

### IMPORTANT NOTE

This plan was prepared to accompany an application to Rockhampton Regional Council and should not be used for any other purpose.

The dimensions and areas shown hereon are subject to field survey and also to the requirements of council and any other authority which may have requirements under any relevant legislation.

In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land.

This note is an integral part of this plan.

client

**R. Sweeney**

project

**148-150 Fitzroy Street  
& 107 Talford Street,  
Allenstown**

plan of

**Reconfiguration Plan  
Plan of Development  
(5 Lots into 4 Lots)  
(with Detail Underlay)**

rpd

**Lots 2 & 3 on RP602384 &  
Lots 1-3 on RP604408**

lga

**Rockhampton Regional Council**

issue	date	details	authorised
A	25-07-2019	Initial Issue	RJKF
B	11/10/2019	Prop bdy's amended, prop dwellings rem'd	RJKF

created



scale	datum
<b>1:300 @ A3</b>	<b>AHD</b>
sheet no.	cad file
<b>1 of 1</b>	<b>7438-03-ROL-B</b>
plan no.	revision
<b>7438-03-ROL</b>	<b>B</b>

### ROCKHAMPTON REGIONAL COUNCIL APPROVED PLANS

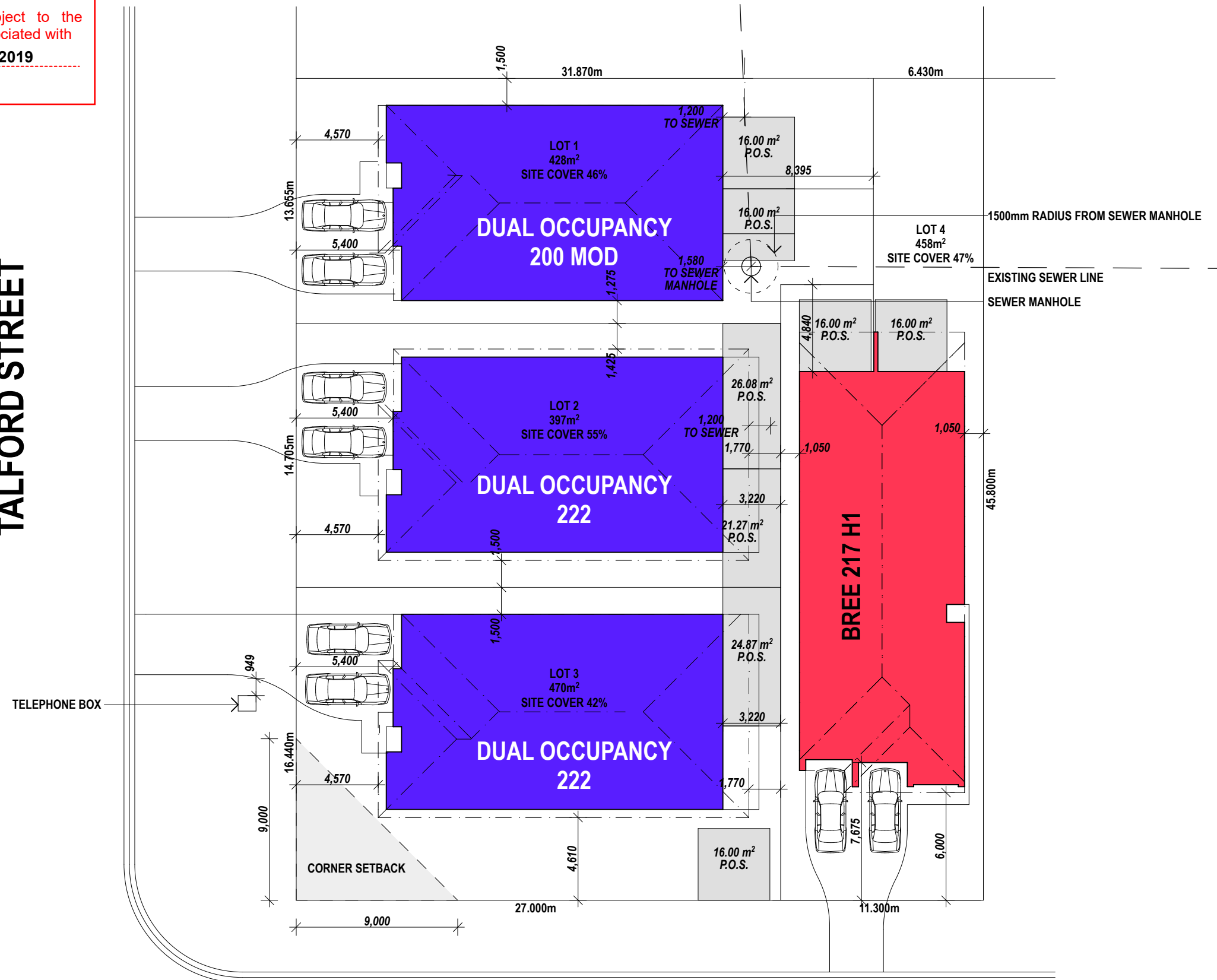
These plans are approved subject to the current conditions of approval associated with  
**Development Permit No.: D/67-2019**  
**Dated: 6 November 2019**

## APPROVED PLANS

**Development Permit No.: D/67-2019**

**Dated: 6 November 2019**

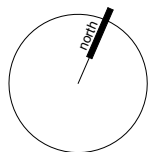
# TALFORD STREET



# FITZROY STREET

# SITING PLAN SCALE 1:250

## AMENDMENTS

[illegible]

## STANDARD ISSUE

VERSION	DATE	AMENDMENT



two clicks design  
p (07) 5527 5300  
a p.o. box 42, isle of capri, QLD. 4217  
e [info@jpd.com.au](mailto:info@jpd.com.au)

## project proposed new plotting

address  
148 Fitzroy street

for  
**Homecorp®**  
**CONSTRUCTIONS**  
and  
**Homecorp®**

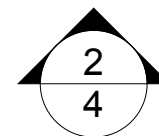
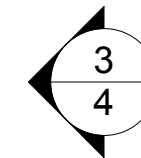
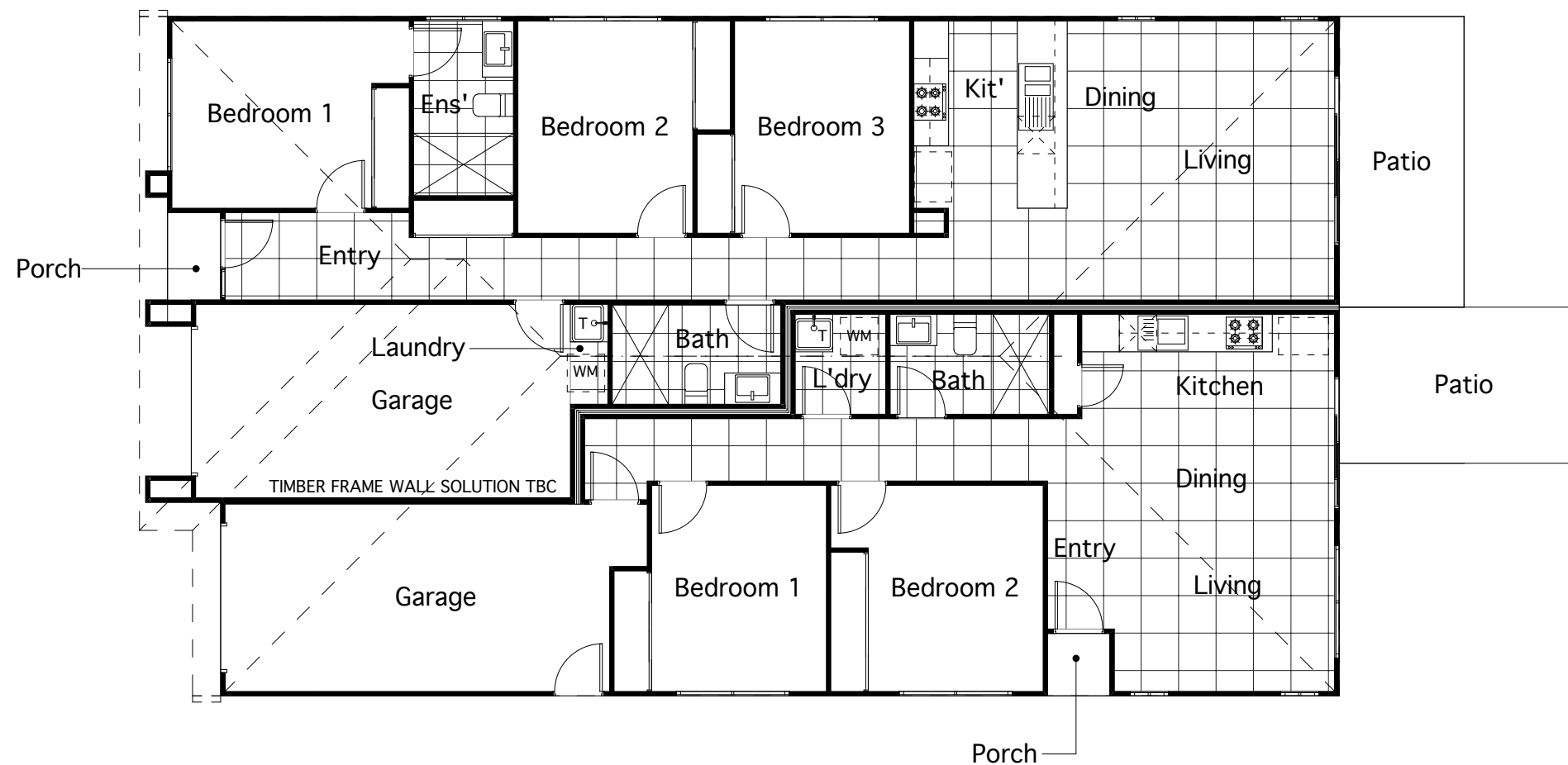
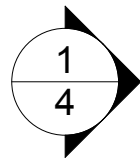
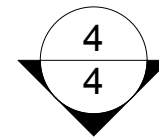
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date	SEPTEMBER 2019
scale	1.250 @ A3
drawn	WS

drawing title	issue
SITING PLAN	E

drawing no.  
BP1101/L148/WD3

**Dated: 6 November 2019**



Unit 1		Unit 2	
LIVING	92.21	LIVING	60.63
GARAGE	22.11	GARAGE	21.53
PORCH	1.50	PORCH	3.00
	115.82 m²		85.16 m²
		Total	200.98 m²

# GROUND FLOOR PLAN SCALE 1:100

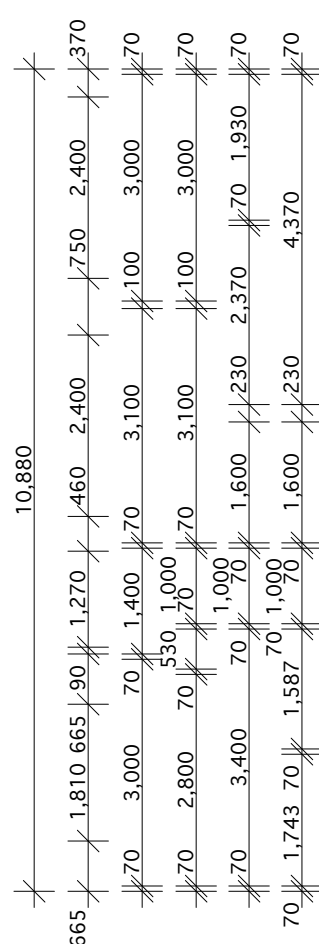
drawing no.  
BP000####L####/WD2



date	MAY '19
scale	1:100 @ A3
drawn	WS/ME
drawing title	issue
<div>GROUND FLOOR D</div> <div>DIMENSION PLAN</div>	
drawing no.	
BP000####L####/WD3	





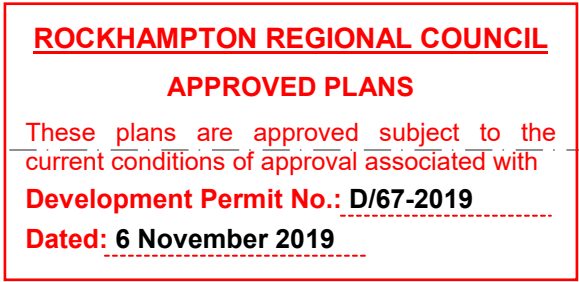


SCALE 1:100

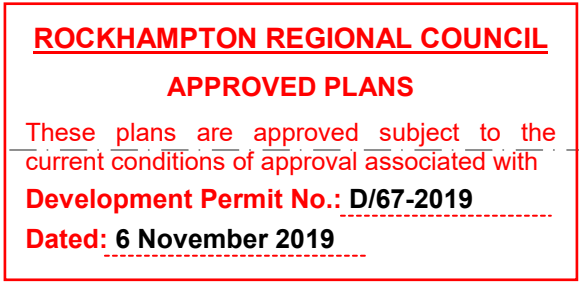
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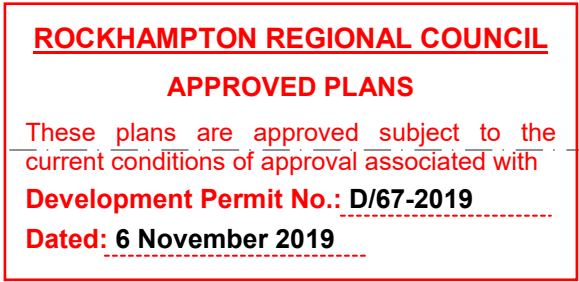
elevation 1



elevation 2



elevation 3



elevation 4

## ELEVATIONS SCALE 1:100

[illegible]

STANDARD ISSUE		
VERSION	DATE	AMENDMENT



two clicks design  
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e [info@jpd.com.au](mailto:info@jpd.com.au)

project  
Dual occupancy 222  
(3+2)

address  
LOT 3, 148 Fitzroy  
street

for  
**Homecorp®**  
**CONSTRUCTIONS**  
and  
**Homecorp®**

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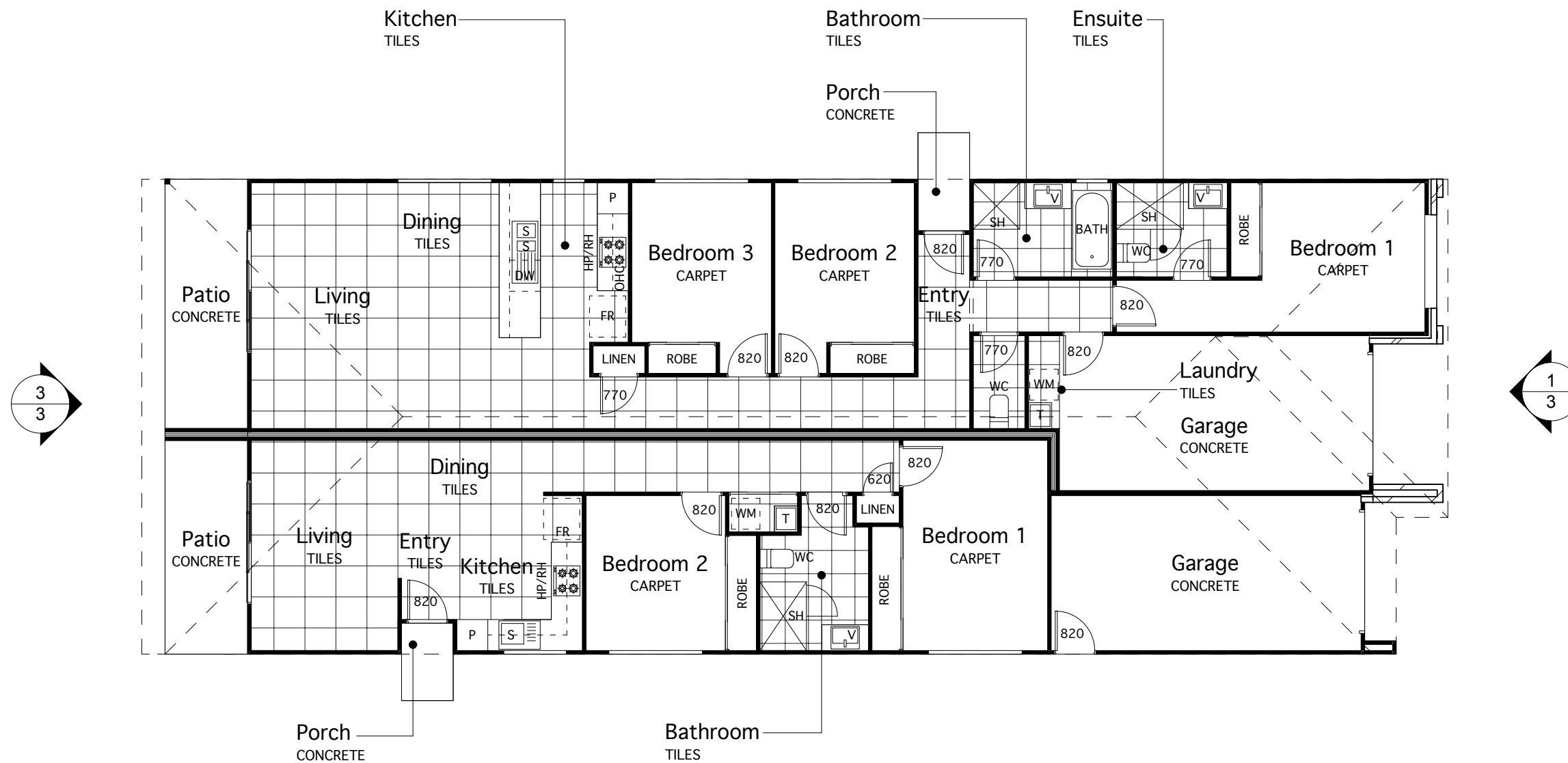
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date	MAY '19
scale	1:100 @ A3
drawn	WS/ME

drawing title	issue
ELEVATIONS	B

drawing no.  
BP000####L####/WD4

**Dated: 6 November 2019**

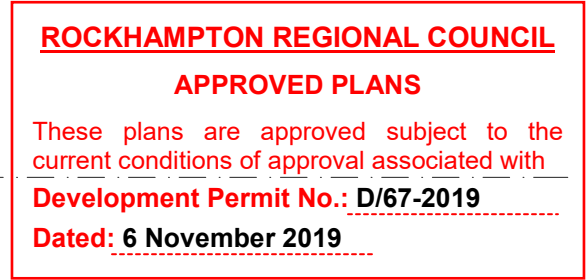


LIVING	63.53
GARAGE	19.51
PATIO	6.81
PORCH	0.60
	90.45 m <sup>2</sup>
	217.65 m <sup>2</sup>

drawing no.  
BP000/DO210/L000/WD1

**Dated: 6 November 2019**

drawing no.  
BP000/DO210/L000/WD2



elevation 1

2,440

elevation 2

Architectural elevation drawing of a building facade. The drawing shows a long, low structure with a gabled roof. The facade features horizontal siding. From left to right, there is a door with a transom, a window with a transom, a larger window with a transom, another window with a transom, and a door with a transom. The drawing includes dimension lines and a scale bar.

elevation 4

ELEVATIONS

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## ELEVATIONS

[illegible]

STANDARD ISSUE		
VERSION	DATE	AMENDMENT



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a p.o. box 42, isle of capri, QLD. 4217  
e [info@jaredpooledesign.com.au](mailto:info@jaredpooledesign.com.au)

project	
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proposed new residence

## DUAL OCCUPANCY 217 (H1)

address

LOT 4, 148 Fitzroy  
street

for

Homecorp®  
CONSTRUCTIONS

and

Homecorp®

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date	MONTH '19
scale	1:100 @ A3
drawn	INITIALS

drawing title	issue
ELEVATIONS	A

drawing no.
BP000/DO210/L000/WD3