

Our reference: SDA-1115-026290
Your reference: D/55-2015

26 October 2018

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton Qld 4700

Attention: Thomas Gardiner

Dear Sir/Madam

Concurrence agency response—with conditions

265 Somerset Road - Gracemere, (Lot 2 on SP259555)
(Given under section 285 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of State Development, Manufacturing, Infrastructure and Planning under section 272 of the *Sustainable Planning Act 2009* on 8 January 2016.

Applicant details

Applicant name:	Bowes Investments Pty Ltd
Applicant contact details:	c/- Reel Planning PO Box 1580 Rockhampton Qld 4700 brendan@reelplanning.com

Site details

Street address:	265 Somerset Road - Gracemere
Lot on plan:	Lot 2 on SP259555
Local government area:	Rockhampton Regional Council

Application details

Proposed development:	Development permit for reconfiguring a lot (1 lot into 9 lots)
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cc: Bowes Investments Pty Ltd c/- Reel Planning, brendan@reelplanning.com

enc: Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Approved plans and specifications

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Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Reconfiguring a lot		
State-controlled road / Development impacting on State transport infrastructure—Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i> , the chief executive administering the Act nominates the Director-General of the Department of Transport and Main Roads to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>a) The stormwater management works must be carried out generally in accordance with the Proposed Drainage Layout SMP01 prepared by Calibre Consulting (undated), reference R14205, as amended in red, in particular:</p> <ul style="list-style-type: none"> (i) a minimum 16,200 m³ detention volume for the proposed detention basin; (ii) 2 x 1200mm diameter and 1 x 1050mm outlet pipes ; and (iii) a 20m wide outlet weir. <p>b) RPEQ certification, with supporting documentation, must be provided to the Manager of Planning Projects & Corridor Management at CorridorManagement@tmr.qld.gov.au within the Department of Transport and Main Roads', confirming that the development has been constructed in accordance with part (a) of this condition.</p>	<p>(a) At all times</p> <p>(b) Prior to submitting the Plan of Survey to the local government for approval</p>

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Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

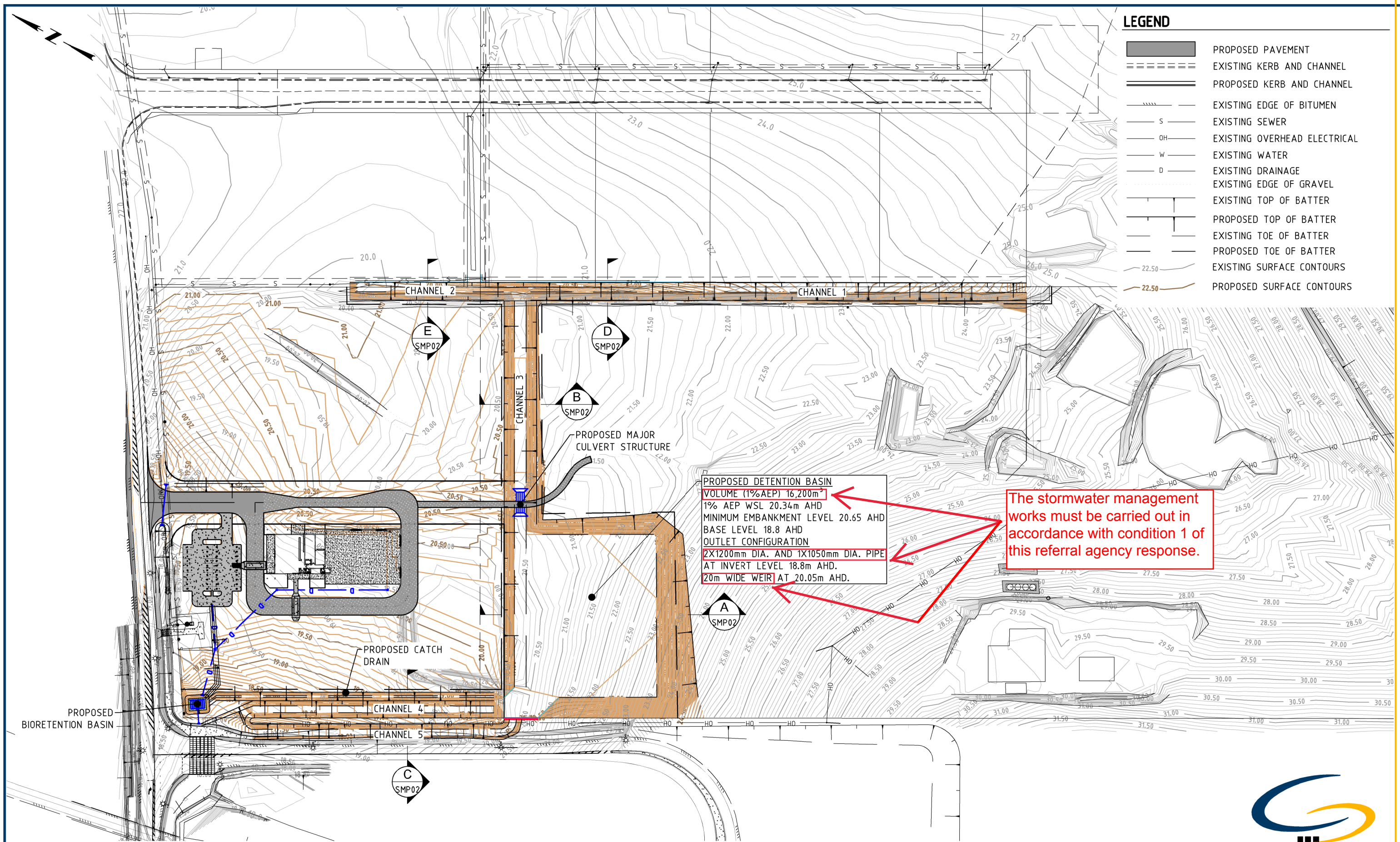
- To ensure that the impacts of stormwater events associated with the development are minimised and managed to avoid creating any adverse impacts on the state transport corridor.

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Attachment 3—Approved plans and specifications

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R14205 PICK A PART MCU PROPOSED DRAINAGE LAYOUT SMP01

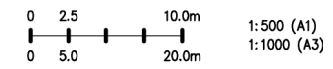
PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: SDA-1115-026290

Date: 26 October 2018

Amended in red by SARA on 26 October 2018

CONCEPT PLAN ONLY
 NOT TO BE USED FOR
 CONSTRUCTION PURPOSES



ROCKHAMPTON BRANCH
 REFERENCE: R14205
 DRAWN: AB