

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

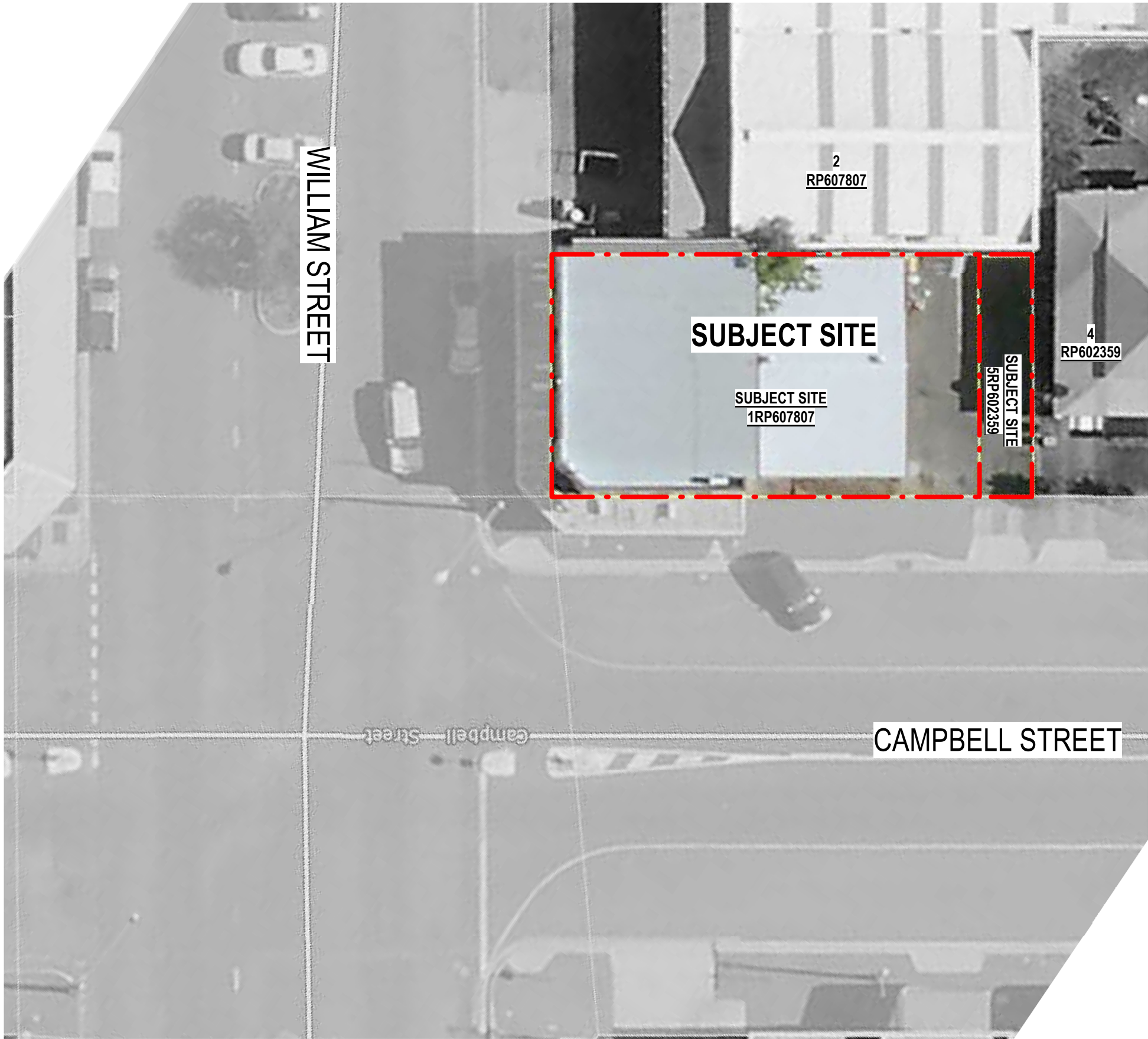
Development Permit No.: D/76-2020

Dated: 18 January 2021

PLAN
SCALE 1:100(A1) 1:200(A3)

INFORMATION ONLY

[illegible]



CONCEPT ONLY

ROCKHAMPTON REGIONAL COUNCIL

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NOTE:

ALL BOUNDARIES AND LOCATIONS ARE APPROXIMATES

DISABILITY REQUIREMENT NOTE:

DISABILITY REQUIREMENTS (ACCESS,AMENITIES,ETC) BEYOND THIS APPLICATION AND AS PER CERTIFIER

FIRE RATING REQUIREMENT NOTE:

FIRE RATING REQUIREMENTS (ACCESS,AMENITIES,ETC) BEYOND THIS APPLICATION AND AS PER CERTIFIER

GENERAL NOTE:

- THESE DRAWINGS ARE PART OF A TOWN PLANNING APPROVAL APPLICATION AND SHOULD NOT BE USED FOR ANY OTHER REASON

- THESE DRAWINGS ARE APPROXIMATE AND HIGHLY CONCEPTUAL

- TRAFFIC/STORMWATER/OPERATIONAL WORKS: AS PER CIVIL ENGINEER DOCUMENTS AND DRAWINGS IF REQUIRED

- CURRENT LOCATIONS AND BOUNDARY LINE ARE APPROXIMATE. RELEVANT SURVEY TO BE CONDUCTED BEFORE ANY DOCUMENTATION OR CONSTRUCTION

- REFER TO TOWNPLANNING APPLICATION AND OPERATIONAL WORKS DOCUMENTATION WHEN VIEWING THESE PLANS

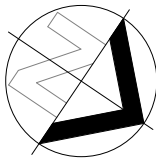
- THESE DRAWINGS ARE CONCEPTUAL AND DO NOT REFLECT BUILDING APPROVAL, PLUMBING APPROVAL, QFRS APPROVAL OR DISABILITY REQUIREMENTS. CLIENT TO CONFIRM AND GET APPROVAL FROM RELEVANT AUTHORITIES

- IF THE SITE OR PROJECT ARE TRIGGERED OR LOCATED IN BUSHFIRE AREA, THEN THE BUILDINGS TO COMPLY WITH BUSHFIRE REQUIREMENTS OR AS PER COUNCIL REQUIREMENTS

A3 DRAWING NOTED SCALES RELATE TO A3 DRAWINGS

drawing no:
SK-001

project no:
RP-040



project:
MCU AT 146 WILLIAM STREET,
ROCKHAMPTON
drawing title:
LOCATION PLAN
location:
N.A

REV	DESCRIPTION	DATE
1	PRELIMINARY	10/06/2020
2	PRELIMINARY	30/06/2020
3	PRELIMINARY	30/06/2020
4	PRELIMINARY	14/07/2020
5	PRELIMINARY	29/09/2020
6	PRELIMINARY	08/10/2020

PRELIMINARY SKETCH PLANS:
If the drawings are labelled and issued 'preliminary', below, they are not suitable for Building Application, tender or construction purposes! The intent of preliminary sketch plans are only for presenting the concept for the specific project to the client as nominated in the title sheet.

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NEVER SCALE OF DRAWINGS, IF IN DOUBT, ASK!



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ISSUED FOR
PRELIMINARY

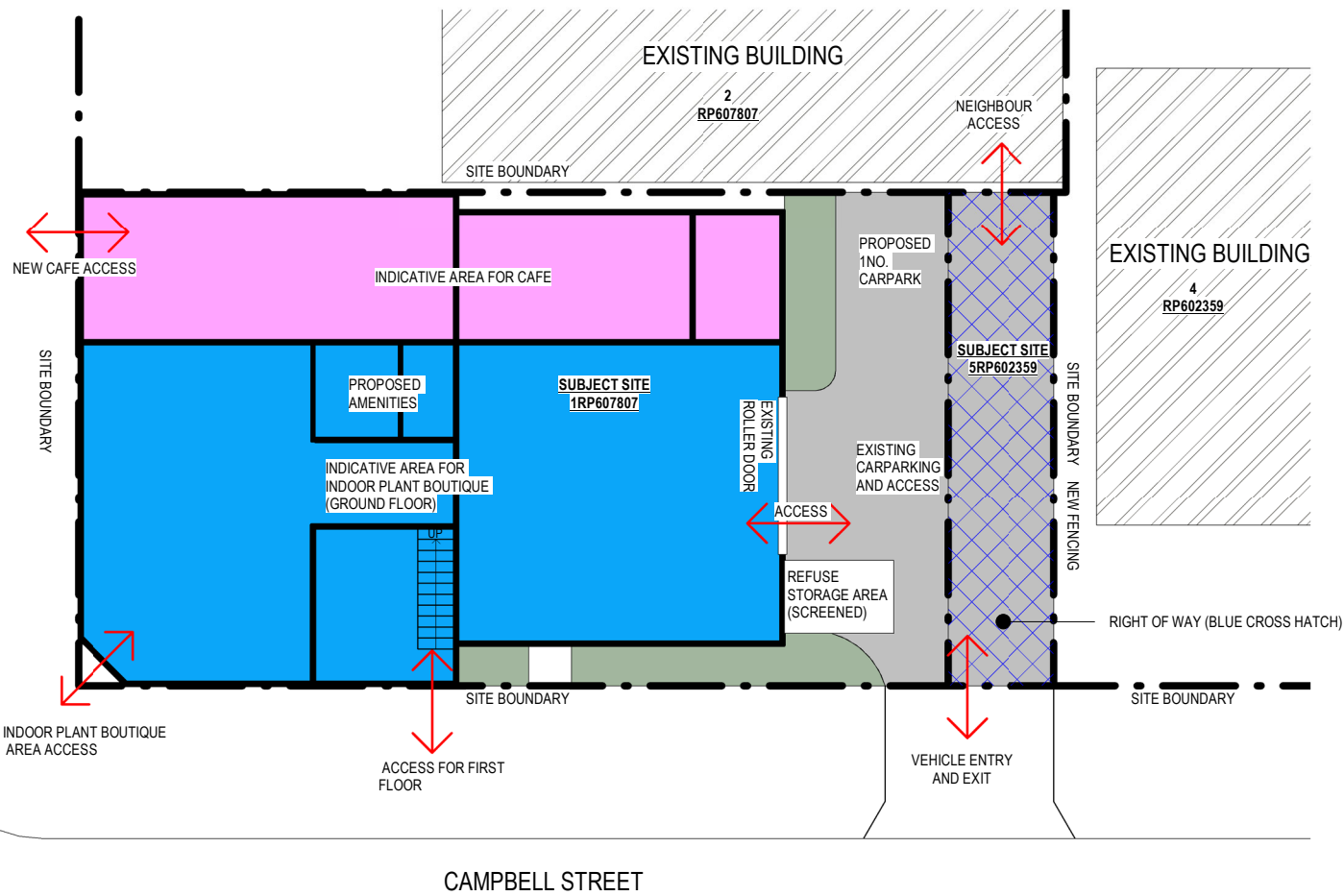
scale 1 : 250

date OCT 20

drawn Author

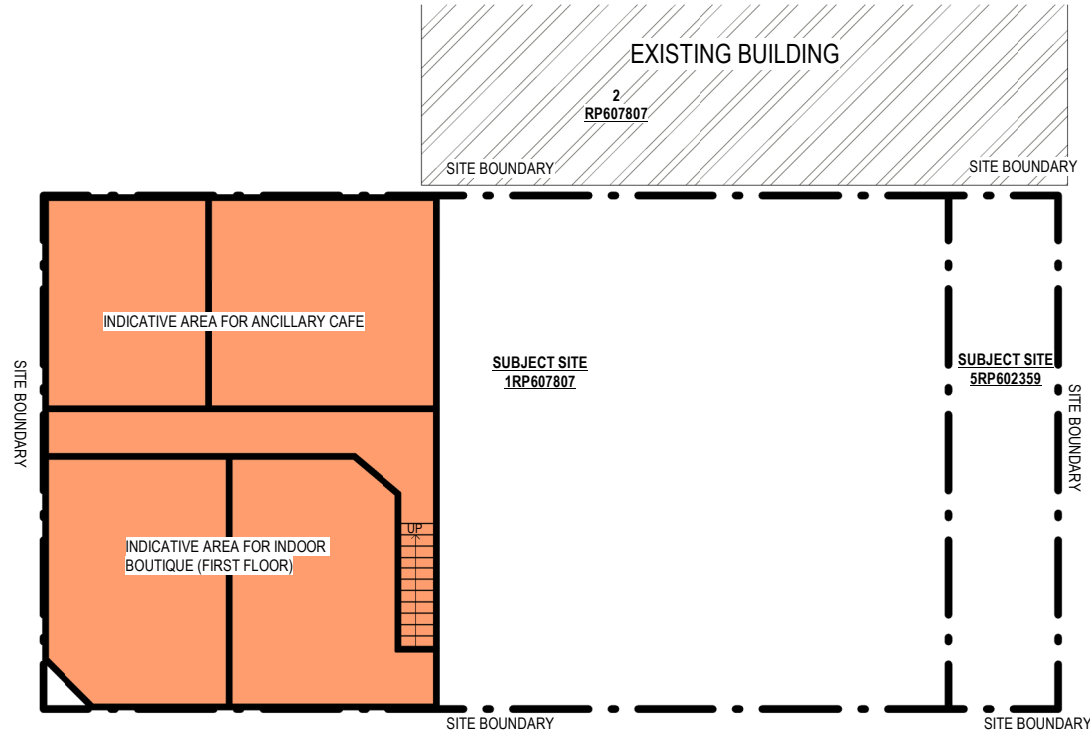
rev 6

WILLIAM STREET



CAMPBELL STREET

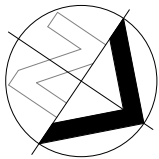
1. PROPOSED GROUND FLOOR AREA PLAN 1:200



2. PROPOSED FIRST FLOOR AREA PLAN 1:200

A3 DRAWING NOTED SCALES RELATE TO A3 DRAWINGS

drawing no: **SK-003** project no: **RP-040**



project:
MCU AT 146 WILLIAM STREET,
ROCKHAMPTON
drawing title:
PROPOSED PLAN
location:
N.A

REV	DESCRIPTION	DATE
2	PRELIMINARY	30/06/2020
3	PRELIMINARY	30/06/2020
4	PRELIMINARY	14/07/2020
5	PRELIMINARY	29/09/2020
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drawn Author
rev 6

TOWN PLANNING NOTE:

THE PRIMARY PART OF THE FOOD AND DRINK OUTLET AND GARDEN CENTRE USES WILL RELATE TO THE AREAS AS SHOWN. THE COMMUNITY USE AND FUNCTION FACILITY WILL RELATE TO THE ENTIRE FLOOR AREA SO THESE USES CAN OCCUR IN ANY SPACE AS REQUIRED.

FIRST FLOOR NOTE:

FIRST FLOOR TO REMAIN AS PER EXISTING LAWFUL USE FOR COMMERCIAL PREMISES AND PROFESSIONAL OFFICES (REZONING APPLICATION NO. R5/97), UNTIL SUCH TIME AS THE SPACE IS REQUIRED UNDER D/76-2020 FOR THE GARDEN CENTRE USE.

LANDSCAPING NOTE:

EXISTING GARDEN BEDS TO BE RETAINED

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