





# **COCO BREW**

LOT 1 on RP601238 114 WILLIAM STREET, ROCKHAMPTON, QLD

#### CONSULTANTS

#### STRUCTURAL DRAWINGS

McMurtrie Consulting Engineers

63 Charles Street, Rockhampton Old

Phone: 4921 1780 Email: mail@mcmengineers.com

## CONSULTING ENGINEER - CIVIL

McMurtrie Consulting Engineers

63 Charles Street, Rockhampton Qld

Phone: 4921 1780 Email: mail@mcmengineers.com

#### CONSULTING ENGINEER - HYDRAULIC

Waterwise Design Hydraulic Services

31 McLeod Street, Boyne Island Qld

Phone: 4973 3740 Email: info@mckee.com.au

### CONSULTING ENGINEER - GEOTECH

CQ Soil Testing

15 Gremalis Drive, Parkhurst Qld

Phone: 4936 1163 Email: info@cqsoiltesting.com.au

#### CONSULTING ENGINEER - FIRE SERVICES

Waterwise Design Hydraulic Services

31 McLeod Street, Boyne Island Qld

Phone: 4973 3740 Email: info@mckee.com.au

CONSULTING SURVEYOR

Capricorn Survey Group Rockhampton

250 Quay Street, Rockhampton Qld

Phone: 4927 5199 Email: rockhampton@capsurvey.com.au

#### CONSULTING ENERYGY EFFICIENCY O-BEARS

77 Elphinstone Street, Berserker Qld

Phone: 1300 304 313 Email: info@gbears.com.au

## CONSULTING AIR CONDITIONING & REFRIDGERATION

77 Elphinstone Street, Berserker Qld

Phone: 1300 304 313 Email: info@gbears.com.au

## CONSULTING COMMUNICATIONS. SECURITY & DATA

174 Musgrave Street, Berserker Qld

Phone: 4911 1300 Email: reception@iassist.com.au

## TOWN PLANNING REQUIREMENTS

#### Rockhampton Regional Council

Town Plan: Rockhampton Regional Council Planning Scheme Low Medium Density Residential Zone

Precinct:

Hotel and Function Facility Hse.

Level of Assessment: Self Assessable Develonment

#### CONDITIONS OF ENGAGEMENT:

The Designer reserves the rights to their copyright and moral law. No licence (implied or expressed) can be inferred by the Client until full payment as required under the conditions of contract has been made to the Designer

#### SCHEDULE OF DRAWINGS

	SHEET # DESCRIPTION				
	ARCHITECTURAL DRAWINGS				
	SH - 00	Project Cover Page			
	SH - 01	Site Layout Plans - Proposed			
	SH - 02	Floor Plans : Ground Floor Existing & Demolition			
	SH - 03	Floor Plans : Upper Floor Existing & Demolition			
	SH - 04	Floor Plans : Ground Floor Proposed			
	SH - 05	Floor Plans : Upper Floor Proposed			
	SH - 06	Floor Plans : Ground Floor Dimensions			
	SH - 07	Floor Plans : Upper Floor Dimensions			
	SH - 08	Elevations : Typical			
	SH - 09	Sections : A - E			
	SH - 10	Floor Plans : Ground Floor Stepdown & Sanitary Drainage			
	SH - 11	Floor Plans : Upper Floor Stepdown & Sanitary Drainage			
	SH - 12	Floor Plans : Roof Framing and Drainage			
	SH - 13	Floor Plans : Ground Floor Finishes			
	SH - 14	Floor Plans : Upper Floor Finishes			
	SH - 15	Floor Plans : Ground Floor Electrical			
	SH - 16	Floor Plans : Upper Floor Electrical			
	SH - 17	Floor Plans : Ground Floor Reflected Ceiling			
	SH - 18	Floor Plans : Upper Floor Reflected Ceiling			
	SH - 19	Floor Plans : Ground Floor Energy Efficiency & Sustainability			
	SH - 20	Floor Plans : Upper Floor Energy Efficiency & Sustainability			
	SH - 21	Floor Plans : Ground Floor Fire Safety & Services			
	SH - 22	Floor Plans : Upper Floor Fire Safety & Services			
	SH - 23	Details : Window Schedule			
	SH - 24	Details : Door Schedule			
	3H - 25	Details : Commercial Kitchen Layout & Elevations			
	SH - 26	Details : Ground Floor Internal Elevations			
<u>زر</u>		Details : Ground Floor Internal Elevations			
	SH - 28	Details: Upper Floor Internal Elevations			

# **ROCKHAMPTON REGIONAL C**

SH - 29 Details : Ground Floor Internal Elevations **APPROVED PLANS** SH - 30 Details : External Colours & Materials These plans are approved subject to the

Development Permit No.: D/15-2019

current conditions of approval associated with

Dated: 1 April 2019

All construction is to be in accordance with the Qtd Building Ac 1975-1998, the Standard Building Regulation 1993, all relevan Construction Codes, Acts Standards and Guidelines and the

#### Contractor Performance

work is required outside the confines of the subject property.

Absence of full detail does not relieve each Trade of their

The Builder and relevant Sub-Contractors accepts to supply and install all items noted on the Architectural plans and Consultant drawings and documents. Not all trade specific detail may be supplied in one particular document and may be

apply.

Where an item is specified it is assumed that the Builder and relevant Sub-Contractors shall allow for the connection of the

#### ted works, services, setouts and levels to the Owner Site Works

Site Works

Confilm location of any underground services prior to commencement of building work.

Progressive cleaning of the site must occur to leep the work under contract clean and tidy as it proceeds. Regularly remove site waste arriang from the execution of the work.

Regularly removes the waste waste prior to the service of contract of the work waste arriang from the execution of the work.

Regular and re-installate any damage that may occur to the site, road, road kerb, footpath or neighbouring property upon completion. This shall include the washdown and exhaust cleaning of adjacent buildings and roads that have been coated in dusfold or the great of vasals from the construction site.

In the confidence of the process of th

construction.

Builder to allow to clear and prepare the construction site
suitable for the work detailed.

Re-use site topsoil where possible or to top dress and create
new gardens where requested by the Owner. Stockpile for
future use in location as shown on plan or as directed by

Erosion and saditment control measures are to be excited or

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Extent of principal Builder and relevant Sub-Contractors to be within the confines of the property boundaries and the portion o footpath immediately adjoining the front property alignment Seek neighbours consent if access or additional construction responsibility that all work is to be of a serviceable nature and adheres to the industry standards.

spread over one or more drawing, detail or document Items provided are to be as specified or an equal and approve

equivalent. Where any item is specified differently or a alternative is given, the higher quality product is deemed to

item to the relevant systems, regardless if shown or detailed or the drawings. For example a field inlet shown is to be connected to the stormwater system, or a hose cock is to be connected to the water supply.

Upon completion, the Builder is to provide a plan of as

Erosion and sediment control measures are to be exected on the plan. Removal of all plant and equiment within 14 days offthe date of completion. Progressively remove all temporary work construction plant, temorary buildings, workshops and equipment as soon as practicable from the date of completion

#### Stormwater & Roofwater Drainage

Stormwater drainage design shown on Architectural plans is indicative only. Refer to the detailed drawings provided by a Consulting Engineer or Qualified Trade Contractor for the full

design.
Connect all new downpipes where shown and fall pipes to intra-allotment drainage system. Refer to Hydraulic plans for all details.

details.

Provide a sleeve joint where downpipes meet the stormwater drainage lines to allow for movement.

Site surface levels to be finished to direct surface water runoff away from all buildings and pathways. Provide a fall around and under buildings to ensure no ponding can occur.

Sewer Drainage Sewer Drainage Sewer drainage design shown on Architectual plan is indicative only. Refer to the detailed drawings provided by a consulting Engineer or Qualified Trade Contractor for the full design. All Plumbing work to be in accordance with the Water 8 Sewerage Supply Act and relevant codes and standards. For sewered sites discharge all waste water to the Council

Sewer. For unsewered sites provide and install on-site waste wat

Timber Framing

All timber components, sizes and connections are to be in accordance with the relevant codes and standards and AS 1684.2 or AS1684.3 (depending on wind speed conditions.

It timber members to be sized and fixed in accordance with All timber members to be sized and tixed in accordance with a C1 wind gust speed.

External timber members to be Durability Class 1 or 2 with sapwood removed or preservative treated to H3 unless specified phenwise. All pine to be LOSP treated to H3.

All structural ply is to be to australian standards and fixed in

accordance with the Manufacturer's specifications.

All wall, floor and roof frames are to be designed, certified and

### supplied by the wall frame Manufacturer. All timber members are to be protected from water pene Termite Treatment

Provide termite treatment to all new buildings and bet existing buildings in accordance with the National Constru Code and relevant codes and standards. A certificate of treatment is to be supplied to the Build Approval Authority (Certfiler) as evidence of tre

#### Safety Risks and Hazards

Site excavation: when site excavation is required take the time to consider risk of ground subsidence or collapse and take appropriate precautions.

appropriate precautions. Existing Structures: when working on or near existing structure take all precautions to prop, support or stabilise the structure prevent collapse or risk to safety. Existing services: Verfly the location of all undergound, overhi or concealled services prior to commencing work on site. Information can be source from Dial Before Your Dig, from the

Owner and from Council records. In some cases it may be necessary to expose and physically locate the existing services prior to commencing work on site. Working at Heights: Provide temporary edge protection, use for

arrest equipment and be aware of located overhead powerlin Take all precautions necessary when using ladders and aware of all other persons on site.

### Other Consultants

- Soil classification
  Geotech requirements
   Site contours (if not shown)
   Concrete driveway including falls
   All structural details
   Roof and site drainage design
   Water and sewer reticulation design
   Fire safety equipment
   Lighting and electical
   Energy efficiency report

COVER PAGE atus: Building Approval Issue leena #- RA1 N

rawing Title:

1809-02 Scale: as shown Sheet: 1 of 26 SH - 00

BUILDING DESIGN

RED HILL BOCKHAMPTON O 4701 M: 0438 166 530

The Designer reserves the rights to their copyrigi and moral law. No licence (implied or expressed

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required under the conditions of contract has bee

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KELE PROPERTY GROUP

E: rebecca@bael.com.au

ade to the Designer.

**COCO BREW** 

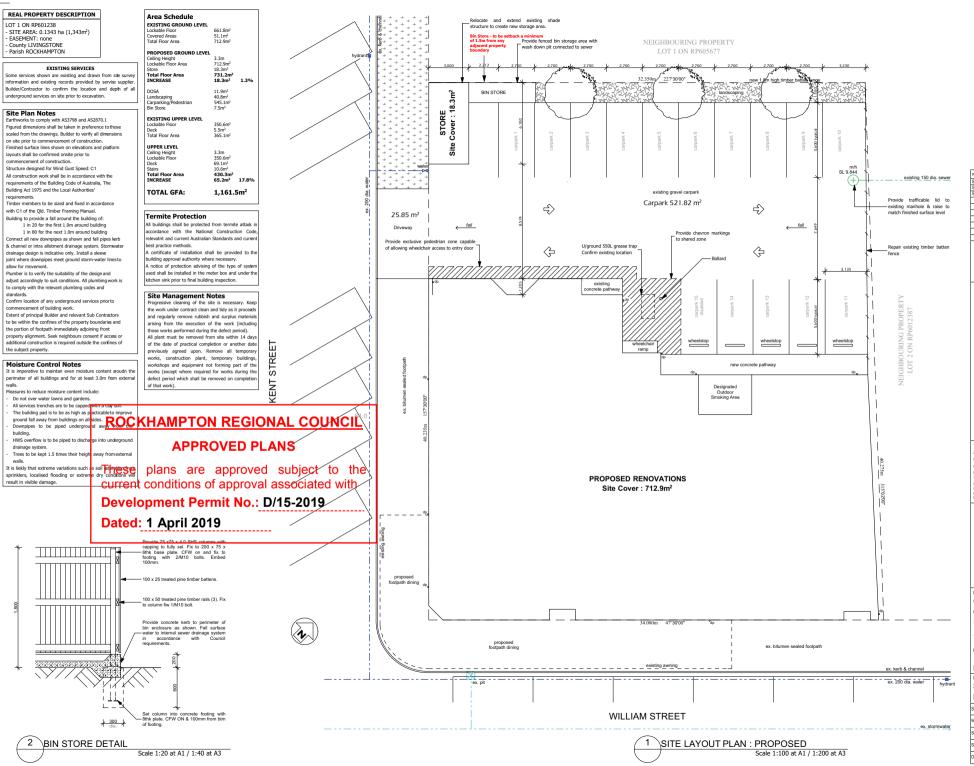
(QLD) PTY LTD

114 WILLIAM STREET.

ROCKHAMPTON CITY 4700

BSA Licence: #1198384

22.11.2018



**COLOUR DRAWING** 

Please note some of the features of this plan are drawr in colour. Non colour copies may reduce information detail and clarity.

A1 DRAWING
NOTED SCALES RELATE

 rev
 description
 date

 KK1.10
 sketch issue
 22.10.2011

 KK1.11
 sketch issue
 22.11.2018

 SK1.21
 consultant issue
 21.12.2018

Building Designers Association of Queensland Inc.



PO BOX 6267 RED HILL ROCKHAMPTON Q 4701 M: 0438 166 530 E: rebecca@bael.com.au

BSA Licence: #1198384 BDAQ Member: #0001235

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ect Name:

COCO BREW

KELE PROPERTY GROUP (QLD) PTY LTD

Project Adress: 114 WILLIAM STREET, ROCKHAMPTON CITY 4700

SITE LAYOUT PLAN : PROPOSED

## **Demolition Notes**

All demolition and removal work shall be carried out in a safe and orderly manner and shall minimise the disturbance of nearby tenants, neighbouring tenants and public spaces.

The Contractor shall ensure that all necessary permits and

approvals are received prior to the commencement of any demolition work on site. A copy of any approvals and permits shall be kept on site in the event of a site inspection.

The site should be secured by temporary fencing with the site entrance clearly visible and easily identified. The fence will be where annlicable

The perimeter of the defined demolition deconstruction zone will be fenced and signposted to prevent unauthorised access. Acress points will be clearly identified and only those Workers who have been inducted with the authority of the Principal Contractor may enter these zones.

Any hazards relevant to demolition work shall be identified, barricaded and signposted as necessary.

A designated area will be identified for storage of removed asbestos prior to any removal works being carried out. This bin/area will be covered with a tarpaulin or black plastic wrap when not in use.

No demolition of structural building components shall be carried out without the design, approval, supervision and inspection of a qualified Engineer.

Where available all materials that are recyclable salvageable shall be senarated, collected and transported to the applicable recycling facility. All other waste shall be removed from site and disposed of by a licenced contractor to a lawful disposal site or landfill.

The Contractor is to locate and identify all notential sources of asbestos containing materials (ACM) on site. Where supplied, refer to the Asbestos Detection Register & Management

All work involving the removal of ACM shall be carried out be a Licensed Class A or Class B holder as required.

All necessary signage should be clearly visible at the site entrance and directly adjacent affected areas to warn Workers and prevent accidental disturbance without the necessary safety gear and precautions.

A designated area will be identified for storage of removes asbestos containing materials prior to any removal works being carried out. This bin/area will be covered with a tarpaulin or black plastic wrap when not in use.

Properly terminate all electrical, data, plumbing and mechanical services abandoned during demolition work.

A suitable qualified person shall be engaged to disconnect existing electrical and data services prior to any removal work commencing on site. Any necessary signage required relating to 'Live Wires' should be installed to prevent any accidental risk of electrocution. All abandoned electrical services are to be terminated and removed back to the source.

A suitably qualified person shall be engaged to cap, seal and disconnect existing plumbing and water services. Abandoned plumbing should be terminated below floor level and above suspended ceiling.

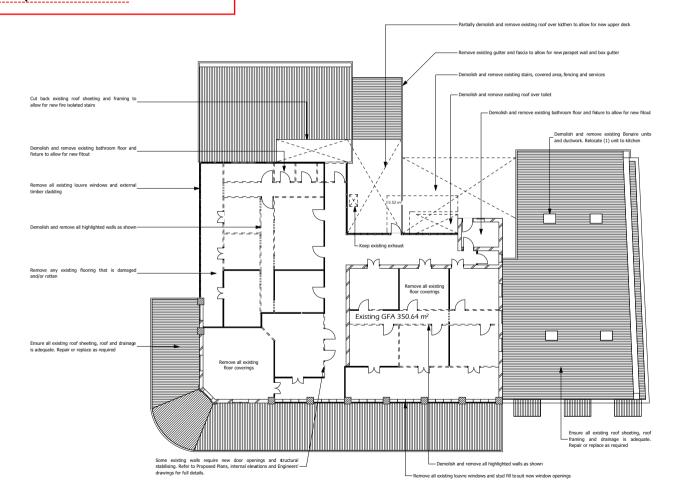
# **ROCKHAMPTON REGIONAL COUNCIL**

## **APPROVED PLANS**

These plans are approved subject to the current conditions of approval associated with

**Development Permit No.: D/15-2019** 

Dated: 1 April 2019







Scale 1:100 at A1 / 1:200 at A3







RED HILL BOCKHAMPTON O 4701 M: 0438 166 530 E: rebecca@bael.com.au BSA Licence: #1198384

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COCO BREW

KELE PROPERTY GROUP (QLD) PTY LTD

114 WILLIAM STREET. ROCKHAMPTON CITY 4700

FLOOR PLANS : UPPER FLOOR **EXISTING & DEMOLITION** 

atus: Building Approval Issue como #- RA1 N 1809-02 Scale: as shown SH - 03

## Floor Plan Legend

SELECTED AIR CONDITIONER UNIT A/C BAL BALASTRADES

PULL OUT BIN

BROOM CLIPROARD

BUILT-IN CABINET COLLIMN

CAVITY SLIDING DOOR DOUBLE HUNG WINDOW 90mm DIA, DOWNPIPE

DRYFR

DISHWASHER (UNDER BENCH)

VENTED EXHAUST FAN FIRE HOSE REEL

FRIDGE / FREEZER HEAT LAMP

PULL OUT LAUNDRY HAMPER HWS MI HOT WATER SYSTEM

MICROWAVE (UNDER BENCH) MTR MIDDOD

NICHE IN WALL OBSCURE OR OPAQUE GLASS

ODENING

PANTRY SW DRAINAGE PIT

ROBE BUILT-IN WARDROBE RAINWATER TANK SA SGD HARDWIRED SMOKE ALARM

SLIDING GLASS DOOR SLIDING GLASS WINDOW BUTI T-IN SHELVING

SHOWER STNK

SKY LIGHT STOVE / OVEN / RANGEHOOD

WASHTUR VANITY BASIN

WC WIR DUAL FLUSH TOILET WALK IN WARDROBE WM WASHING MACHINE WROUGHT TRON

WALL OVEN FIXED GLASS PANEL

OPENABLE GLASS PANEL

ccordance with the ANtional Construction Code, relevatnt and current Australian Standards and current best practice

annroval authority where necessary

A notice of protection advising of the type of system used shall be insta

Area Schedule	
EXISING	
Existing GFA	356.1m <sup>2</sup>
DWELLING UNIT 1	
Ceiling Height	3.2m
Bedroom 1	13.2m <sup>2</sup>
Bedroom 2	11.3m <sup>2</sup>
Bedroom 3	12.5m <sup>2</sup>
Kitchen/Dining/Lounge	49.5m <sup>2</sup>
Ensuite	4.1m <sup>2</sup>
Bathroom	6.8m <sup>2</sup>
Laundry	9.4m <sup>2</sup>
Sitting Room	8.2m <sup>2</sup>
UNIT 1 GFA	128.5m <sup>2</sup>
DWELLING UNIT 2	
Ceilina Heiaht	3.2m
Bedroom 1	15.3m <sup>2</sup>
Bedroom 2	14.6m <sup>2</sup>
Kitchen/Dining/Lounge	42.1m <sup>2</sup>
Ensuite	6.7m <sup>2</sup>
Bathroom	5.5m <sup>2</sup>
Laundry	10m <sup>2</sup>
Sitting Room	5.9m <sup>2</sup>
UNIT 2 GFA	103m <sup>2</sup>
DWELLING UNIT 2	
Ceiling Height	3.2m
Bedroom 1	11.2m <sup>2</sup>
Bedroom 2	11.2m <sup>2</sup>
Kitchen/Dining/Lounge	37.6m <sup>2</sup>
Ensuite	5.5m <sup>2</sup>
Bathroom	6.4m <sup>2</sup>
Laundry	10m <sup>2</sup>
UNIT 3 GFA	73.3m <sup>2</sup>

TOTAL INCREASE 79.7m2

430.3m<sup>2</sup>

TOTAL GFA:

## NOTE:

REFER TO DRAWING SHEET 07 FOR COMPLETE DIMENSIONS.

#### PLEASE NOTE:

THE SUBSTITUTION OF ANY STRUCTURAL MEMBER AND/OR ANY VARIATION TO ANY PART OF THE DESIGN WILLL VOID THE DESIGNERS RESPONSIBILITY FOR THE INTEGRITY AND PERFORMANCE OF THE BUILDING.

#### Floor Plan Notes

Any changes made to the approved plans must submitted to the Designer for approval.

All materials and building products are to be installed

n accordance with the Manufacturer's specifications.All workmanshin and materials are to comply with the Building Code of Australia, relevant Australian Standards and all other standard Building Laws.
All components and connections including bracing, te

down, garage doors and windows are to be of standard not less than that required by the relevan Cyclone Terrain Category C2.

All smoke alarms are to be supplied and installed comply with the BCA Volume 2 Part 3.7.2.

All WC doors are to be readily removable or ope outwards in accordance with the Standard Building Regulation.

site levels and finished floor levels on site before commencing construction. All construction details not shown on the plans are t be carried out in accordance with the Timber Framin

Manual AS1684. All work is to comply with the Local Authori

#### **Termite Protection**

All buildings shall be protected from termite attack in

A certificate of installation shall be provided to the building

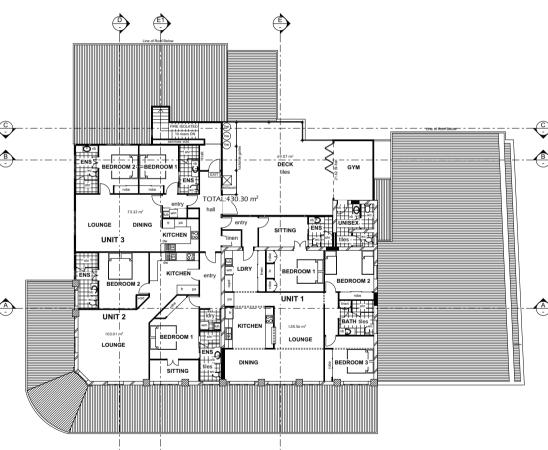
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Dated: 1 April 2019





\FLOOR LAYOUT: UPPER FLOOR PROPOSED Scale 1:100 at A1 / 1:200 at A3

22.11.2018

A1 DRAWING

NOTED SCALES RELATE TO A1 DRAWINGS





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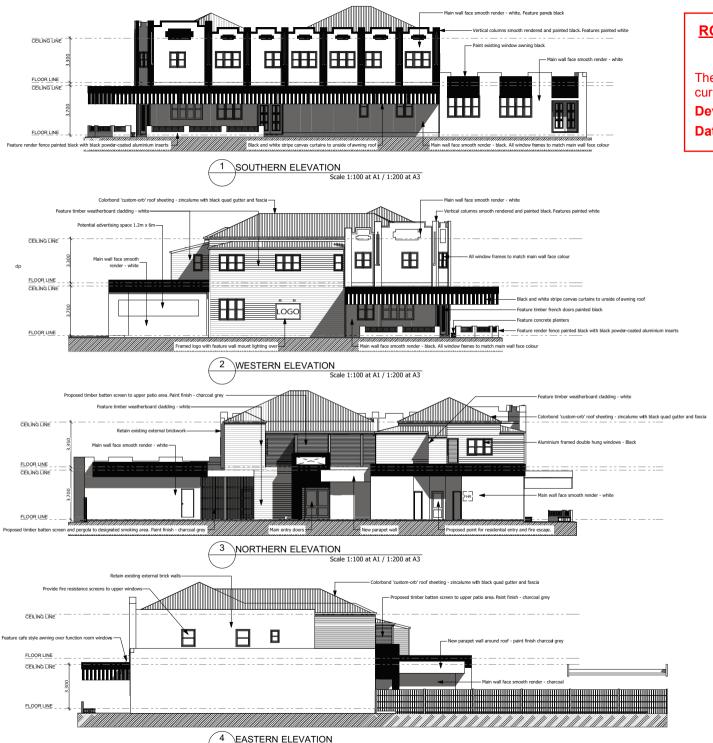
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FLOOR PLANS : UPPER FLOOR PROPOSED

atus: Building Approval Issue como #- RA1 N 1809-02 Scale: as shown SH - 05



Scale 1:100 at A1 / 1:200 at A3

# **ROCKHAMPTON REGIONAL COUNCIL**

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A1 DRAWING NOTED SCALES RELATE TO A1 DRAWINGS







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**ELEVATIONS: TYPICAL** 

Status: Building Ap	Status: Building Approval Issue			
Issue #: BA1.0	Job Number:			
Scale: as shown	1809-02			
Sheet: 9 of 26	Page Number:			
Drawn By: rjd	∃SH - 08 ∣			