

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/15-2019

Dated: 1 April 2019

Demolition Notes

General

All demolition and removal work shall be carried out in a safe and orderly manner and shall minimise the disturbance of nearby tenants, neighbouring tenants and public spaces. The Contractor shall ensure that all necessary permits and approvals are received prior to the commencement of any demolition work on site. A copy of any approvals and permits shall be kept on site in the event of a site inspection. The site should be secured by temporary fencing with the site entrance clearly visible and easily identified. The fence will be signposted with demolition and asbestos works in progress where applicable.

The perimeter of the defined demolition deconstruction zone will be fenced and signposted to prevent unauthorised access. Access points will be clearly identified and only those Workers who have been inducted with the authority of the Principal Contractor may enter these zones.

Any hazards relevant to demolition work shall be identified, barricaded and signposted as necessary.

A designated area will be identified for storage of removed asbestos prior to any removal works being carried out. This bin/area will be covered with a tarpaulin or black plastic wrap when not in use.

No demolition of structural building components shall be carried out without the design, approval, supervision and inspection of a qualified Engineer.

Where available all materials that are recyclable or salvageable shall be separated, collected and transported to the applicable recycling facility. All other waste shall be removed from site and disposed of by a licensed contractor to a lawful disposal site or landfill.

Asbestos

The Contractor is to locate and identify all potential sources of asbestos containing materials (ACM) on site. Where supplied, refer to the Asbestos Detection Register & Management Report.

All work involving the removal of ACM shall be carried out by a Licensed Class A or Class B holder as required.

All necessary signage should be clearly visible at the site entrance and directly adjacent affected areas to warn Workers and prevent accidental disturbance without the necessary safety gear and precautions.

A designated area will be identified for storage of removed asbestos containing materials prior to any removal works being carried out. This bin/area will be covered with a tarpaulin or black plastic wrap when not in use.

Services

Properly terminate all electrical, data, plumbing and mechanical services abandoned during demolition work.

A suitable qualified person shall be engaged to disconnect existing electrical and data services prior to any removal work commencing on site. Any necessary signage required relating to 'Live Wires' should be installed to prevent any accidental risk of electrocution. All abandoned electrical services are to be terminated and removed back to the source.

A suitably qualified person shall be engaged to cap, seal and disconnect existing plumbing and water services. Abandoned plumbing should be terminated below floor level and above suspended ceiling.

Cut back existing roof sheeting and framing to allow for new fire isolated stairs

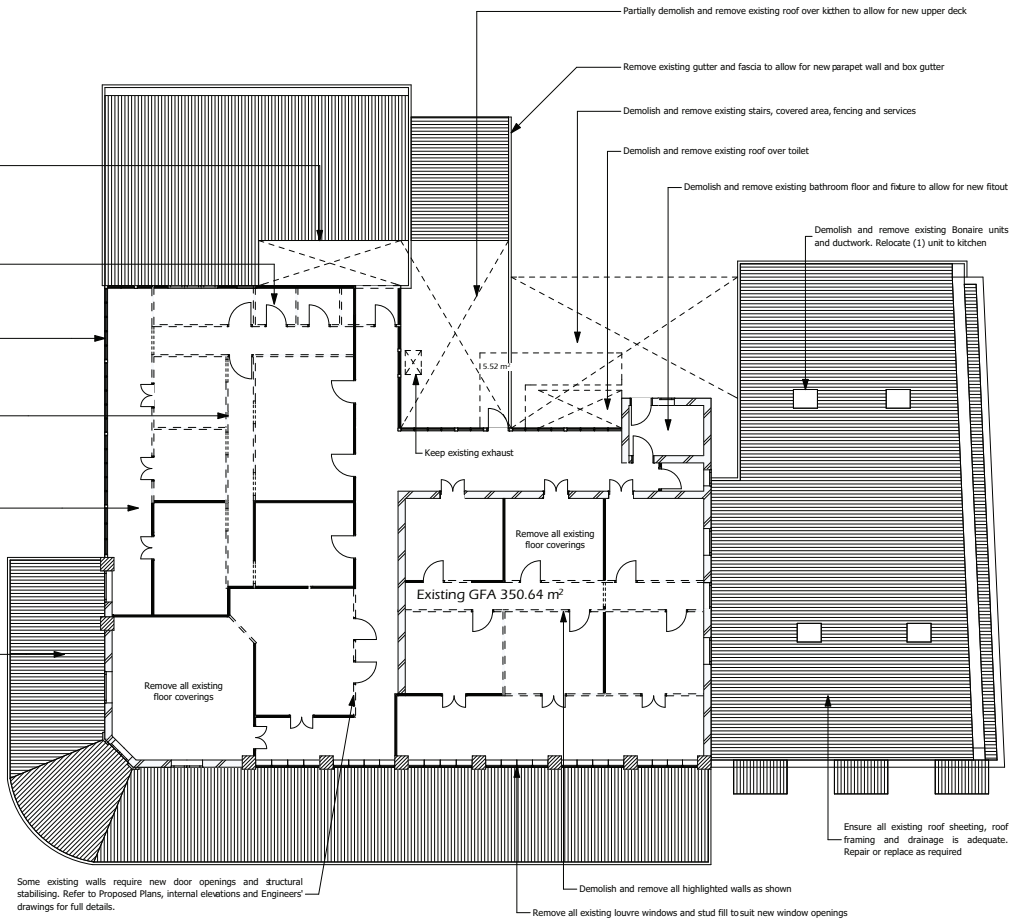
Demolish and remove existing bathroom floor and fixture to allow for new fitout

Remove all existing louvre windows and external timber cladding

Demolish and remove all highlighted walls as shown

Remove any existing flooring that is damaged and/or rotten

Ensure all existing roof sheeting, roof and drainage is adequate. Repair or replace as required



Some existing walls require new door openings and structural stabilising. Refer to Proposed Plans, internal elevations and Engineers' drawings for full details.

1 FLOOR LAYOUT : UPPER FLOOR EXISTING
Scale 1:100 at A1 / 1:200 at A3

rev	description	date
SK1.0	sketch issue	22.10.2018
SK1.1	sketch issue	22.11.2018
SK1.2	consultant issue	21.12.2018



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The Builder shall check and verify all dimensions. All errors and omissions must be verified with the Designer. Do not scale from the drawings. Drawings shall not be used for construction purposes until issued by the Designer For Construction.

Project Name:
COCO BREW
Client:
KELE PROPERTY GROUP (QLD) PTY LTD
Project Address:
114 WILLIAM STREET,
ROCKHAMPTON CITY 4700

Drawing Title:
FLOOR PLANS : UPPER FLOOR EXISTING & DEMOLITION

Status: Building Approval Issue

Issue #: BA1.0	Job Number:
Scale: as shown	1809-02
Sheet: 4 of 26	Page Number:
Drawn By: rjd	SH - 03

Pkg: 937_A1_1032019

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

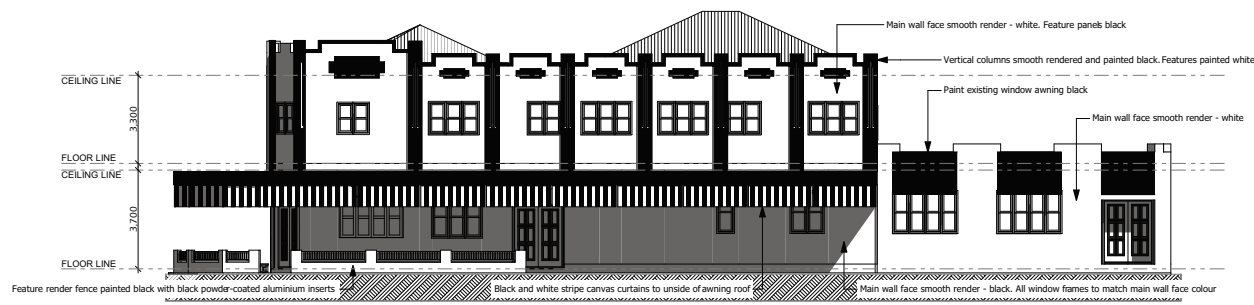
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A1 DRAWING

NOTED SCALES RELATE TO A1 DRAWINGS



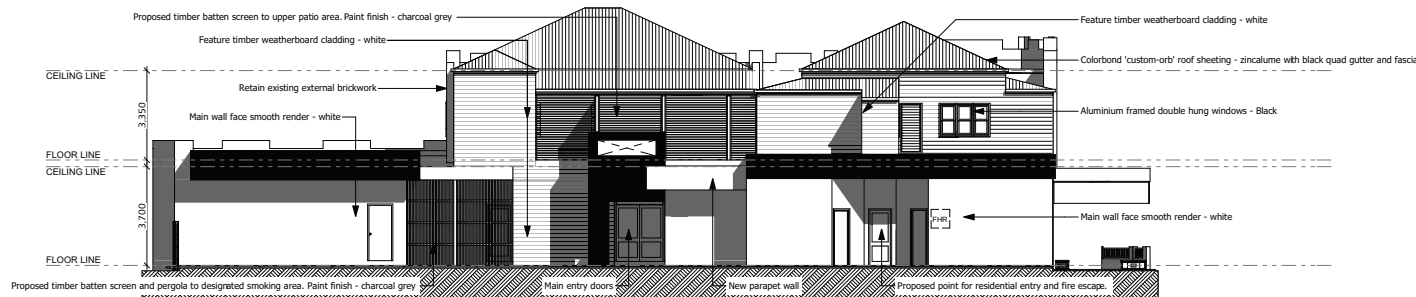
1 SOUTHERN ELEVATION

Scale 1:100 at A1 / 1:200 at A3



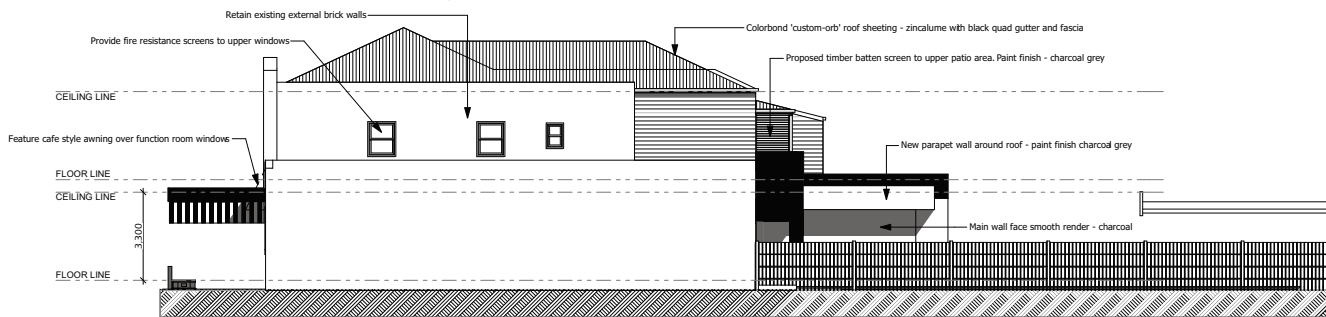
2 WESTERN ELEVATION

Scale 1:100 at A1 / 1:200 at A3



3 NORTHERN ELEVATION

Scale 1:100 at A1 / 1:200 at A3



4 EASTERN ELEVATION

Scale 1:100 at A1 / 1:200 at A3

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Project Name:
COCO BREW
Client:
KELE PROPERTY GROUP (QLD) PTY LTD
Project Address:
114 WILLIAM STREET, ROCKHAMPTON CITY 4700
Drawing Title:

ELEVATIONS : TYPICAL	
Status: Building Approval Issue	
Issue #: BA1.0	Job Number: 1809-02
Scale: as shown	Page Number: SH - 08
Sheet: 9 of 26	
Drawn By: rpd	

File: 937_A1_18092019