

GENERAL NOTES

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE QLD BUILDING ACT 1975-1998 & THE BUILDING REGULATION 2006 & SHALL COMPLY WITH ALL LOCAL REGULATIONS & REQUIREMENTS

DO NOT SCALE

ALL LEVELS, DIMENSIONS ETC SHALL BE CHECKED AND VERIFIED BY THE BUILDER ON SITE BEFORE THE START OF CONSTRUCTION. FIGURED DIMENSIONS TO TAKE PREFERENCE OVER SCALED DRAWINGS. WHEN IN DOUBT ASK.

ALL WALL DIMENSIONS ARE TO STRUCTURAL COMPONENTS - NOT THE FACE OF LININGS / FINISHES

TOILET DOORS MUST OPEN OUTWARDS, SLIDE OR BE FITTED WITH LIFT OFF HINGES IF THE DISTANCE BETWEEN THE PAN AND NEAREST PART OF THE DOORWAY IS LESS THAN 1200mm

SITE DETAILS

SITE LEVELS AND FINISHED FLOOR LEVELS ARE TO BE VERIFIED BY THE BUILDER BEFORE STARTING ANY WORK ON SITE

SITE PLAN BOUNDARY CLEARANCES SHOWN ARE TO BE OUTSIDE OF FACES OF FASCIA OR BARGES

FOR LEVEL SITES FALL GROUND AWAY FROM BUILDINGS 50mm IN A MINIMUM DISTANCE OF 1m ON ALL SIDES

FOR SLOPED SITES DIVERT SURFACE WATER FROM UPHILL SIDE AWAY FROM BUILDINGS

DRAINAGE & STORMWATER

ALL STORMWATER DRAINAGE WORK TO BE IN ACCORDANCE WITH AS3500

DOWNPIPES ARE TO BE 100x75 OR 90mm DIA MIN UNLESS NOTED OR DETAILED ELSEWHERE

DISCHARGE RAIN WATER DOWNPIPES TO INTER-ALLOTMENT DRAINAGE SYSTEM IF AVAILABLE, KERB AND CHANNEL IF FALL PERMITS. ENSURE RAIN WATER IS DIRECTED AWAY FROM THE BUILDING.

FOR SEWERED SITES DISCHARGE WASTE WATER TO COUNCIL SEWER

THE LOCATION OF THE SEWER MAIN HAS BEEN SCALED FROM COUNCIL PLANS. WHERE THE SEWER LINE IS 2.0m OR LESS FROM THE BUILDING STRUCTURE IT IS THE RESPONSIBILITY OF THE BUILDER TO PHYSICALLY LOCATE THE SEWER MAIN BEFORE STARTING ANY WORK.

FOR UNSEWERED SITES DISCHARGE WASTE TO WATER TO MINI TREATMENT SYSTEMS, SEPTIC TANK OR HOLDING TANKS AS SHOWN ON CONSULTANT PLANS

SLAB & FOOTINGS

CONCRETE WORK TO BE IN ACCORDANCE WITH AS 3600

ALL SLAB AND FOOTING DESIGN TO BE CARRIED OUT BY A LICENSED STRUCTURAL ENGINEER WHO IS A CURRENT RPEQ.

TERMITE PROTECTION

PROTECTION FROM TERMITES SHALL BE FROM A SYSTEM OR COMBINATION OF SYSTEMS IN ACCORDANCE WITH THE BCA/NCC AND AS 3660 AND INSTALLED BY AN APPROVED APPLICATOR. WRITTEN CONFIRMATION OF THE SYSTEM/S USED SHALL BE PROVIDED TO LOCAL GOV. AUTHORITY AND BUILDING SHALL ADVISE OWNER OF THEIR OBLIGATIONS AS APPLICABLE TO THE SYSTEMS USED

SHOULD THE CURRENT OWNER SELL THE PROPERTY, IT SHALL BE HIS/HER RESPONSIBILITY TO PROVIDE THE NEW OWNER WITH A COPY OF THE TERMITE PROTECTION RECORD.

TIMBER FRAMING

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH CURRENT AS 1684.3. PRE-FABRICATED TIMBER ROOF TRUSSES AND WALL FRAMING TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

EXTERNAL TIMBER MEMBERS TO BE DURABILITY CLASS 1 OR 2 WITH SAPWOOD REMOVED OR PRESERVATIVE TREATED TO H3 UNLESS NOTED OTHERWISE. ALL PINE TO BE LOSP TREATED TO H3 LEVEL

WALL FRAMING, LINTELS ETC ARE TO BE IN ACCORDANCE WITH APPROVED FRAME MANUFACTURERS DETAILS AND ARE TO BE CERTIFIED FOR STRUCTURAL ADEQUACY BY THE MANUFACTURER FOR THE APPROPRIATE WIND CLASS.

ALL STRUCTURAL PLY IS TO BE IN ACCORDANCE WITH AS/NZ 2269 AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECS.

MASONRY

ALL MASONRY CONSTRUCTION IS TO BE IN ACCORDANCE WITH AS 3700

BATTENS

TIMBER ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDING ON WIND SPEED) AND WPHS REQUIREMENTS

METAL ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS

ROOFING

METAL ROOFING TO BE IN ACCORDANCE WITH AS1562.1 AND FIXED TO MANUFACTURERS SPECIFICATIONS

STRUCTURAL STEEL

ALL STRUCTURAL STEEL MATERIALS, WORKMANSHIP, FABRICATION & ERECTION SHALL COMPLY WITH THE REQUIREMENTS OF AS 4100, AS 1538, AS 1554 AND ANY OTHER RELEVANT SPECIFICATION.

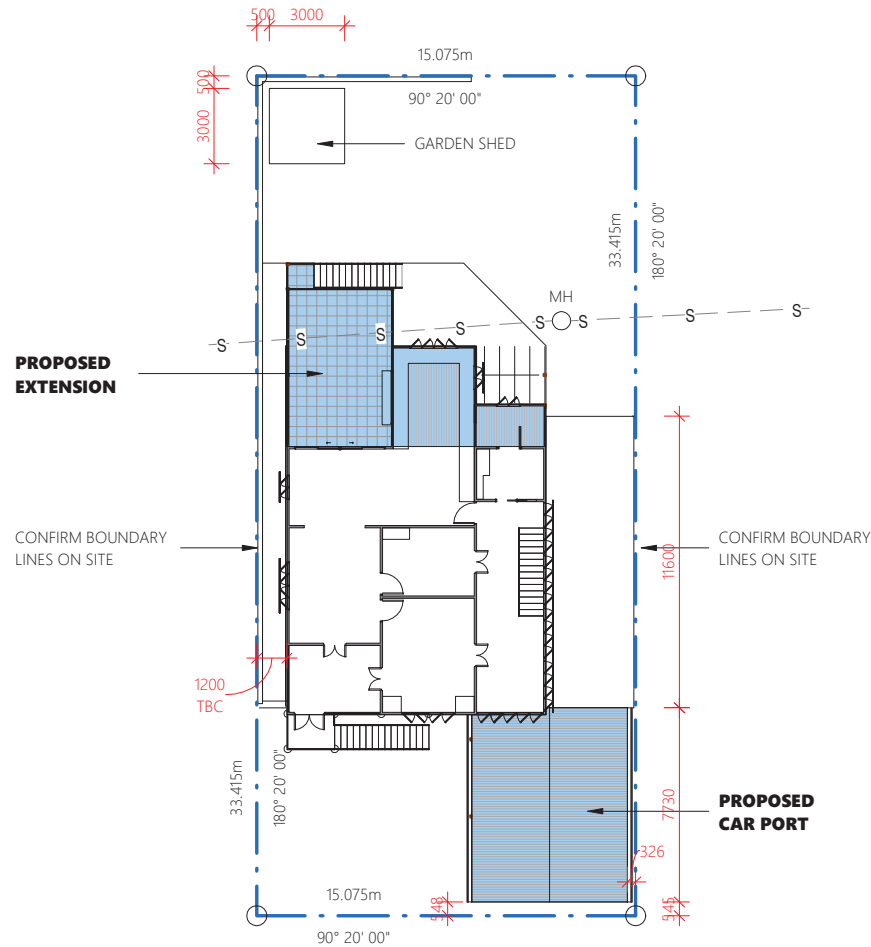
INSULATION

REFER TO ENERGY EFFICIENCY REPORT SUPPLIED BY OTHERS



REAL PROPERTY DESCRIPTION

Lot Number: 2
Reg/Survey Plan Number: RP 604 482



GLENCOE STREET

Site Plan

1 : 200

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

Dated: 7 July 2021



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

38 GLENCOE STREET,
THE RANGE

Drawing Title:

TITLE & SITE PLAN



0407 271 336 M

info@deaignelements.com.au E

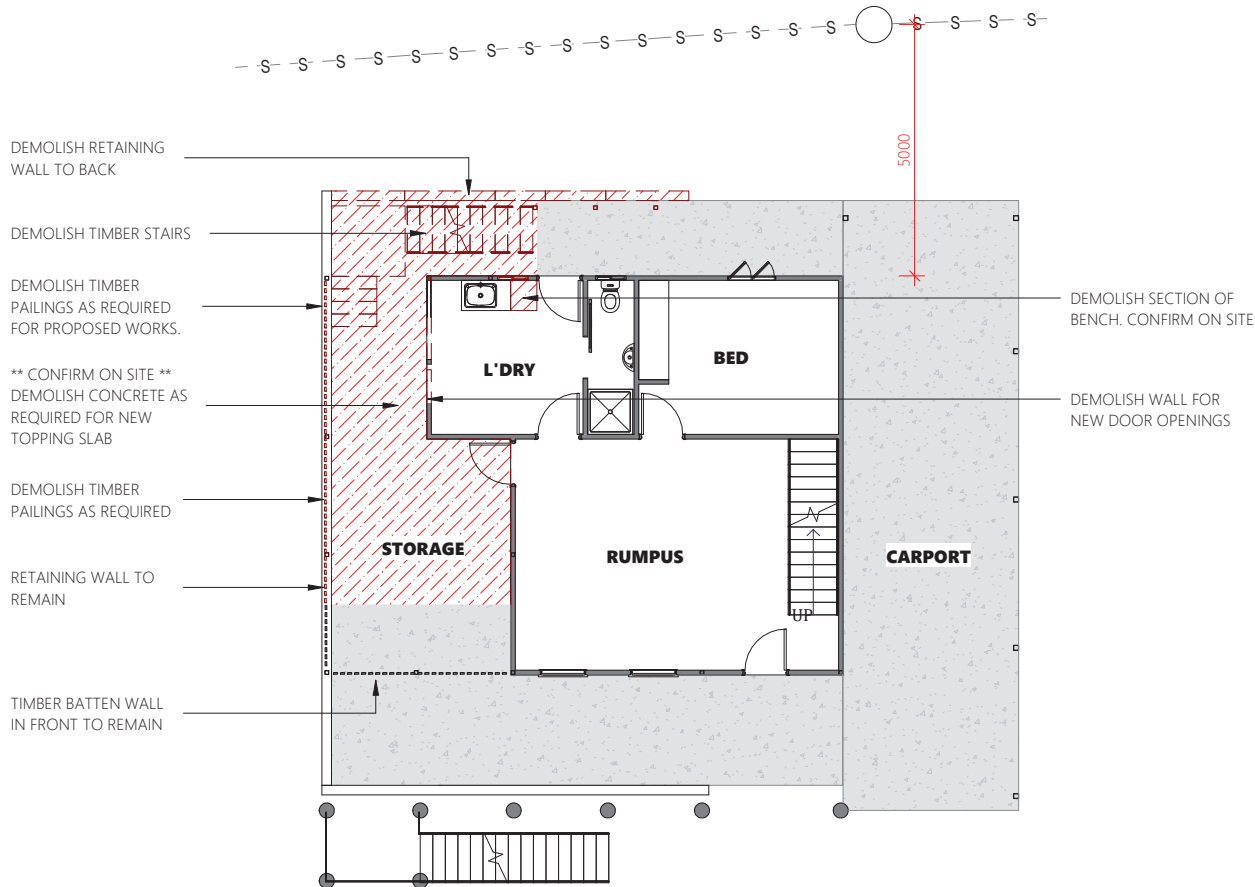
QBCC No: 1247120

BDAQ No: 0001677

Scale:	As indicated	Rev:
Date:	OCT 2020	B
Drawn:	NJB	
Project No:	Drawing No:	
20_146	A-01	

28/06/2021 7:31:55 AM

**IF ANY DISCREPANCIES - PLEASE CONTACT
THE DESIGNER FOR CLARIFICATION**



Existing Ground Floor

1 : 100

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

EXISTING GROUND FLOOR



0407 271 336 M

info@dezignelements.com.au E

QBCC No: 1247120

BDAQ No: 0001677

Scale: 1 : 100

Rev:	
------	--

Date: OCT 2020

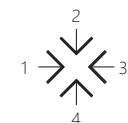
D

Drawn:	NIB
--------	-----

Project No: Drawing No:

20 146 A-02

28/06/2021 7:31:55 AM



ELEVATIONS



ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

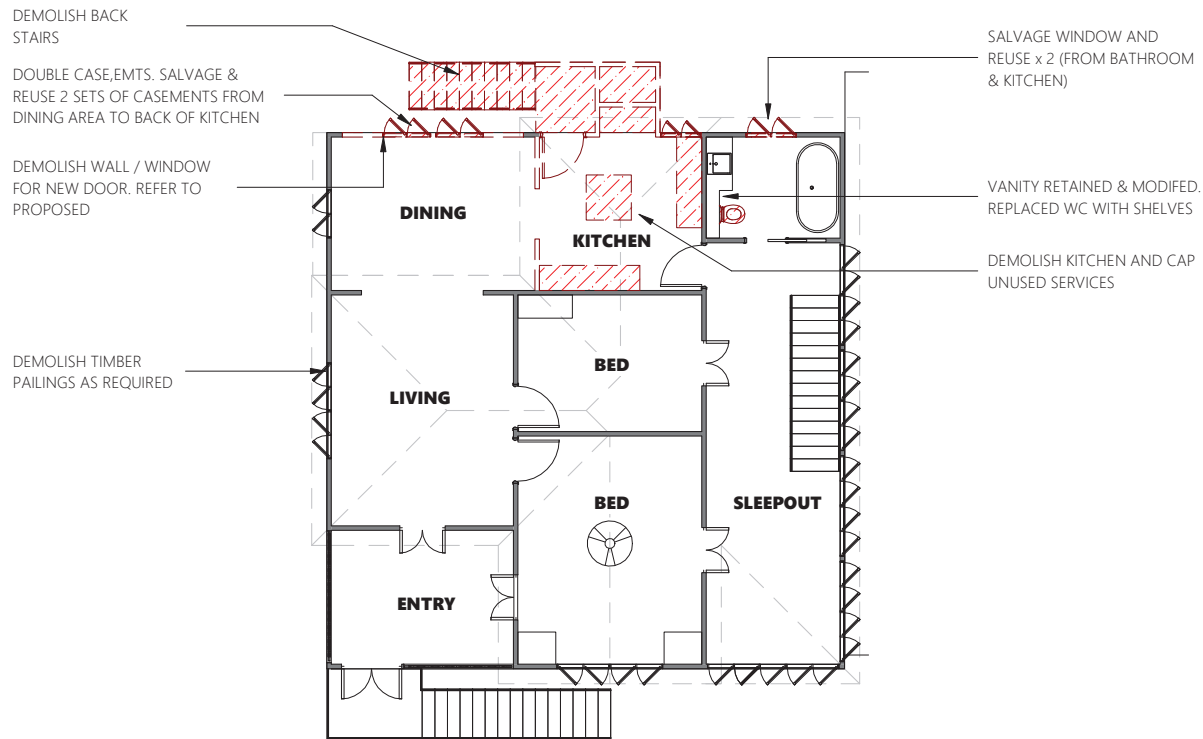
Dated: 7 July 2021

CONFIRM ALL DIMENSIONS ON SITE

CONFIRM ALL HEIGHTS / LEVELS ON SITE

IF ANY DISCREPANCIES - PLEASE CONTACT
THE DESIGNER FOR CLARIFICATION

EXISTING CASEMENTS TO BE SALVAGED BY
BUILDER AND RELOCATED.

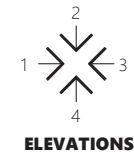


Existing Upper Floor

1 : 100

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

These plans are approved subject to the current
conditions of approval associated with
Development Permit No.: D/75-2021
Dated: 7 July 2021



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

EXISTING UPPER FLOOR



0407 271 336 M
info@designelements.com.au E
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: B
Date: OCT 2020	
Drawn: NJB	
Project No: 20_146	Drawing No: A-03

28/06/2021 7:31:55 AM

CONFIRM ALL HEIGHTS, LEVELS & DIMENSIONS ON SITE

ANY DISCREPANCY - PLEASE CONTACT THE DESIGNER FOR CLARIFICATION

CONFIRM RETAINING WALL HEIGHTS / LEVELS ON SITE

CONFIRM COLUMN SETOUTS ON SITE

PACK WALL TO HIDE
RETAINING WALL
(INTERNALLY ONLY)

NEW RETAINING WALL.
EXCATE AS REQUIRED.
CONFIRM BOUNDARY LINE FOR
NEW RETAINING WALL LOCATION

PACK SLAB AS REQUIRED

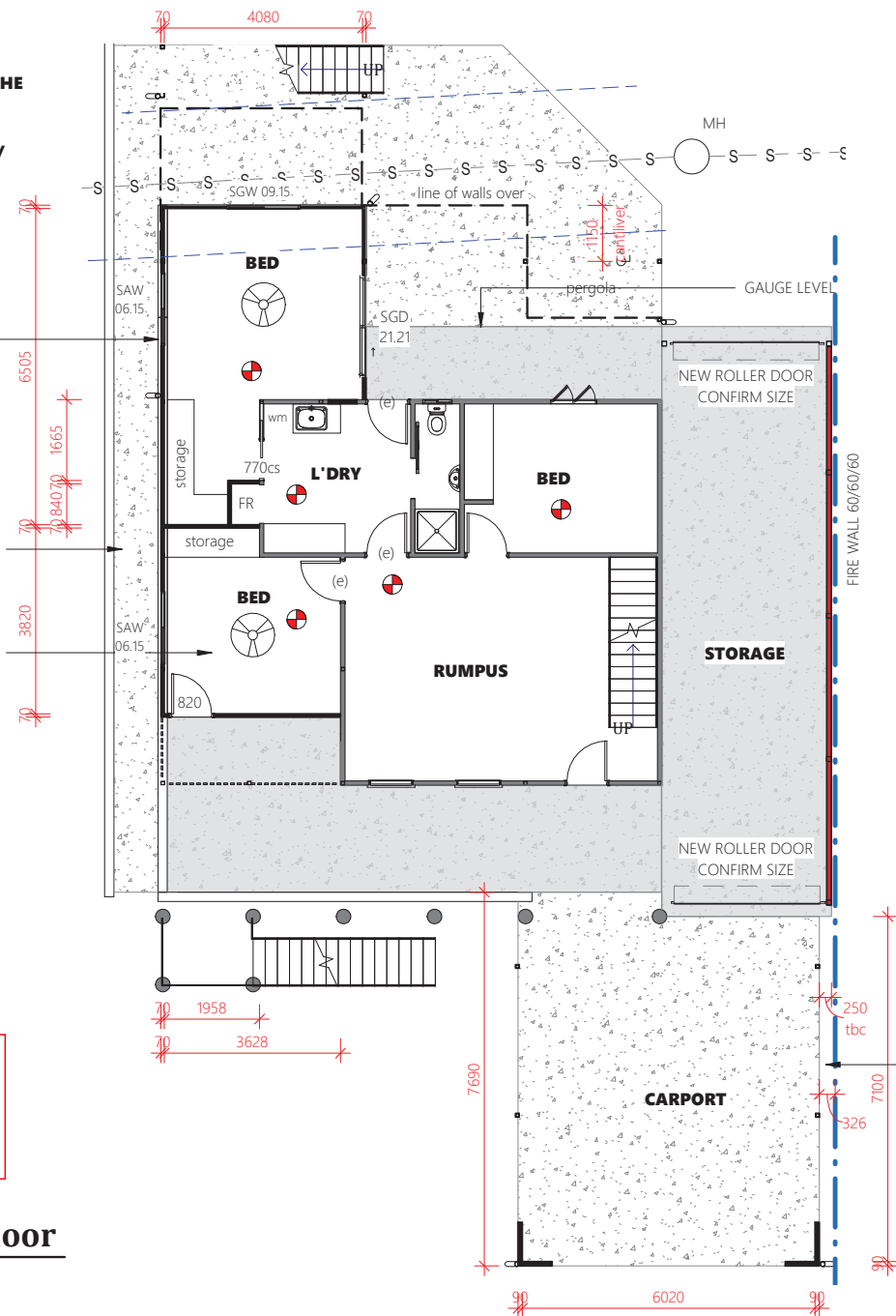
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current
conditions of approval associated with
Development Permit No.: D/75-2021
Dated: 7 July 2021

Proposed Ground Floor

1 : 100

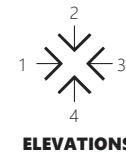


FLOOR PLAN LEGEND

- HARD WIRED SELF CONTAINED SMOKE ALARM.
- 1200 \varnothing CEILING FAN WITH SPEED CONTROLLER.
- 90mm \varnothing PVC DOWN PIPE
- HOSE COCK - FRONT & REAR.
- BUILDER TO CONFIRM WITH CLIENT ON SITE

WINDOW / DOOR LEGEND

- 12.18 1200high x 1800 wide
- XO SLIDING / FIXED
- SGW SLIDING GLASS WINDOW
- SGD SLIDING GLASS DOOR
- DH DOUBLE HUNG
- CMT CASEMENT
- CS CAVITY SLIDER
- SAW SINGLE AWNING WINDOW



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

**PROPOSED GROUND
FLOOR**



0407 271 336 M
info@designelements.com.au E

QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev:
Date: OCT 2020	B
Drawn: NJB	
Project No: 20_146	Drawing No: A-04

28/06/2021 7:31:56 AM

CONFIRM ALL HEIGHTS, LEVELS & DIMENSIONS ON SITE

ANY DISCREPANCY - PLEASE CONTACT THE DESIGNER FOR CLARIFICATION

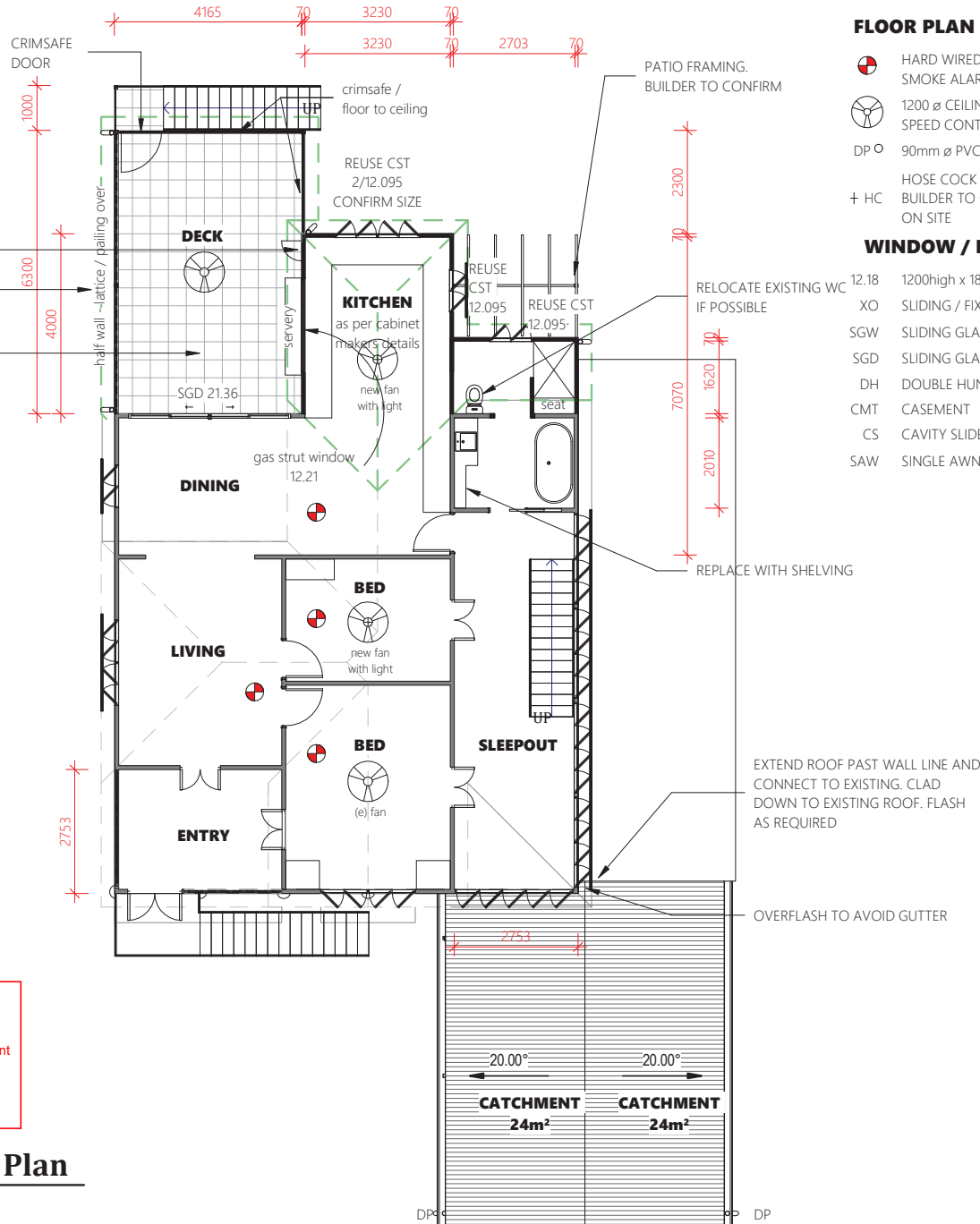
CONFIRM RETAINING WALL HEIGHTS / LEVELS ON SITE

CONFIRM COLUMN SETOUTSITE

DOOR FOR STORAGE

BUILDER TO CONFIRM

WATER PROOF DECK. COMPRESSED FC (OR EQUAL). WATER PROOFING MEMBRANE, TILE OVER



FLOOR PLAN LEGEND

- HARD WIRED SELF CONTAINED SMOKE ALARM.
- 1200mm CEILING FAN WITH SPEED CONTROLLER.
- 90mm PVC DOWN PIPE
- HOSE COCK - FRONT & REAR. BUILDER TO CONFIRM WITH CLIENT ON SITE
- HC

WINDOW / DOOR LEGEND

- 12.18 1200high x 1800 wide
- XO SLIDING / FIXED
- SGW SLIDING GLASS WINDOW
- SGD SLIDING GLASS DOOR
- DH DOUBLE HUNG
- CMT CASEMENT
- CS CAVITY SLIDER
- SAW SINGLE AWNING WINDOW

DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

PROPOSED UPPER FLOOR



0407 271 336 M

info@designelements.com.au E

QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: B
Date: OCT 2020	
Drawn: NJB	

Project No: Drawing No:

20_146 A-07

28/06/2021 7:31:57 AM

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

Dated: 7 July 2021

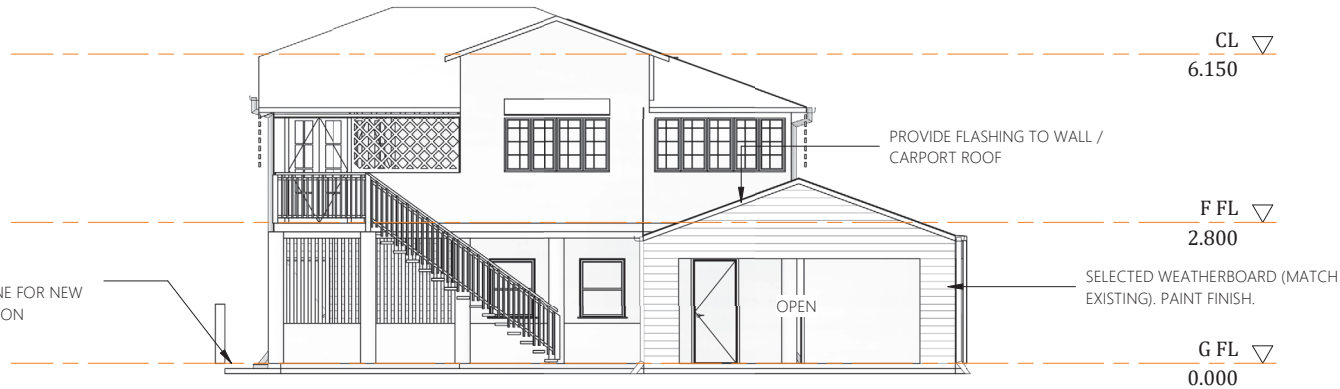
_Proposed Upper Floor Plan

1 : 100



Existing Elevation 1

1 : 100



Proposed Elevation 1

1 : 100

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

Dated: 7 July 2021

DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

ELEVATIONS



0407 271 336 M

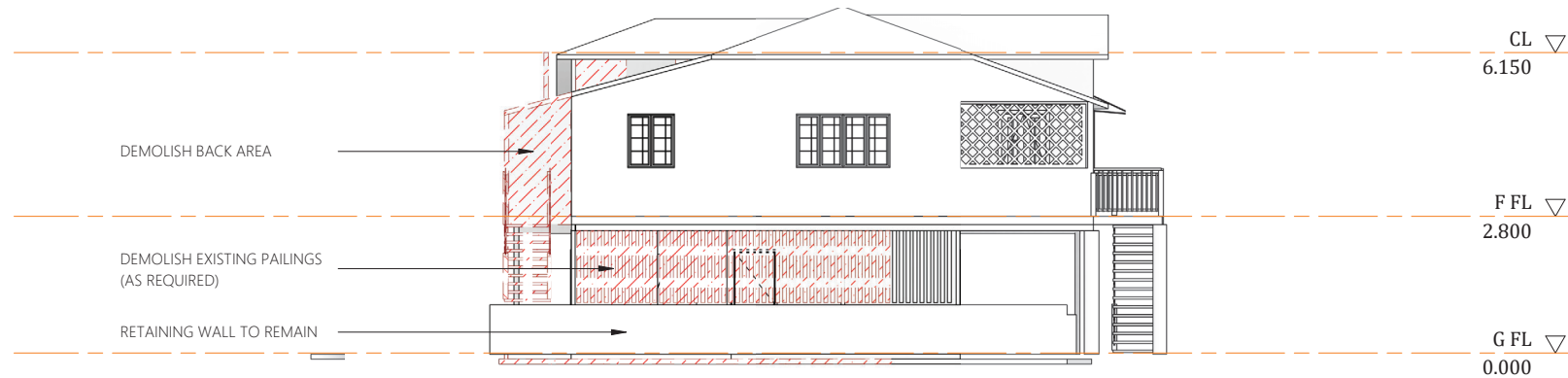
info@designelements.com.au E

QBCC No: 1247120

BDAQ No: 0001677

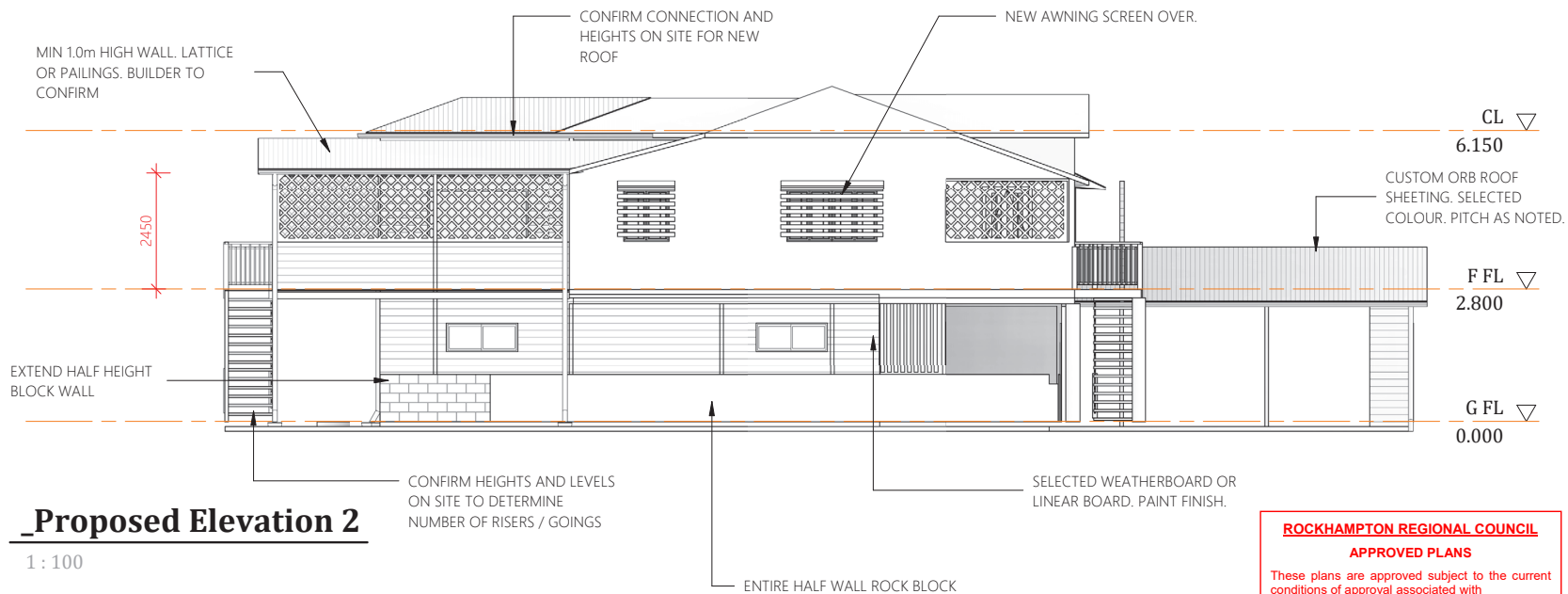
Scale: 1 : 100	Rev:
Date: OCT 2020	B
Drawn: NJB	
Project No: 20_146	Drawing No: A-10

28/06/2021 7:32AM AM



Existing Elevation 2

1 : 100



Proposed Elevation 2

1 : 100

DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

ELEVATIONS



0407 271 336 M

info@designelements.com.au E

QBCC No: 1247120

BDAQ No: 0001677

Scale: 1 : 100	Rev: B
Date: OCT 2020	
Drawn: NJB	

Project No: 20_146
Drawing No: A-11

28/06/2021 7:32:07 AM

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

Dated: 7 July 2021

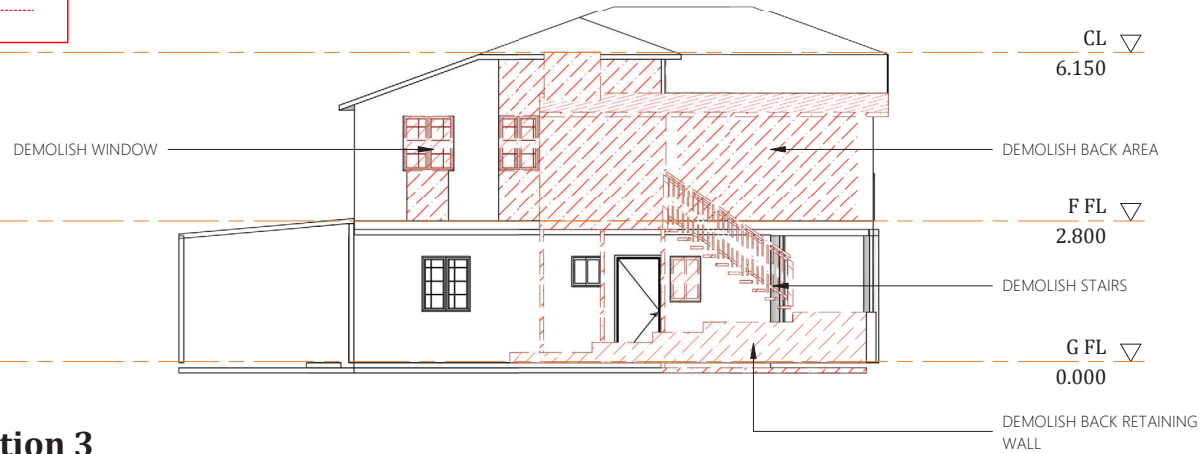
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

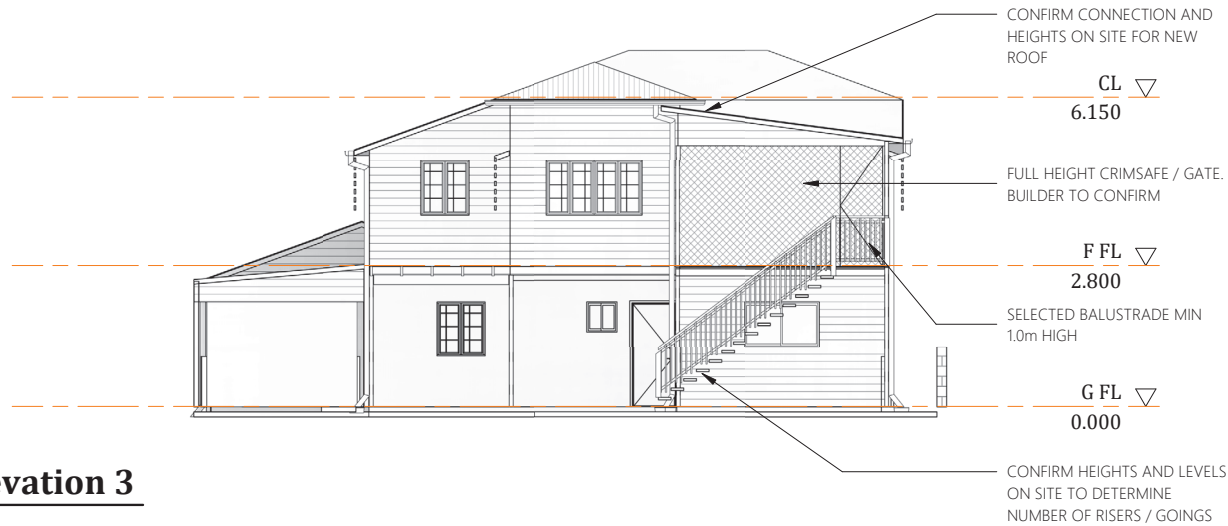
Development Permit No.: D/75-2021

Dated: 7 July 2021



Existing Elevation 3

1 : 100



Proposed Elevation 3

1 : 100

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

ELEVATIONS



0407 271 336 M

info@dezi nelements.com.au E

QBCC No: 1247120

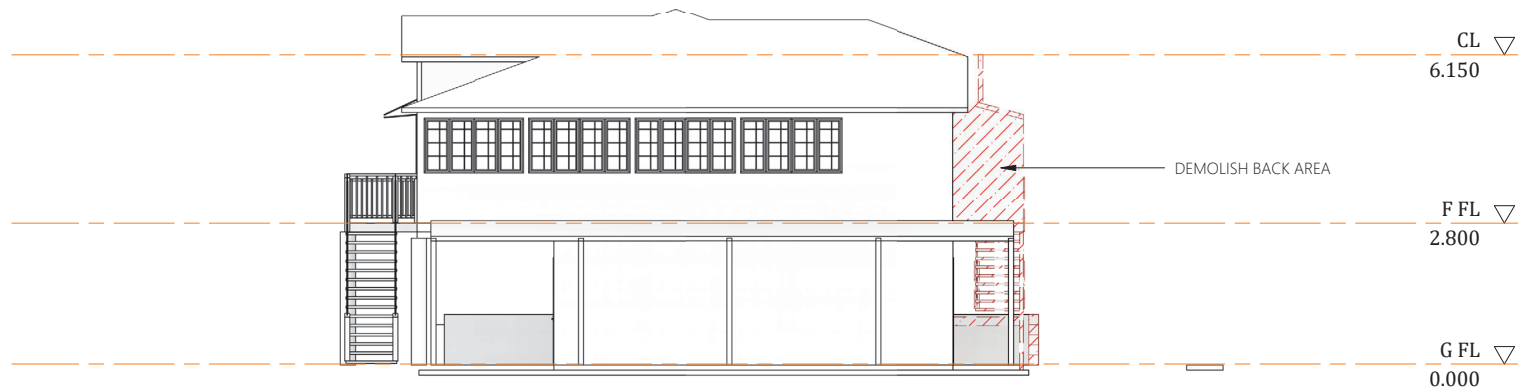
BDAQ No: 0001677

Scale: 1 : 100	Rev: B
Date: OCT 2020	
Drawn: NJB	

Project No: Drawing No:

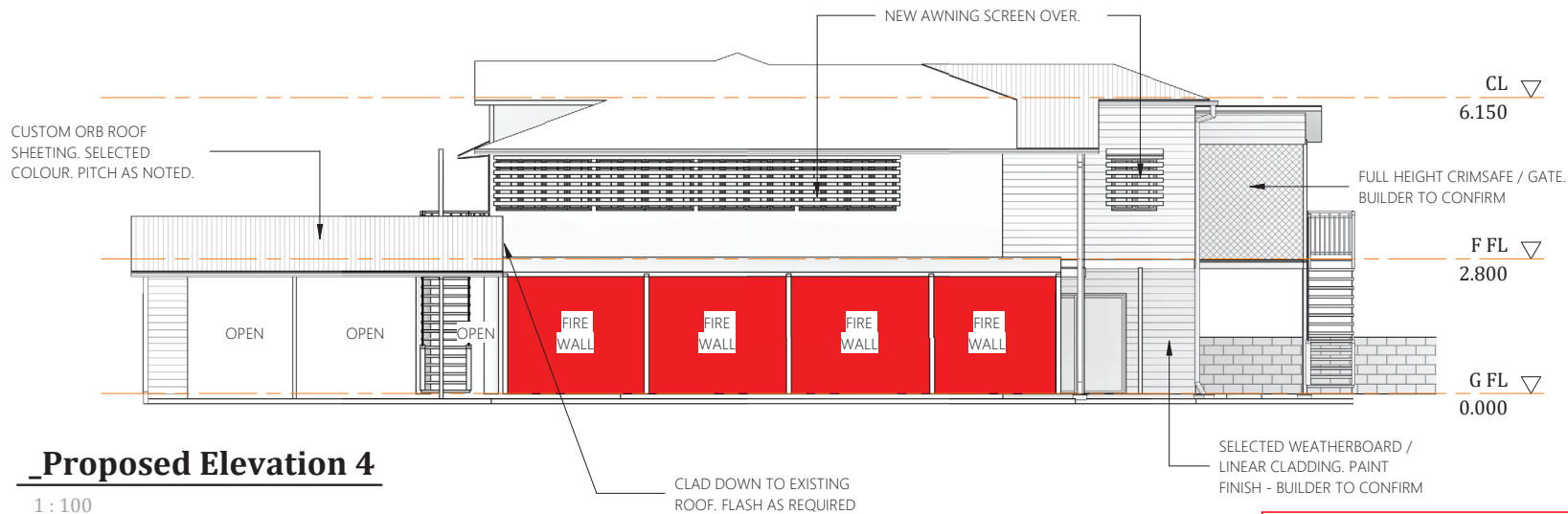
20_146 A-12

28/06/2021 7:32:09 AM



Existing Elevation 4

1 : 100



Proposed Elevation 4

1 : 100

DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

ELEVATIONS



0407 271 336 M
info@dezi nelements.com.au E
QBCC No: 1247120 BDAQ No: 0001677

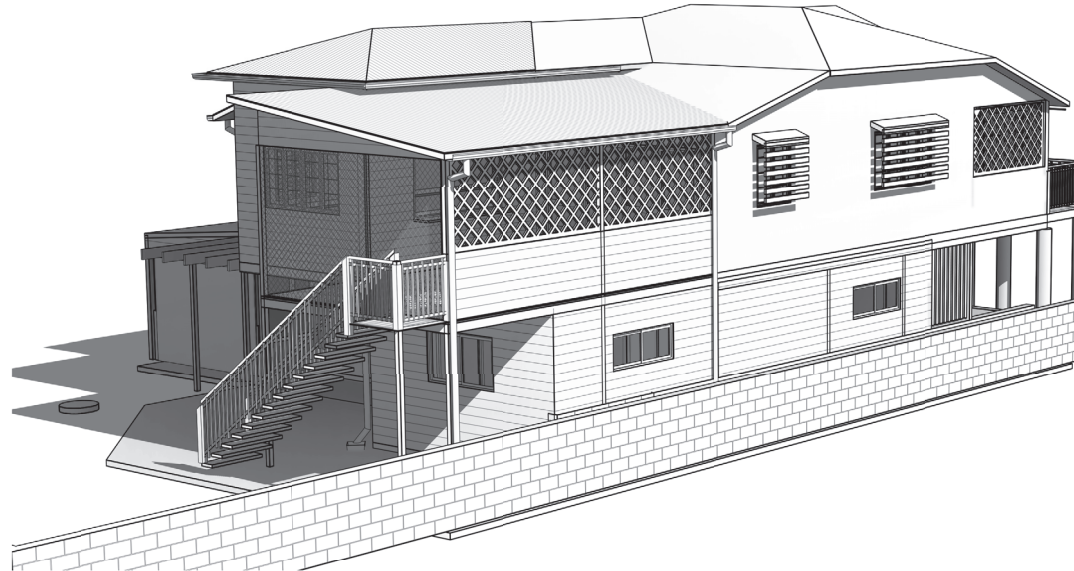
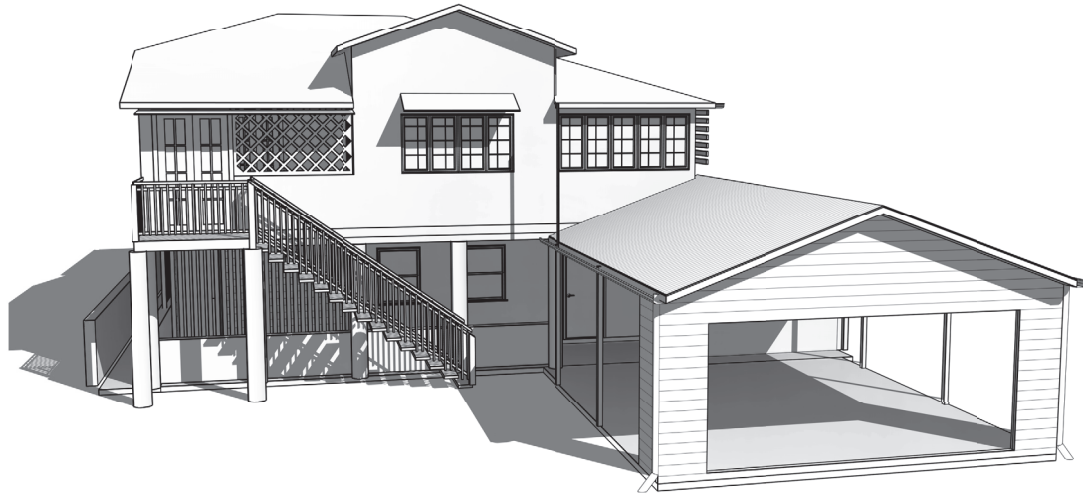
Scale: 1 : 100	Rev:
Date: OCT 2020	B
Drawn: NJB	
Project No: 20_146	Drawing No: A-13

28/06/2021 7:32:12 AM

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/75-2021
Dated: 7 July 2021



ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

Dated: 7 July 2021

DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

3D VIEWS



0407 271 336 M

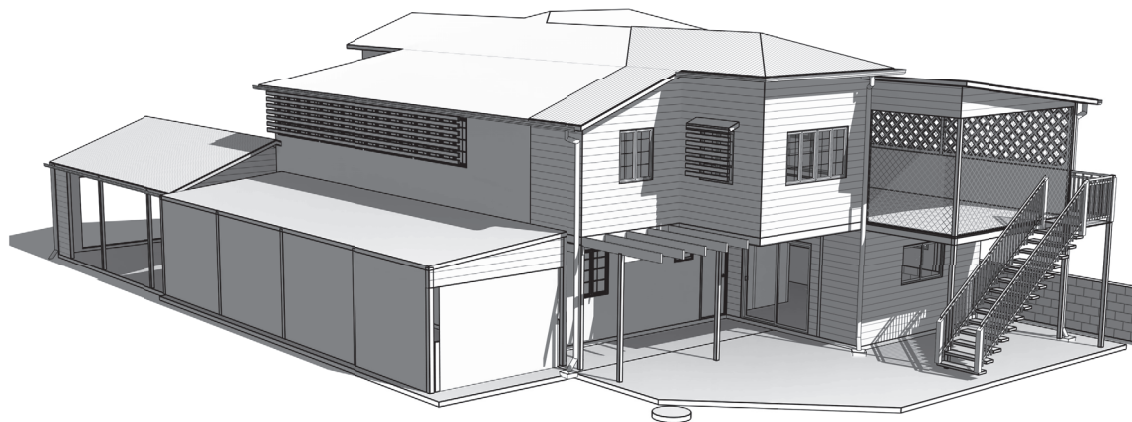
info@deaignelements.com.au E

QBCC No: 1247120

BDAQ No: 0001677

Scale:	Rev:
Date: OCT 2020	B
Drawn: NJB	
Project No: 20_146	Drawing No: A-14

28/06/2021 7:32:16 AM



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:
A	FOR APPROVAL	27.04.2021
B	REVISED FOR APPROVAL	28.06.2021

REVISIONS

Builder:



ISSUED FOR
FOR APPROVAL

Project:

EXTENSION

Address:

**38 GLENCOE STREET,
THE RANGE**

Drawing Title:

3D VIEWS



0407 271 336 **M**
info@deaignelements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:
Date: OCT 2020	B
Drawn: NJB	
Project No: 20_146	Drawing No: A-15

28/06/2021 7:32:19 AM

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/75-2021

Dated: 7 July 2021