

Department of Infrastructure, Local Government and Planning

Our reference: SDA-1115-026290

Your reference: D/55-2015

26 October 2018

The Chief Executive Officer Rockhampton Regional Council PO Box 1860 Rockhampton Qld 4700

Attention: Thomas Gardiner

Dear Sir/Madam

Concurrence agency response—with conditions

265 Somerset Road - Gracemere, (Lot 2 on SP259555) (Given under section 285 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of State Development, Manufacturing, Infrastructure and Planning under section 272 of the *Sustainable Planning Act 2009* on 8 January 2016.

Applicant details

Applicant name: Bowes Investments Pty Ltd

Applicant contact details: c/- Reel Planning

PO Box 1580

Rockhampton Qld 4700 brendan@reelplanning.com

Site details

Street address: 265 Somerset Road - Gracemere

Lot on plan: Lot 2 on SP259555

Local government area: Rockhampton Regional Council

Application details

Proposed development: Development permit for reconfiguring a lot (1 lot into 9 lots)

Aspects of development and type of approval being sought

Nature of	Approval	Brief Proposal of	Level of
Development	Type	Description	Assessment
Reconfiguring a Lot	Development permit	One lot into nine lots	

Referral triggers

The development application was referred to the department under the following provisions of the *Sustainable Planning Regulation 2009*:

Referral trigger Schedule 7, table 2, item 2—State-controlled road

Schedule 7, table 3, item 2—Development impacting on State

transport infrastructure

Conditions

Under section 287(1)(a) of the *Sustainable Planning Act 2009*, the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

Under section 289(1) of the *Sustainable Planning Act 2009*, the department must set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved plans and specifications

The department requires that the following plans and specifications set out below and in Attachment 3 must be attached to any development approval.

Drawing/Report Title	Prepared by	Date	Reference no.	Version/Issue	
Aspect of development: Reconfiguring a lot					
Proposed Drainage Layout SMP01 (as amended in red)	Calibre Consulting	undated	R14205	-	

A copy of this response has been sent to the applicant for their information.

For further information, please contact Tracey Beath, Senior Planning Officer, on (07) 4924 2917 or email RockhamptonSARA@dsdmip.qld.gov.au, who will be pleased to assist.

Yours sincerely

Anthony Walsh Manager Planning

Will

Bowes Investments Pty Ltd c/- Reel Planning, brendan@reelplanning.com CC:

enc: Attachment 1—Conditions to be imposed

Attachment 2—Reasons for decision to impose conditions
Attachment 3—Approved plans and specifications

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Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing							
Reconfi	Reconfiguring a lot								
section nominat assessi	ontrolled road / Development impacting on State transport infrastruct 255D of the Sustainable Planning Act 2009, the chief executive admes the Director-General of the Department of Transport and Main Rong authority for the development to which this development approval tration and enforcement of any matter relating to the following conditions.	inistering the Act pads to be the relates for the							
1.	 a) The stormwater management works must be carried out generally in accordance with the Proposed Drainage Layout SMP01 prepared by Calibre Consulting (undated), reference R14205, as amended in red, in particular: (i) a minimum 16,200 m³ detention volume for the proposed detention basin; (ii) 2 x 1200mm diameter and 1 x 1050mm outlet pipes; and (iii) a 20m wide outlet weir. b) RPEQ certification, with supporting documentation, must be provided to the Manager of Planning Projects & Corridor Management at CorridorManagement@tmr.qld.gov.au within the Department of Transport and Main Roads', confirming that the development has been constructed in accordance with part (a) of this condition. 	(a) At all times (b) Prior to submitting the Plan of Survey to the local government for approval							

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Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

 To ensure that the impacts of stormwater events associated with the development are minimised and managed to avoid creating any adverse impacts on the state transport corridor. Our reference: SDA-1115-026290

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Attachment 3—Approved plans and specifications

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