

A3 DRAWING NOTED SCALES RELATE TO A3 DRAWINGS

drawing no:





project: MCU AT 146 WILLIAM STREET, ROCKHAMPTON drawing title: LOCATION PLAN location: N.A

	REVISIONS	
REV	DESCRIPTION	DATE
1	PRELIMINARY	10/06/2020
2	PRELIMINARY	30/06/2020
3	PRELIMINARY	30/06/2020
4	PRELIMINARY	14/07/2020
5	PRELIMINARY	29/09/2020
6	PRELIMINARY	08/10/2020

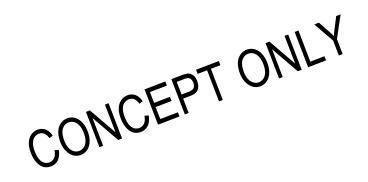
PRELIMINARY SKETCH PLANS

reliminary', below, they are no he drawings are labelled and issued 'preliminary', below, t table for Building Application, tender or construction purp he intent of preliminary sketch plans are only for pres r the specific project to the client as nominated in the OPYRIGHT & LIABILITY:

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THESE DRAWINGS ARE PART OF A TOWN PLANNING APPROVAL APPLICATION AND SHOULD NOT BE USED FOR ANY OTHER REASON - THESE DRAWINGS ARE APPROXIMATE AND HIGHLY CONCEPTUAL - TRAFFIC/STORMWATER/OPERATIONAL WORKS: AS PER CIVIL ENGINEER DOCUMENTS AND DRAWINGS IF REQUIRED

CURRENT LOCATIONS AND BOUNDARY LINE ARE APPROXIMATE, RELEVANT SURVEY TO BE CONDUCTED BEFORE ANY

REFER TO TOWNPLANNING APPLICATION AND OPERATIONAL WORKS DOCUMENTATION WHEN VIEWING THESE PLANS - THESE DRAWINGS ARE CONCEPTUAL AND DO NOT REFLECT BUILDING APPROVAL, PLUMBING APPROVAL, QFRS APPROVAL OR DISABILITY REQUIREMENTS. CLIENT TO CONFIRM AND GET APPROVAL FROM RELEVANT AUTHORITIES - IF THE SITE OR PROJECT ARE TRIGGERED OR LOCATED IN BUSHFIRE AREA, THEN THE BUILDINGS TO COMPLY WITH BUSHFIRE



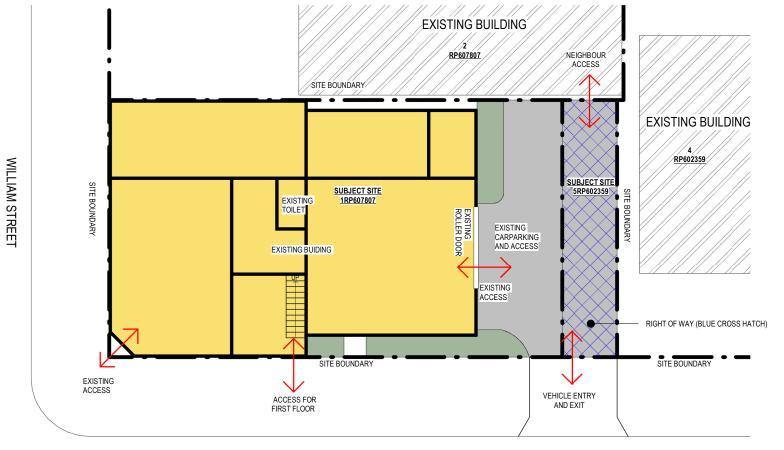
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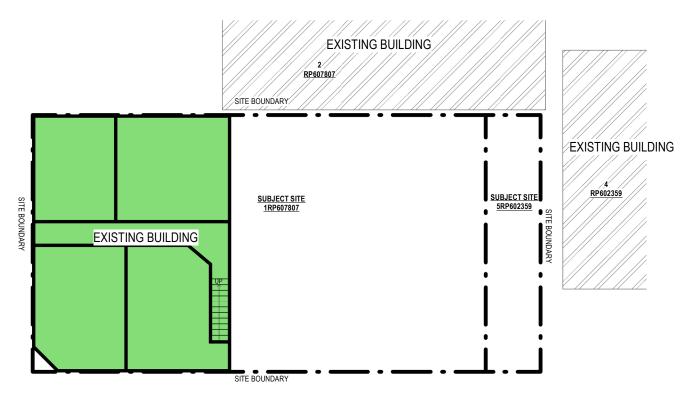
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CAMPBELL STREET

1. EXISTING GROUND FLOOR AREA PLAN 1:200



2. EXISTING FIRST FLOOR AREA PLAN 1:200

A3 DRAWING NOTED SCALES RELATE TO A3 DRAWINGS

drawing no:





project: MCU AT 146 WILLIAM STREET, **ROCKHAMPTON** drawing title: EXISTING FLOOR AREA PLAN location:

FLOOR AREA SCHEDULE				
	EXISTING GROUND FLOOR GFA	:249 SQM		
	EXISTING FIRST FLOOR GFA	:141 SQM		
	EXISTING GARDEN BED	:19 SQM		
	EXISTING CARPARK AND ACCESS	:90 SQM		
SITE ARE	A:			
LOT 1 RP LOT 5 RP		: 324SQM : 41SQM		
TOTAL AF	REA	: 365SQM		
BUILDING	HEIGHT	: 7M APPROX		

EXISTING LAWFUL USE:

COMMERCIAL PREMISES AND PROFESSIONAL OFFICES (REZONING APPLICATION NO. R5/97)

EASEMENT NOTE:

EASEMENTS ARE LISTED ON THE TITLE FOR LOT 5 ON RP602359, INCLUDING FOR 'RIGHT OF WAY' BENEFITTING LOT 2 ON RP607807 (EASEMENT NO 709741726).

NOTE:

ALL BOUNDARIES AND LOCATIONS ARE APPROXIMATES

CONCEPT ONLY

REV	REVISIONS DESCRIPTION	DATE	PRELIMINARY SKETCH PLANS: If the drawings are labelled and issued 'preliminary', below, they are not suitable for Building Application, tender or construction purposes!	
1	PRELIMINARY	10/06/2020	The intent of preliminary sketch plans are only for presenting the concept	Γ
2	PRELIMINARY	30/06/2020	for the specific project to the client as nominated in the title sheet.	
3	PRELIMINARY	30/06/2020	COPYRIGHT & LIABILITY:	1
4	PRELIMINARY	14/07/2020	These drawings, concepts and designs are copyrighted and the property of DESIGNANDARCHITECTURE and not to be used for any other reason	
5	PRELIMINARY	29/09/2020	without the concent or permission of designandarchitecture PTY.LTD.	
6	PRELIMINARY	08/10/2020	(ACN 167 978 832)	
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ROCKHAMPTON REGIONAL COUNCIL APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with **Development Permit No.: D/76-2020** Dated: 18 January 2021





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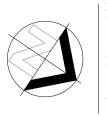
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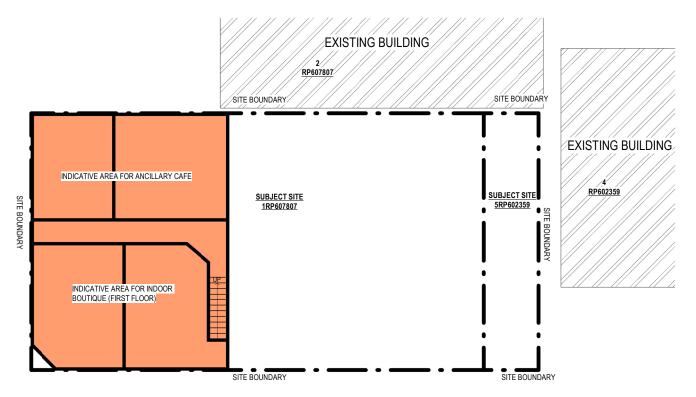




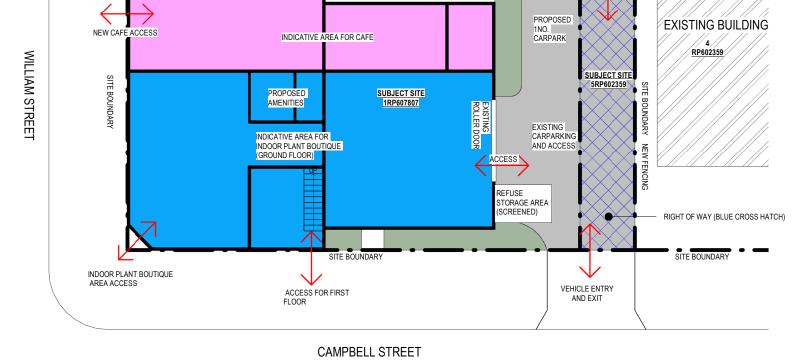
project: MCU AT 146 WILLIAM STREET, ROCKHAMPTON drawing title: **PROPOSED PLAN** location: N.A

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2. PROPOSED FIRST FLOOR AREA PLAN 1:200



1. PROPOSED GROUND FLOOR AREA PLAN 1:200



SITE BOUNDARY

EXISTING BUILDING

RP607807

NEIGHBOUR

ACCESS

FLOOR AREA SCHEDULE				
FOOD AND DRINK OUTLET(CAFE)	:75 SQM			
GARDEN CENTRE (INDOOR PLANT BOUTIQUE GROUND FLOOR)	:174 SQM			
TOTAL GROUND FLOOR AREA	:249 SQM			
ANCILLARY CAFE + GARDEN CENTRE (INDOOR PLANT BOUTIQUE FIRST FLOOR)	:141 SQM			
TOTAL FIRST FLOOR AREA	:141 SQM			
OFF-STREET PARKING	: 1NO.			

TOWN PLANNING NOTE:

THE PRIMARY PART OF THE FOOD AND DRINK OUTLET AND GARDEN CENTRE USES WILL RELATE TO THE AREAS AS SHOWN. THE COMMUNITY USE AND FUNCTION FACILITY WILL RELATE TO THE ENTIRE FLOOR AREA SO THESE USES CAN OCCUR IN ANY SPACE AS REQUIRED.

FIRST FLOOR NOTE:

FIRST FLOOR TO REMAIN AS PER EXISTING LAWFUL USE FOR COMMERCIAL PREMISES AND PROFESSIONAL OFFICES (REZONING APPLICATION NO. R5/97), UNTIL SUCH TIME AS THE SPACE IS REQUIRED UNDER D/76-2020 FOR THE GARDEN CENTRE USE.

LANDSCAPING NOTE:

EXISTING GARDEN BEDS TO BE RETAINED

NOTE:

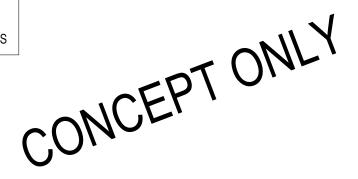
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