

SITE NOTES

- 1. Written dimensions take precedence over scale.
- 2. Builder to verify all boundary clearances and site set-out dimensions prior to commencement of construction.
- 3. Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
- 4. This site plan is based on a disclosure plan. Therefore the floor level is subject to change. Additional site survey must be taken to confirm the required bench level.
- 5. Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified prior to building approval. Retaining walls are closer than 1500mm from boundary require a building relaxation. (fill side only).
- 6. Batters to comply with appropriate soil classification described in table 3.1.1.1 BCA Vol 2.
- 7. Engineer to provide design to address footings if built in close proximity to sewer, stormwater or easements.
- 8. Vehicular cross-over to be constructed as per local council requirements and/or approval.
- 9. Dimensions to existing building on site are to be confirmed by a site survey before start of construction.

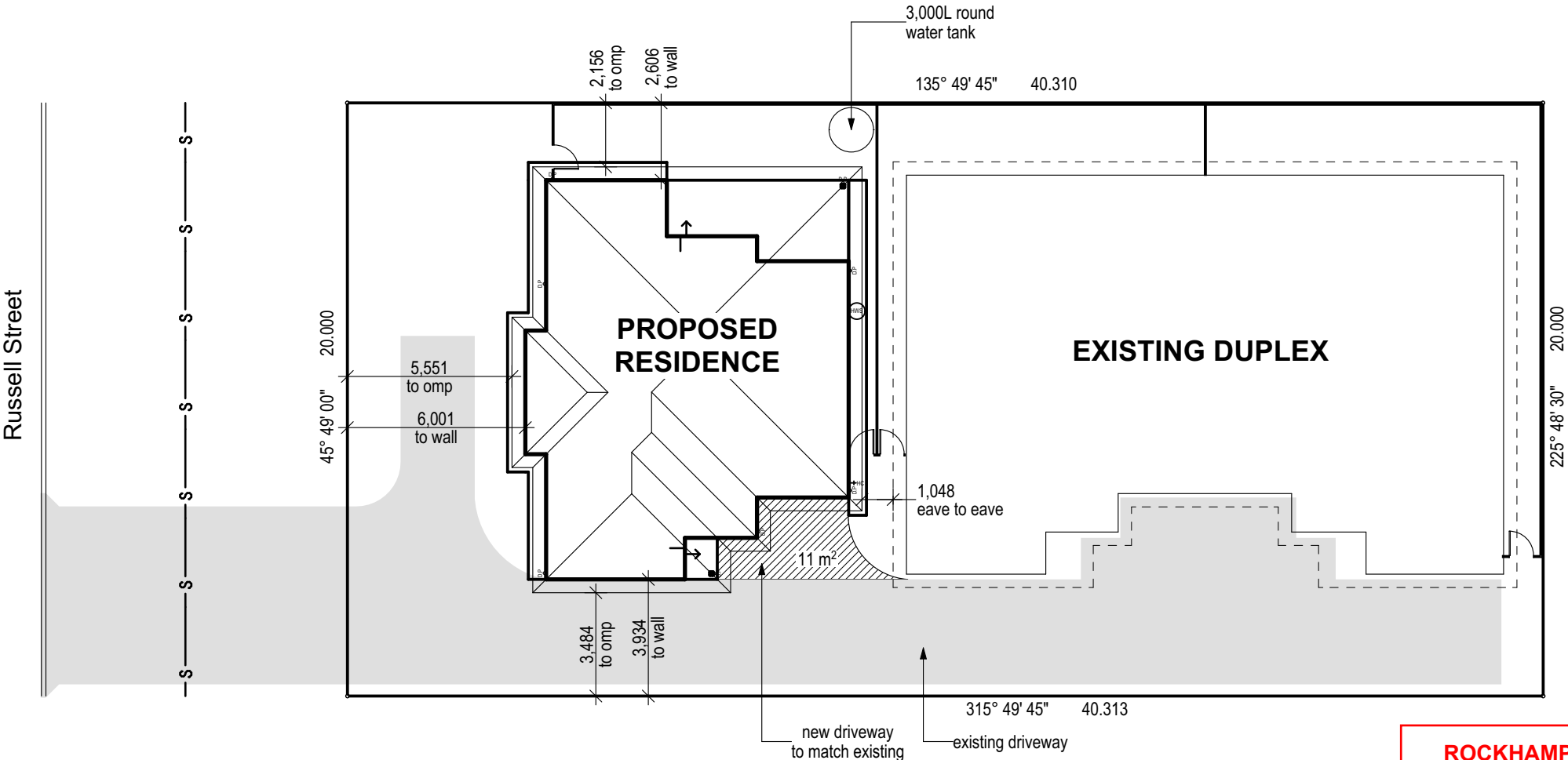
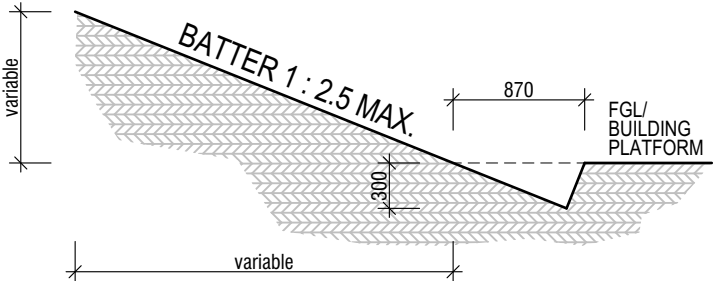
SERVICES

- 1. Services have been plotted from records of relevant authorities where available. Prior to any excavation or construction on site, the relevant authority should be contacted for possible location of further underground services.
- 2. All household sewerage and waste to be discharged to sewer system.
- 3. Stormwater & roof water to be connected to legal point of discharge in accordance with Pt 3 BCA Vol 2 and local authorities requirements. Approval to be obtained form local authority prior to work commencing.
- 4. Grade soil away from perimeter of building to prevent ponding. 1:20 minimum fall. Surface water to be channelled to legal point of discharge. ie. yard gully grate or similar.
- 5. Provide 1:20 ground surface fall towards gully pits. Final location of pits subject to change to suit site conditions. Contractor to check with site supervisor before commencing work.

GENERAL NOTES

- 1. Scrape away vegetation & cut & fill to provide a level building platform.
- 2. Floor slab to be in accordance with engineers drawings & details.
- 3. Termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3660 - 2014.
- 4. This site plan is transcription of the original contour survey & the builder is to verify all information contained hereon prior to site start.
- 5. The driveway & path shown on the plan is the suggested layout - areas shown on plan.

SPOON DRAIN



SITE AND DRAINAGE PLAN

Scale 1:200

SITE DESCRIPTION/DATA

LOT : 3 on SP175972
PARISH : Livingstone
COUNTY : Gracemere
AUTHORITY : Rockhampton R.C.

AREA = 806m²
SITE COVERAGE 16.11 % (Unit 1 = 129.81m²)

To Comply with part MP4.1 of the Queensland Development Code.

Sections:

Energy Efficiency:

- Verification indication achievement of not less than the 6-star rating by an approved assesor.

Energy Efficiency Fixtures:

- Must have energy efficiency lighting for minimum of 80% of total fixed internal lighting.
- New and Replacement Air-Conditioners to have EER to at least 2.9

Water Conservation:

- All shower roses to have minimum 3-star Water Efficiency Labelling and Standards rating.
- All toilets to have dual flush and minimum 4-star Water Efficiency Labelling and Standards rating.
- Cistern sizes to be compatible with toilet bowl size to allow proper function.
- All tapware to Laundry tub, Kitchen sinks, & Basins to have minimum 3-star Water Efficiency Labelling and Standards rating.

ROCKHAMPTON REGIONAL COUNCIL

AMENDED PLANS APPROVED

2 March 2023

DATE

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/278-2010

Dated: 17 December 2010

FULL WORKING DRAWINGS
FOR CONSTRUCTION
APPROVED BY CLIENT: 09/11/2022



QBCC Lic. No. 1044665

Head Office

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Postal - PO Box 302, Rockhampton Q 4700

Office - 293 Campbell Street, Rockhampton, Q. 4700

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- 7. Articulation joints to comply with 3.3.1.8 BCA Vol 2.
- 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
- 9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in)

- 10. Protection against subterranean termites shall be in accordance with AS 3660 - 2014. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations.
- 11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC pt 29, AS/NZs 6400:2005.
- 12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, 'Sustainable Buildings' QDC pt 29 & 25 AS/Nzs 300.1.2003 AS/NZS 6400:2005.
- 13. Lift off hinges to all WC doors to comply with Australian Standards.
- 14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2.
- 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

PLAN LEGEND

- afl = above floor level
- hd = head at 2100 afl.
- fw = floor waste
- sd = smoke detector
- vb = vanity basin
- obs = obscure glazing
- mb = meter box
- dp = downpipe
- ohc = overhead cupboard
- MH = manhole
- ref = refrigerator prov.
- mw = microwave prov.
- dw = dishwasher prov.
- ply = pantry
- wm = washing machine prov.
- ghw = gas hot water unit
- tr = towel rail
- trh = toilet roll holder
- HC = garden tap

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.

OWNER/S _____

WITNESS _____ DATE _____

CLIENT:

Michael & Belinda Vaughan

Lot 3, Russell Street
GRACEMERE

MODEL: Special Design

JOB No. 22L003RU

ISSUE/DATE:
FINAL ISSUE J :
28/11/2022

SHEET No. 4 OF 15

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CONSTRUCTION NOTES :

- EXTERNAL WALLS = 220mm (110mm BRICK, 40mm CAVITY, 70mm FRAME)
- C2 WIND DESIGN SPEED NOMINATED.
- WC DOOR TO HAVE EXTERNAL REMOVABLE HINGES IN ACCORDANCE WITH BCA-3.8.3.3.

ARTICULATION JOINTS

AJ = Articulation joint location nominated on drawings.
Builder to provide extra Articulation joints over & above what is nominated on drawings where necessary to comply with the Building Code of Australia, Engineers structural design requirements, soil report recommendations and site classification requirements

GENERAL NOTES

- PROVIDE COLD WATER CONNECTION & G.P.O. TO DISHWASHER SPACE.
- THE NUMBER OF DOORS AND WIDTH OF DOORS WILL BE DETERMINED BY THE CABINETMAKER TO OPTIMIZE THE FUNCTIONALITY OF THE CABINETRY.
- CAVITY SLIDING DOORS TO BE HUME EVOLUTION 90mm WALL FRAME CAVITY UNITS & INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPEC.

EXPANSION JOINTS

EJ = Expansion joint location for ceiling & floor tiles.

AREA TABLE	
AREA	SQ METRES:
1 LIVING	94.40
2 GARAGE	19.70
3 PORCH	1.53
4 ALFRESCO	14.18
	129.81 m ²

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GROUND FLOOR PLAN

Scale 1:100



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OWNER/S

WITNESS.....DATE

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Michael & Belinda Vaughan

**Lot 3, Russell Street
GRACEMERE**

MODEL: **Special Design**

JOB No. **22L003RU**

ISSUE/DATE:
**FINAL ISSUE J :
28/11/2022**

SHEET No. **5 OF 15**

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PROPOSED RESIDENTIAL DEVELOPMENT

3 RUSSELL STREET GRACEMERE QLD 4702

Legend	
ASR	ADJUST SHOWER ROSE
BP	BAGGED WASH & PAINTED
BSN	BATH
BTH	BATH
BR	BROOM CUPBOARD
C	CARPET AS SPECIFIED
CAP	CEILING ACCESS PANEL
CR	CEMENT RENDERED FINISH
CT	CERAMIC TILES
CTP	COOK TOP
DFU	DRAWER UNIT
FG	FIXED GLASS
FW	FLOOR WASTE
GL	GLASS LOUVERS
GR	GRAB RAIL
HOT	HARDWOOD DECKING TIMBER
HMU	HOT WATER UNIT
MR	MIRROR
PL	PLASTERBOARD LINING
PBC	PLASTERBOARD CORNICE
PTF	POLISHED TIMBER FLOOR
NS-CT	NON-SLIP CERAMIC TILE
R	TOWEL RING
REF	REFRIGERATOR
RH	RANGE HOOD
RS	ROTATING SHELVES
SCR	SHOWER CURTAIN RAIL
SH	SHOWER
SHS	SHOWER SCREEN
SRS	SHOWER ROSE
ST	STOVE
STF	STEEL TROWEL FINISHED CONCRETE
TC	TIMBER CLADDING AS SPEC
TL	TIMBER LOUVERS
TPH	TOILET PAPER HOLDER
TR	TOWEL RAIL
TUB	JACUZZY TUB
UTV	UNIT VENT
V	VENT SKIRTING
VSK	VENT SKIRTING
WC	TOILET SUITE
WM	WASHING MACHINE
WO	WALL OVEN
WDT	WASH DRYER

DEVELOPMENT DATA	
SITE AREA	806 sqm
SITE WIDTH	20.0m
ZONE	Residential Accommodation Precinct
UNITS	4 X 3 BEDROOMS
TOTAL BUILDING AREA	475 sqm
FSR	1 UNIT PER 200 sqm
TOTAL CAR PARKING	8
CAR PARKING SPACES	2500 x 5500mm
FRONT SETBACK	6m
SIDE SETBACK	1.2m - 3.5m
REAR SETBACK	1.2m
LANDSCAPE AREA	25.0sqm with 5m clear min

ROCKHAMPTON REGIONAL COUNCIL

AMENDED PLANS APPROVED

2 March 2023

DATE

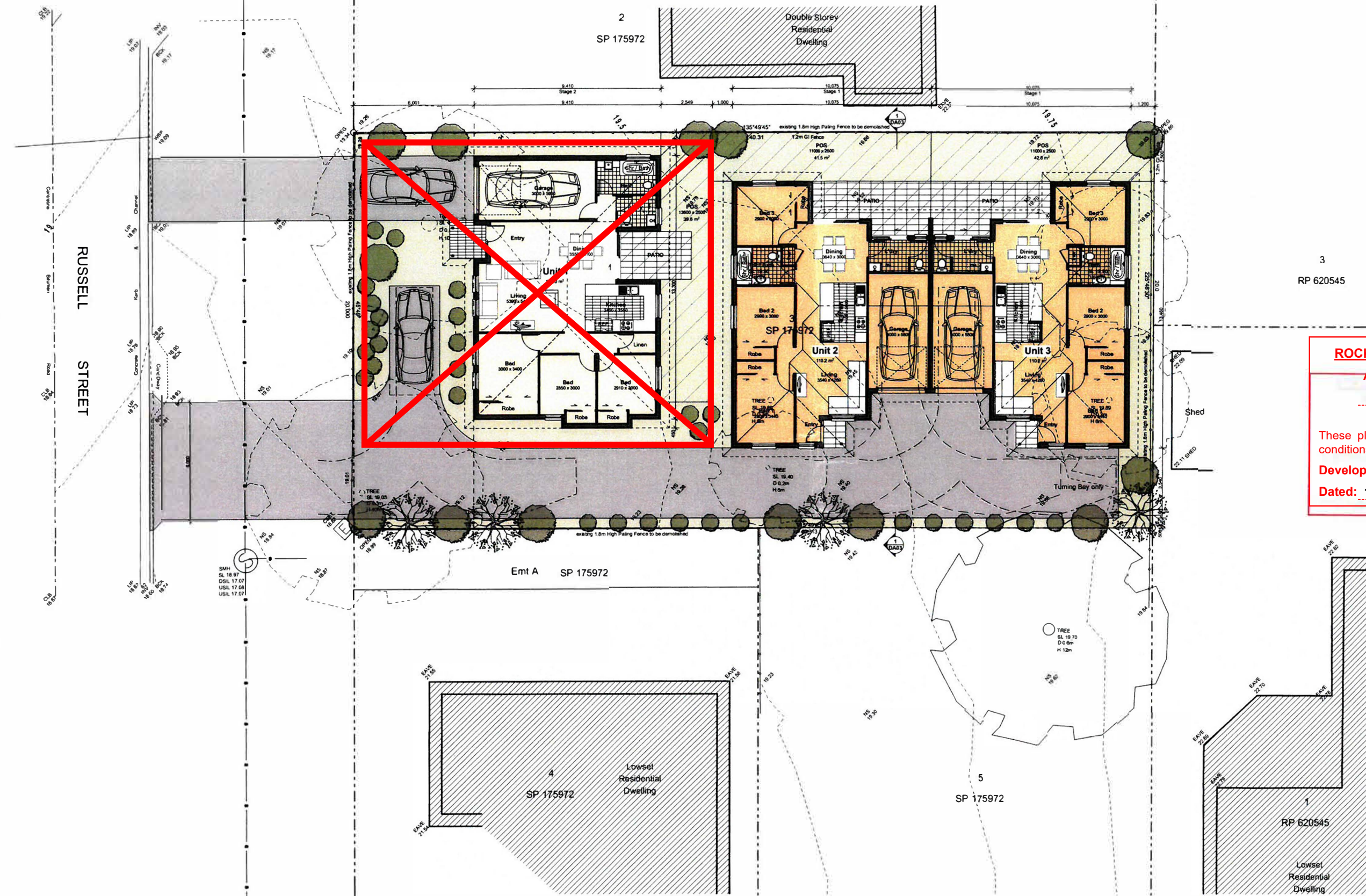
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Dated: 17 December 2010

LEGEND - SITE

---	EXTENT OF SITE BOUNDARY
---	EXTENT OF NEW POWDER COATED M.S SECURITY FENCE REFER ALSO TO FENCE DETAIL & FINISHES SCHEDULE
▨	EXTENT OF PROPOSED NEW BUILDING
▩	EXTENT OF EXISTING BUILDING WORKS TO BE REMOVED / DEMOLISHED
▧	EXTENT OF EXISTING BUILDINGS ON SITE TO REMAIN
⊙	EXISTING TREES TO REMAIN REFER ALSO TO LANDSCAPE DRAWING
⊘	EXISTING TREES TO BE REMOVED REFER ALSO TO LANDSCAPE DRAWING
⊙	STORMWATER PIT REFER ALSO TO DRAINAGE DRAWING
+	EXISTING LEVEL REFER ALSO TO SURVEY
RL: 8.180	PROPOSED LEVELS, REFER ALSO TO DRAINAGE DRAWING
⊙	EXISTING TELSTRA PIT REFER ALSO TO SURVEY



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4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORIZED BY DEANGELIS TAYLOR & ASSOCIATES.

Issue	Amendment	Date	Drawn	Chk'd
A	ISSUED FOR COUNCIL SUBMISSION	7.4.10	CC	BA
B	RE-ISSUED FOR COUNCIL SUBMISSION	23.8.10	CC	BA
C	VISITOR CAR SPACE TURNING TEMPLATE ADDED	1.9.10	CC	BA
D	DESIGN REVISED	16.4.12	CC	BA
E	SHADOW DIAGRAMS & LANDSCAPING REVISED	24.5.12	CC	BA

Project North



de angelis taylor + associates

architecture interior design urban design

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po box 68 liverpool bc nsw 1871 e: admin@dto.net.au
t: 61 2 9601 1011 f: 61 2 9821 2213 w: www.dto.net.au

Client:

Mr PETER TRUONG

Project: PROPOSED MULTI UNIT DEVELOPMENT
Address: 3 RUSSELL STREET, GRACEMERE Qld 4702

Dwg Name: OVERALL SITE PLAN

Scale: As shown @ A1
Date: 16.4.12
Drawn: C.C.
No. of sheets: 1 of 4
Amend: E

Job No: 29070
Drawing No: DA01

As shown @ A1
Date: 16.4.12
Drawn: C.C.
No. of sheets: 1 of 4
Amend: E

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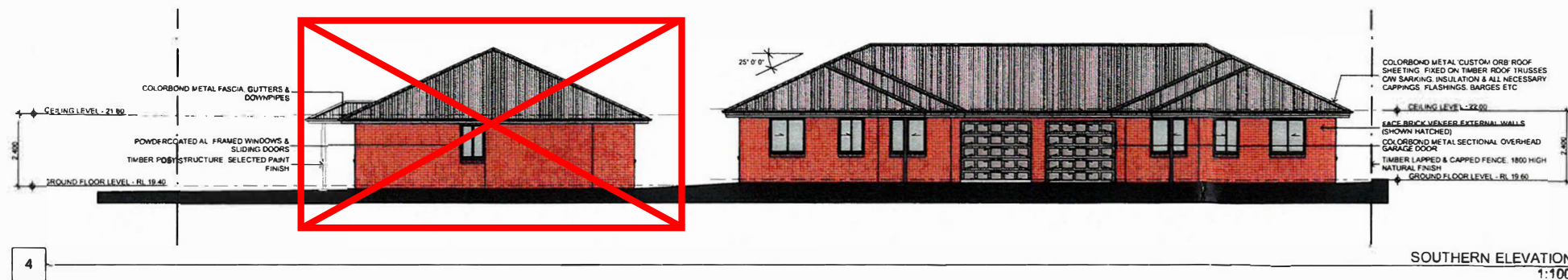
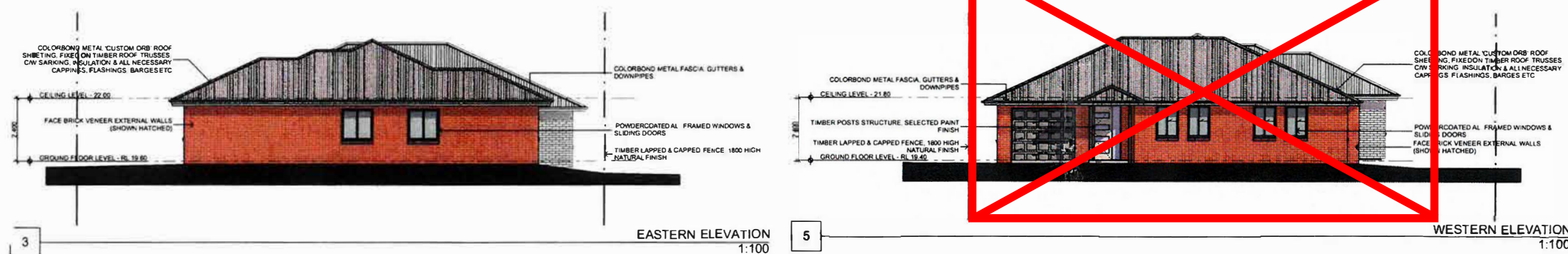
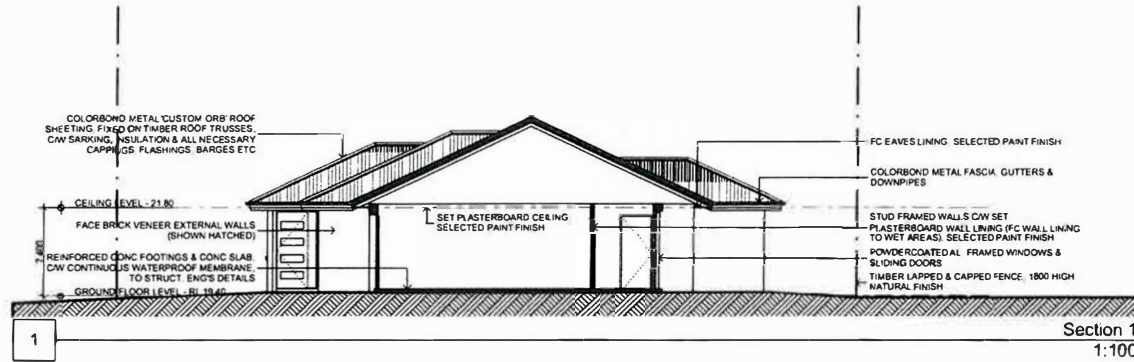
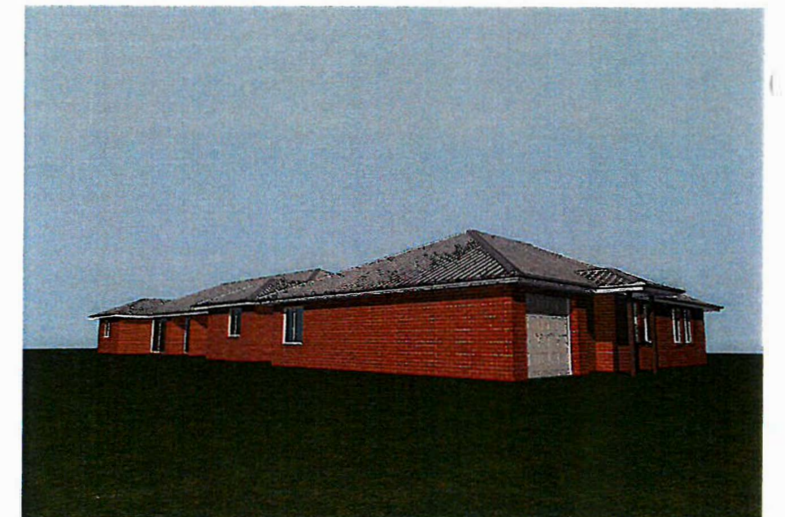
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HOT	HARDWOOD DECKING TIMBER	TR	TIMBER LOUVERS
HMU	HOT WATER UNIT	TUB	TOWEL RAIL
MR	MIRROR	TY	TOWEL RING
PB	PLASTERBOARD LINING	V	VINYL
PBC	PLASTERBOARD CORNICE	VSK	VINYL SKirting
PTF	POUNDED TIMBER FLOOR	WC	W.C.
RD	ROOF DECK	WD	WASHING MACHINE
NSCT	NON-SLIP CERAMIC TILE	WO	WALL OPEN
R	REF	WO	WALL OPEN
REF	REFRIGERATOR	WO	WALL OPEN

PERSPECTIVES



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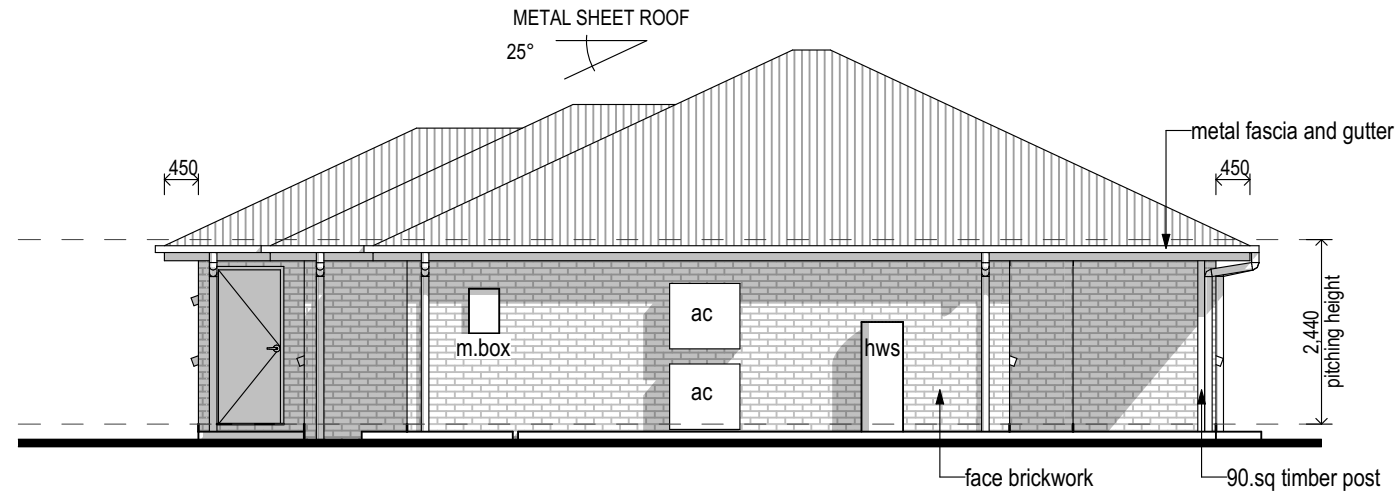
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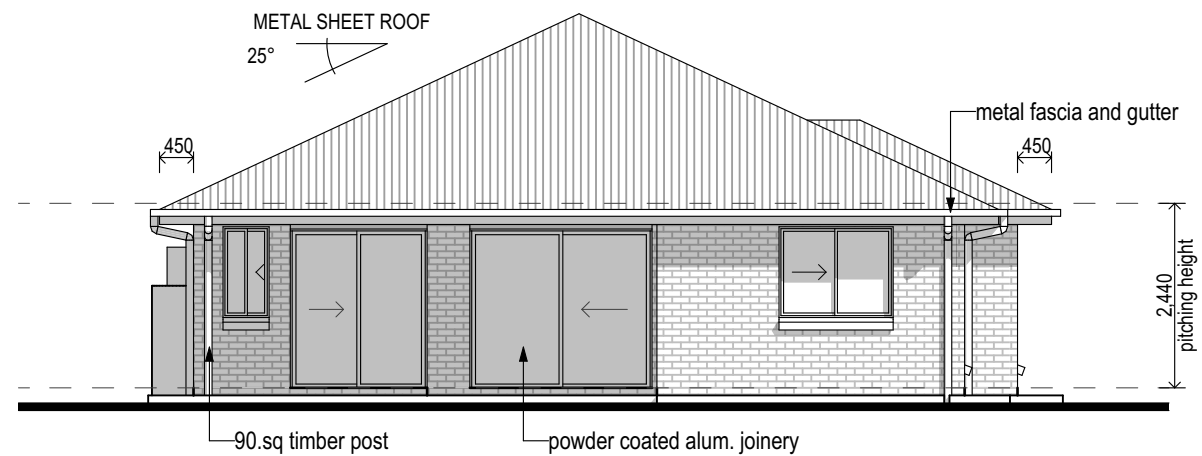
Dwg Name: SECTION & ELEVATIONS

Job No.	Drawing No.
29070	DA03
No. of sheets	Amend
3 of 4	E

Scale: As shown @ A1
Date: 18.4.12
Drawn: C.C.
NSW Architects Registration Board No. 3308



Elevation 1
Scale 1:100



Elevation 2
Scale 1:100

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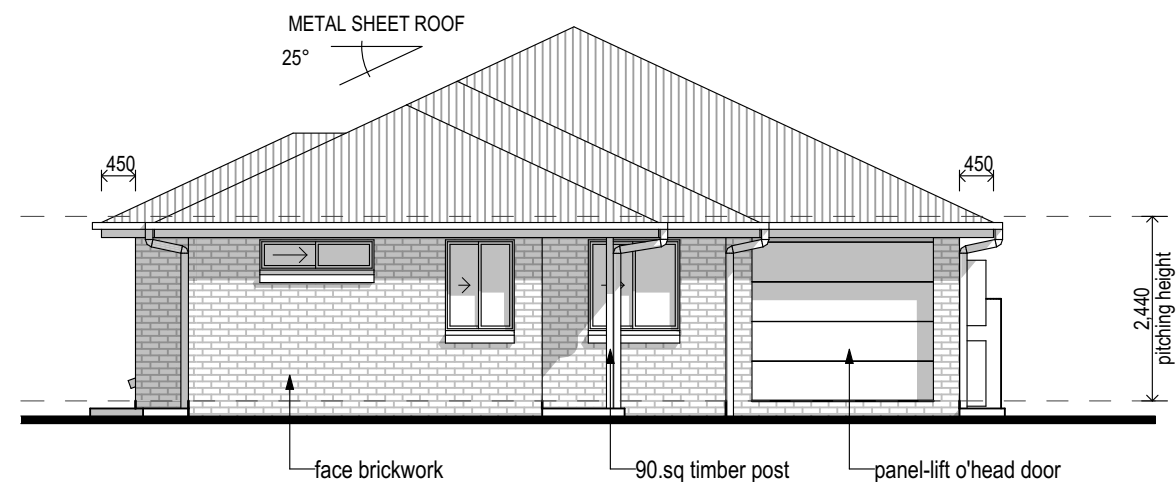
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SHEET No. **7 OF 15**



Elevation 3
Scale 1:100



Elevation 4
Scale 1:100

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13. Lift off hinges to all WC doors to comply with Australian Standards.
14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2.
15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

PLAN LEGEND

- afl = above floor level

hd = head at 2100 afl.

fw = floor waste

☼ = smoke detector

vb = vanity basin

obs = obscure glazing

mb = meter box

dp = downpipe

ohc = overhead cupboard

MH = manhole
- ref = refrigerator prov.

mw = microwave prov.

dw = dishwasher prov.

ply = pantry

wm = washing machine prov.

ghw = gas hot water unit

tr = towel rail

trh = toilet roll holder

HC = garden tap

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PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.

OWNER/S
WITNESS DATE

CLIENT:

Michael & Belinda Vaughan

**Lot 3, Russell Street
GRACEMERE**

MODEL: **Special Design**

JOB No. **22L003RU**

ISSUE/DATE:
**FINAL ISSUE J :
28/11/2022**

SHEET No. **8 OF 15**