAust NER CPEng RPEQ (25874)

		Date
Prepared by	KS	31/08/2023
Checked by	SK	31/08/2023
Admin	CB	31/08/2023

6 September 2023

SLR Project No.: 631.30956.00000

**RE: Waste Management Plan
Material Change of Use to Outdoor Sales
1 Featherstone Street, Parkhurst QLD 4702**

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

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Development Permit No.: D/78-2023

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1.0 Objectives

- To minimise resource requirements and construction waste through reuse and recycling;
- The efficient selection and ordering of resources; and
- To ensure the waste management systems are compatible with the relevant waste collection services.

The management of waste is addressed in this Waste Management Plan (WMP) in the following (2) sections, according to the stages of the development: construction and ongoing operation. This WMP has been derived in line with *SC6.20 Waste management planning scheme policy*.

2.0 Construction Stage

Construction waste will be separated on site by builder's contractors and builder's labourers during the construction stage. The site shall be checked on a regular basis to make sure no recyclable materials are mixed with non-recyclable materials; and to set aside on site an area to store the recyclable materials for transportation to local recycling plants.

The site manager will erect a sign on site for waste areas and will inform the builder's staff where material is to be collected for recycling. The site manager and/or builder will impose the execution of the waste separation policy on a regular basis and to have on-going checks.

Stockpiles shall be located and managed appropriately to prevent sediment runoff and ensure minimal environmental impact from the building site.

Suitable all-weather vehicular access points shall be provided for the construction phase, and all sediment and erosion control devices implemented on site prior to commencement of construction works.

Type of waste generated	Estimates Volume in m ³ or area m ² or weight in tonne (t)	Reuse and Recycling		Disposal
		On-Site	Off-Site	
Excavated Earth Material	< 50m ³	Possible reuse of soil for backfilling purposes.	Excavated material to be disposed at local waste facility.	Un-recyclable excavated material to be disposed at local waste facility.

Type of waste generated	Estimates Volume in m ³ or area m ² or weight in tonne (t)	Reuse and Recycling		Disposal
		On-Site	Off-Site	
Metal	< 20m ³ (offcuts/surplus)		Sent to local metal recycler	
Plasterboard	< 5m ³		Unused disposed of at local waste facility by contractor	
Fixtures and Fittings	Nil (ordered to fit)	N/A	N/A	N/A
Packaging (used pallets and pallet wrap)	< 10m ³		Pallets reused where possible.	Unused disposed of at local waste facility by contractor
Other waste e.g. pvc plastics, paint, paper / cardboard	< 20m ³		Paper and cardboard disposed of at local recycling facility	Disposed of at local waste facility

Notes

1. Location of demolition and construction waste facilities to be confirmed upon engagement of site contractor and tendering process.
2. The site will be closed during the construction phase.

3.0 Ongoing Operation Stage

The operation is to establish a waste enclosure which will house individual general waste and recycling bins within the loading dock space to enable movement and efficient collection. The proposed waste storage scheme allows for a minimum of 1 x 1,100L recycling bin and 1 x 1,100L recycling, these bins are e appropriately sized and are easily transported manually for collection within the car park.

Based on a typical Kennards Hire operation, the following waste management generation figures are estimated below.

Type of Premise	Waste Generation	Recycling Generation
Outdoor Sales	10L / 100m ² floor area / day	10L / 100m ² floor area / day

Based on these rates and the provision of 1 x 1,100L bin for each stream, the proposed land use will generate up to 116L per day of both garbage and recycling. Based on these rates, it is estimated that waste collection may only need to occur once weekly, however, this can be increased on an as needs basis.

