



REQUIREMENTS FOR SUSTAINABLE BUILDINGS IN ALL
New Class 1 and Sole-occupancy unit of a Class 2
building, and renovated bathrooms in an existing
Class 1 and a Sole-occupancy unit of an existing
Class 2.

Shower Rose: (to reticulated water supply areas only)

Shower roses to be 3 STAR rating under the Water Efficiency Labelling Scheme (WELS) or a AAA rating when assessed against AS/NZ 6400:2005 Water Efficiency Products – rating and Labelling.

Water Pressure Limiting: (to reticulated water supply areas only)

The maximum pressure level of water from any outlet within the property boundaries of a new Class 1 building must not exceed 500kPa.

Compliance can be achieved through the installation of a water pressure limiting device in line with the water meter. Where it is known that a pressure level of the water supply does not exceed 500 kPa a water limiting is not required.

Dual Flush Toilets:

A toilet must have a dual flush capacity that does not exceed 6 litres on full flush and 3 litre on half flush.

Energy Efficiency Lighting:

Energy efficiency lighting includes fluorescent and compact fluorescent lights. It does not include incandescent or halogen lights. Compliance is achieved when energy efficient lighting is used for 80% of the total floor area of the building or sole occupancy unit.

(Floor area means the area of a room measured within the finished surfaces and includes the area of any cupboard, built-in furniture, fixture or fitting.)

This area includes associated garages. Where part of the building is lit by more than one light source, and one or more of those light sources is not deemed to be efficient lighting, then that part of the building is not considered to have efficient lighting, and therefore does not qualify towards 80% efficient lighting requirement.

Hot Water Supply:

To be in accordance with the plumbing code

TERMITE PROTECTION:

To be carried out in accordance with AS 3660.1 2000
Builder to advise Local Authority of method of termite protection and provide necessary certificates as desired.
Builder to advise Owners of the method of termite protection and their responsibility for any ongoing treatment/s.

GENERAL DESIGN NOTES.

1. Do not scale – use measurements shown.
2. Confirm all measurements and levels on site before commencing work.
3. All timber sizes to be in accordance with AS1684.3 2010
4. All tie down values not shown to be in accordance with AS1684.3 2010
5. If any designs by Manufacturers and/or others are used on this project then these changes must be the responsibility of these persons unless referred to the DESIGNER for approval.
6. Sustainable Buildings requirements to be in accordance with AS/NZS 3500 – 2003 Plumbing and Drainage and AS/NZS 6400 – 2004 Water efficient products – rating and labelling.
7. Form 15 from a Registered Consulting Engineer.

Habitable floor area	=	37.6sq metres
Office floor area	=	14.1sq metres
Garage and storage floor area	=	70.4sq metres
Storage loft floor area	=	47.7sq metres
Total floor area	=	269.8sq metres
% Site Coverage	=	21.8%

ENERGY EFFICIENCY INFORMATION

See Attached Energy Efficiency Booklet

STORMWATER RUNOFF CALCULATIONS

See Attached Stormwater Runoff Data Sheet

PROJECT: PROPOSED CONVERSION SHED INTO DWELLING

THIS DRAWING SIGNED IN RED BY THE DESIGNER IS AN AUTHENTIC COPY OF PLANS PRODUCED BY THIS DESIGN OFFICE FOR THIS SPECIFIC BUILDING SITE. NO RESPONSIBILITY WILL BE TAKEN FOR THE UNAUTHORIZED USE OF THESE DRAWINGS

DESIGN CRITERIA C2 AS 1684.3 2010

CLIENT:

W LAWERENCE
608 MONTGOMERIE STREET
LAKES CREEK. QLD. 4701

SITE ADDRESS:

608 MONTGOMERIE STREET
LAKES CREEK. QLD. 4701

TYPE OF CONSTRUCTION:

CLAD FRAME

ROOF PITCH:

22.0° & 15° pitch

OWNER:

W LAWERENCE
608 MONTGOMERIE STREET
LAKES CREEK. QLD. 4701

JOB No. 19.01

SIGNATURE:

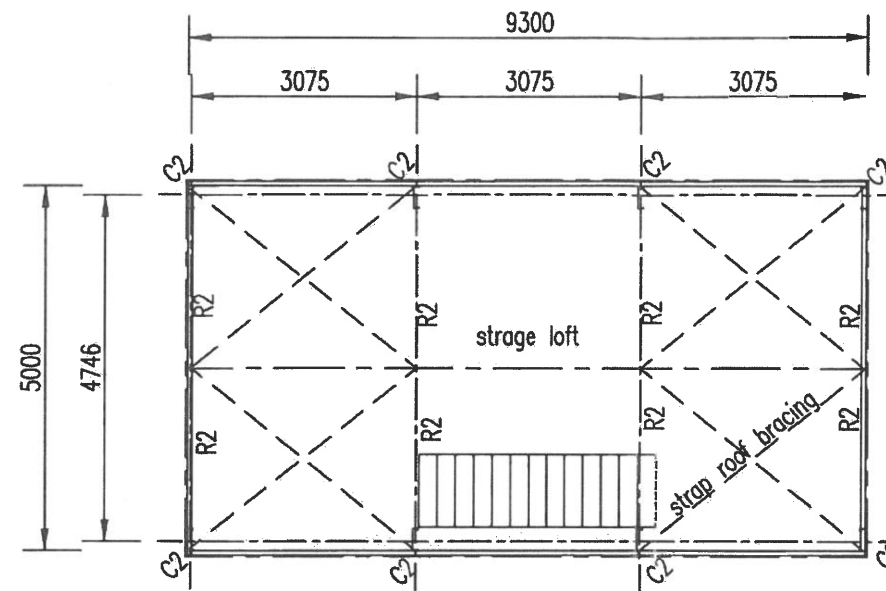


BUILDING DESIGN SERVICE
Des Haughton, A.D.C.E., M.BDAQ, M.QMBA Phone (07) 49264003
ABN 31 412 306 218 Fax 07 49264007 Mobile 0407760733
85 Burnett Street, North Rockhampton 4701

QBCC Lic. No. 57924

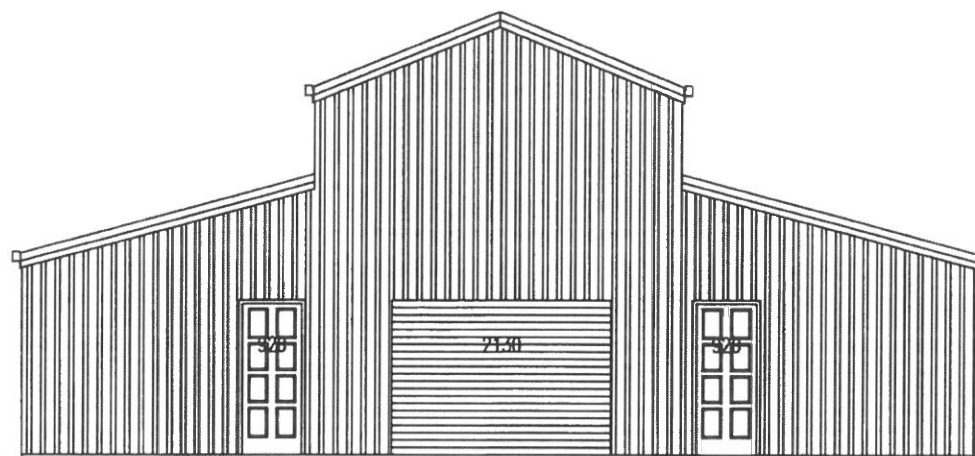
DATE: 08-01-2019

SHEET 1 OF 5

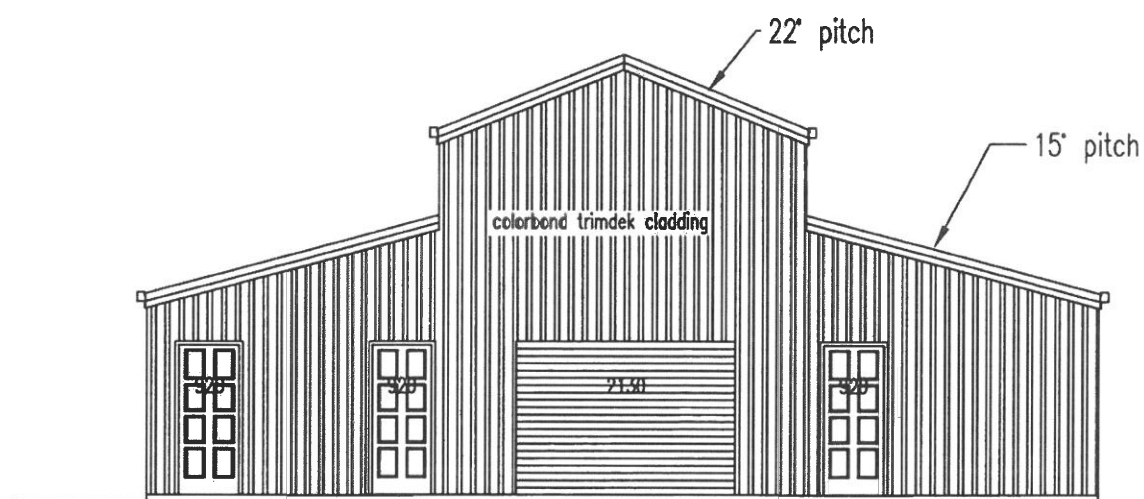


STORAGE LOFT FLOOR PLAN

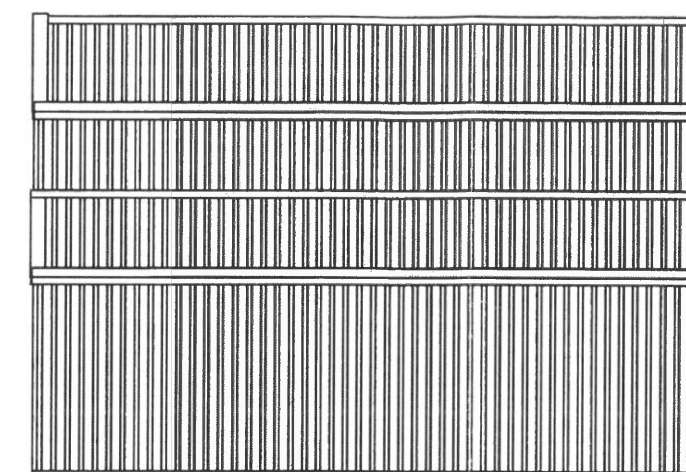
LEGEND:
C2 30025 portal column
R2 30025 portal rafter



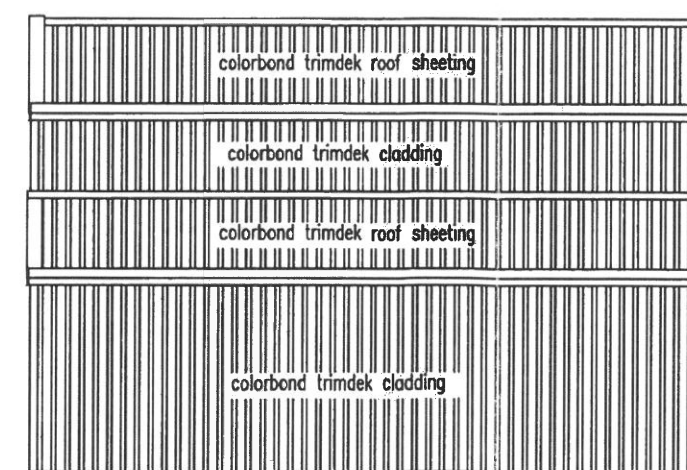
ground line
ELEVATION D



ground line
ELEVATION B



ground line
ELEVATION C



ground line
ELEVATION A

ROCKHAMPTON REGIONAL COUNCIL

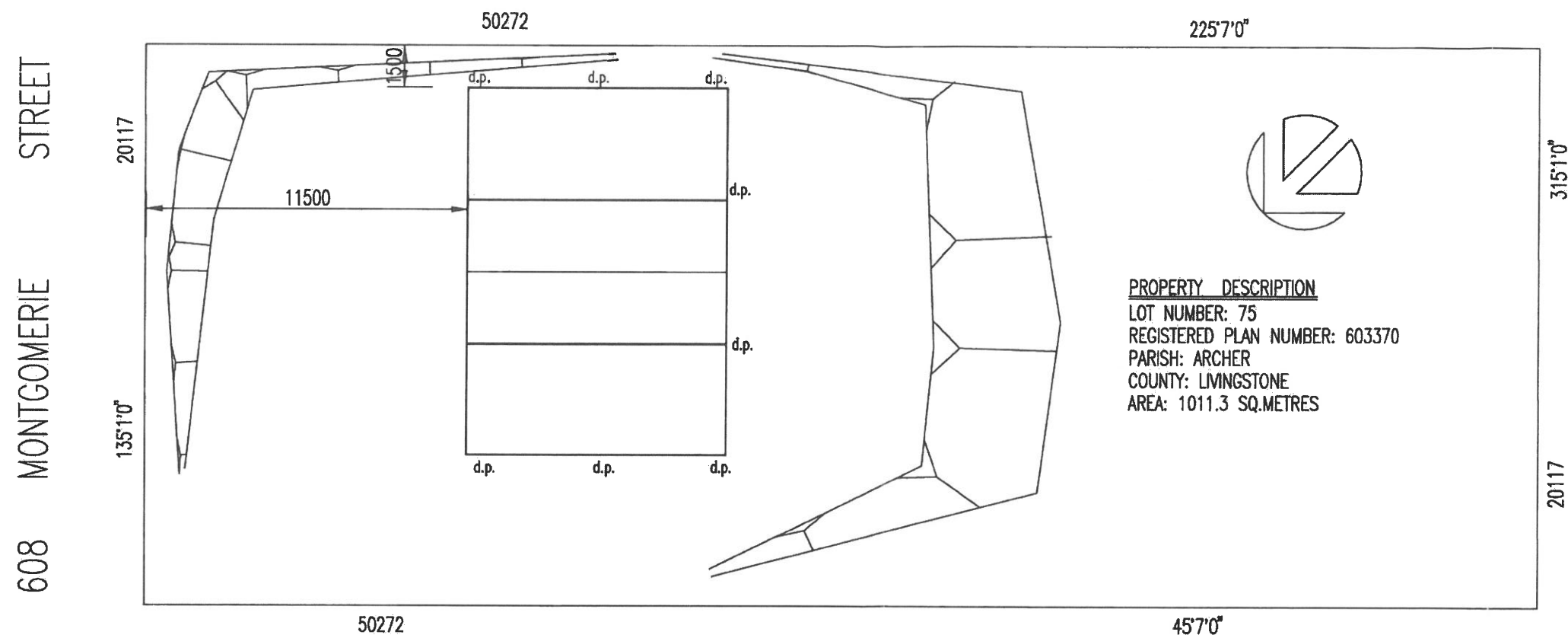
APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/65-2019

Dated: 11 November 2019

portal height
floor line
2750
5100
2900
line



SITE PLAN



BUILDING DESIGN SERVICE
Des Houghton, A.D.C.E., M.BDAQ, M.QMBA Phone (07) 49264003
ABN 31 412 306 218 Fax 07 49264007 Mobile 0407760733
95 Burnett Street, North Rockhampton 4701

QBCC Lic. No. 57924

PROJECT PROPOSED CONVERSION OF SHED TO DWELLING
SITE ADDRESS 608 MONTGOMERIE STREET, LAKES CREEK. QLD. 4701
CLIENT W LAWRENCE OWNER
CLIENT ADDRESS 608 MONTGOMERIE STREET, LAKES CREEK. QLD. 4701 OWNERS ADDRESS

SCALE:	JOB No:
1: 200	19.01
08-01-2019	SHEET 5 OF 5

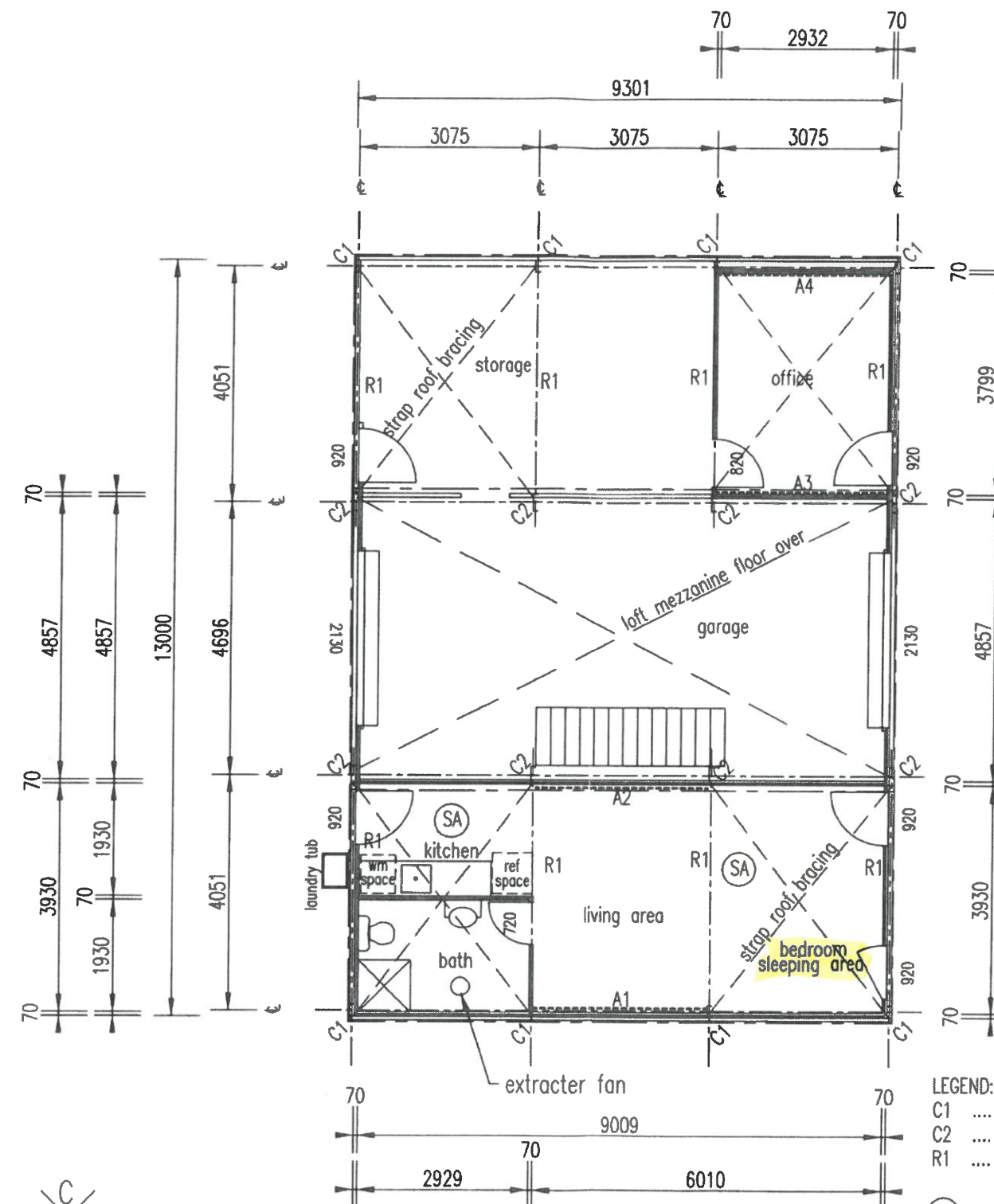
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/65-2019

Dated: 11 November 2019



JHFC1 6mm Hardi flat cement sheet one side fixed
 150mm maximum on edges, bottom, top and centre studding
 rated at 5.3kN/m. M12 tie rod each end of bracing panels
 and at 1200mm centres

Bracing for Direction A				
Resistance in HORIZONTAL direction				
Code	Type	Length	Value	Total
A1	JHFC1	3000	15.90	15.90
A2	JHFC1	3000	15.90	31.80
A3	JHFC1	3000	15.90	47.70
A4	JHFC1	3000	15.90	63.60

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the
 current conditions of approval associated with

Development Permit No.: D/65-2019

Dated: 11 November 2019