

APPROVED PLANS

Development Permit No.: D/145-2023

Dated: 20 March 2024



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Figured Dimensions take precedence over Scaled Dimensions.
Any Discrepancies should be immediately referred to the Architect.

NSW Nominated Architects Scott Moylan 7147 Craig Saltmarsh 6569



REV	DESCRIPTION	DATE
A	DA (FOR REVIEW)	14.07.2023
B	DA	13.10.2023

[illegible]

PROJECT NO	323049	
DRAWN	EL	
CHECKED	MC	
APPROVED	MC	

**ROCKHAMPTON
GREYHOUND KENNELS**
Callaghan Park, Rockhampton
QLD 4701

DA (DRAFT)

LOCATION PLAN

DWG # **DA00.01** REV **B**

SCALE @ A1 1 : 1250

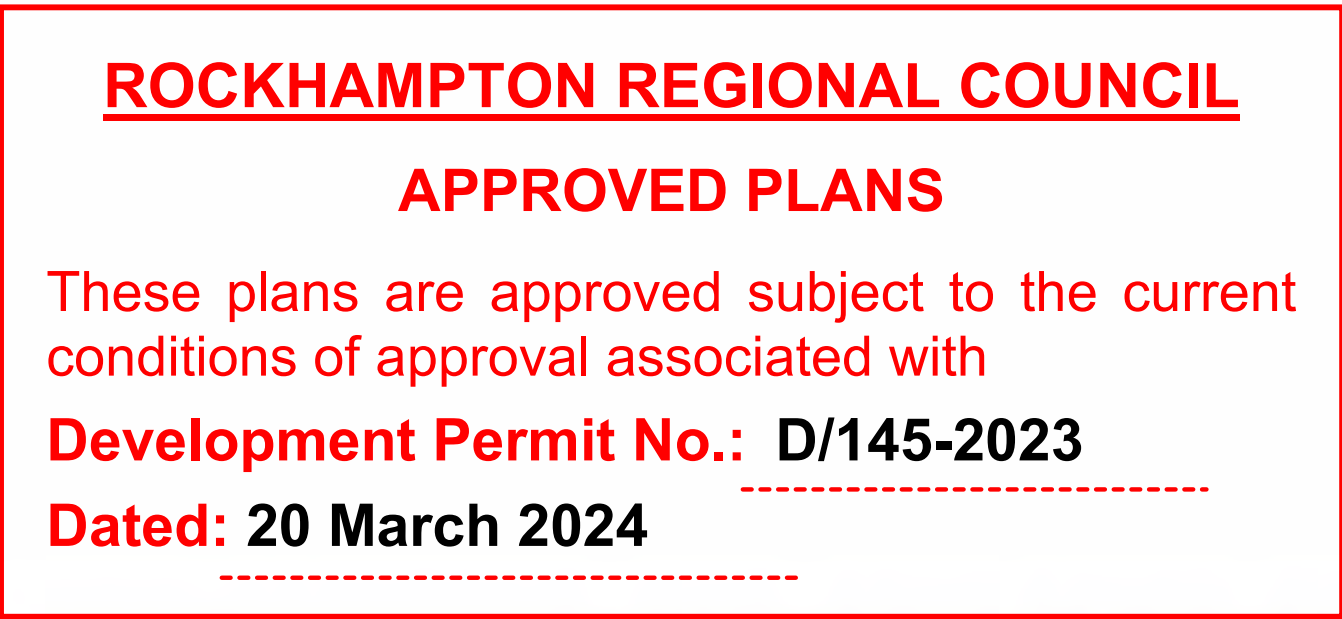
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**ROCKHAMPTON
GREYHOUND KENNELS**
Callaghan Park, Rockhampton
QLD 4701

DA (DRAFT)

OVERALL SITE PLAN AND DEVELOPMENT SUMMARY

DWG #	DA00.02	REV	B
SCALE @ A1	1 : 200		



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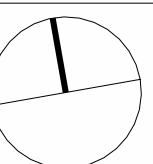
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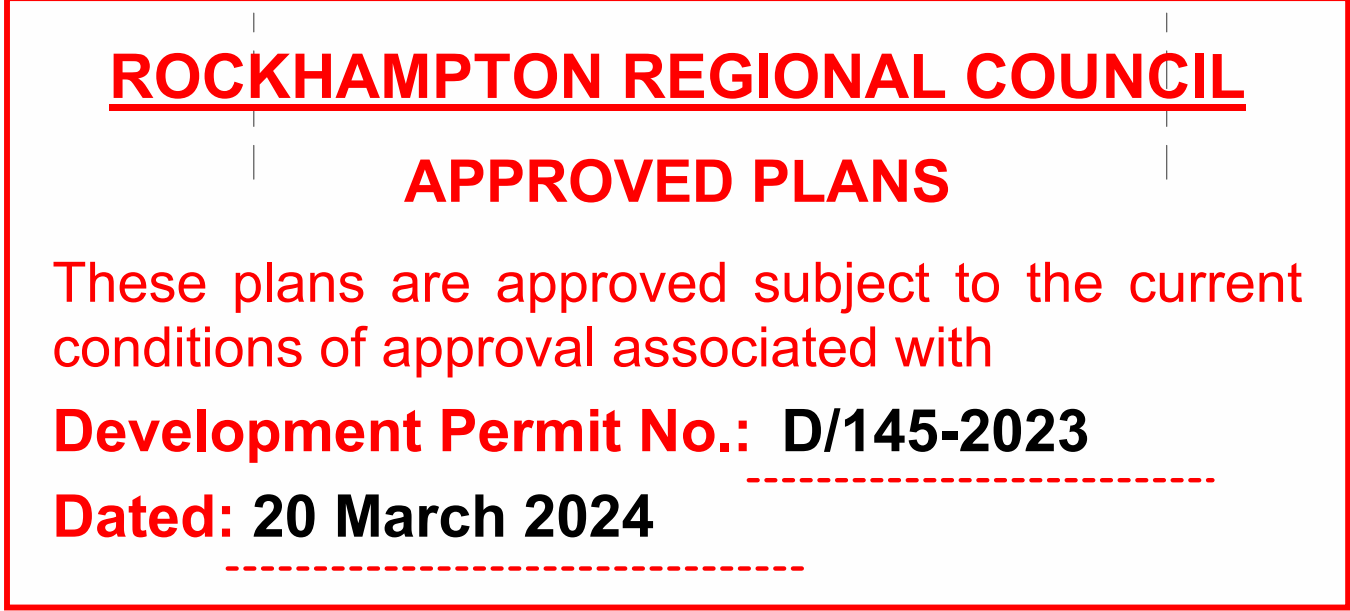


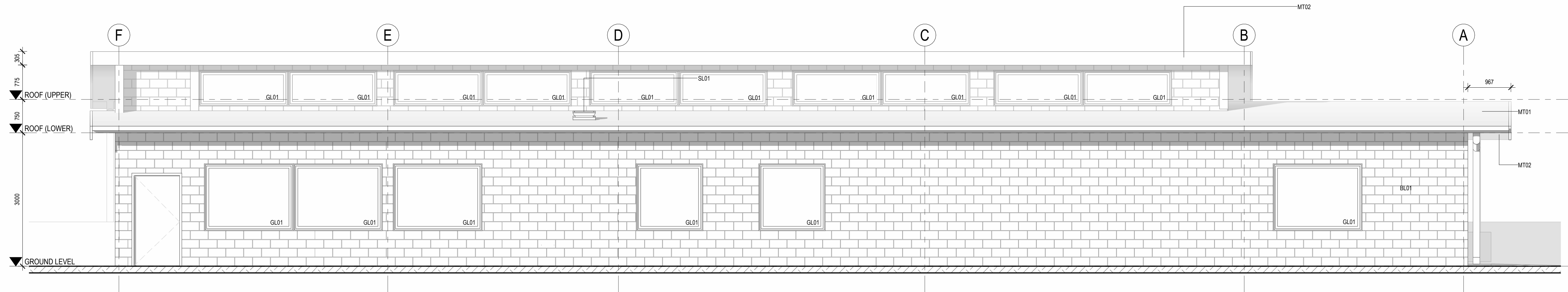
**ROCKHAMPTON
GREYHOUND KENNELS**
Callaghan Park, Rockhampton
QLD 4701

DA (DRAFT)

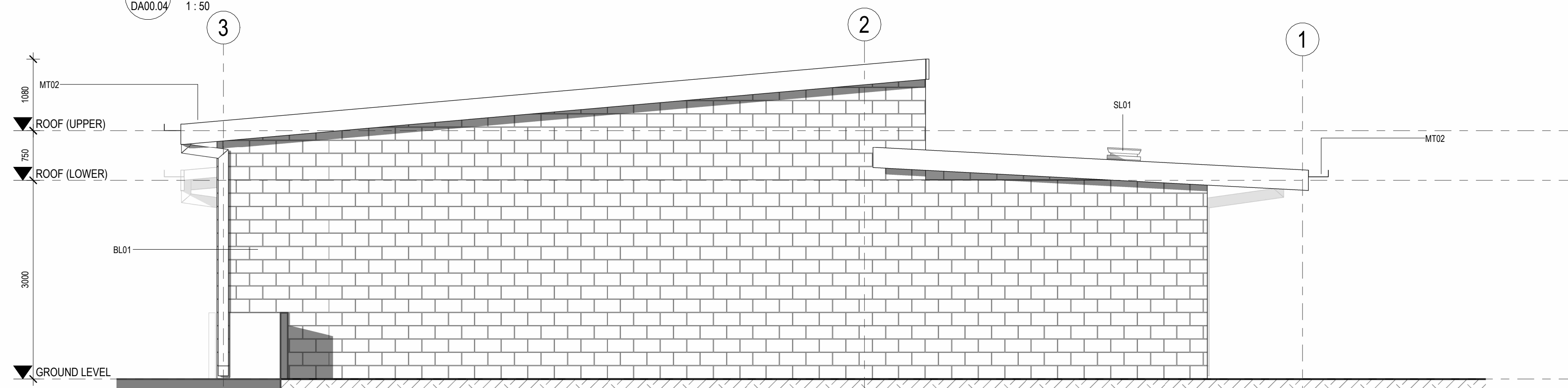
EXISTING SITE & DEMOLITION PLAN

DWG #	DA00.03	REV	B
SCALE @ A1	1 : 200		

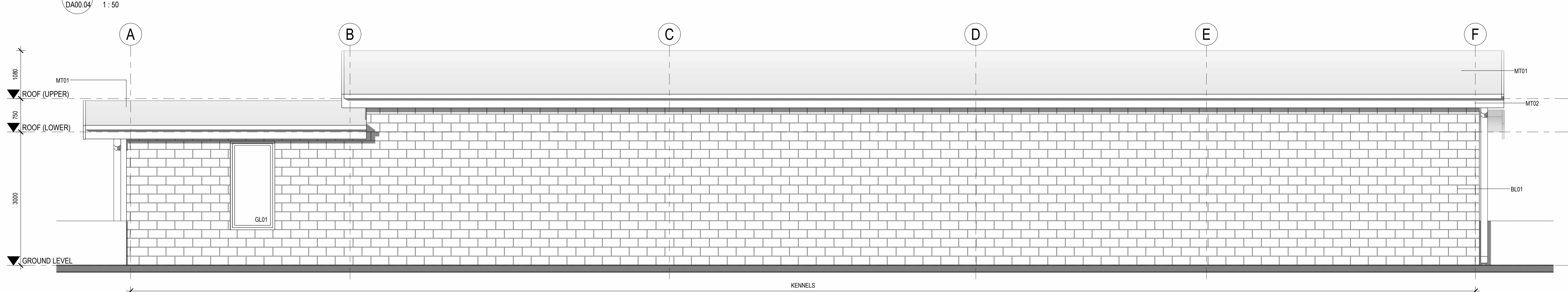




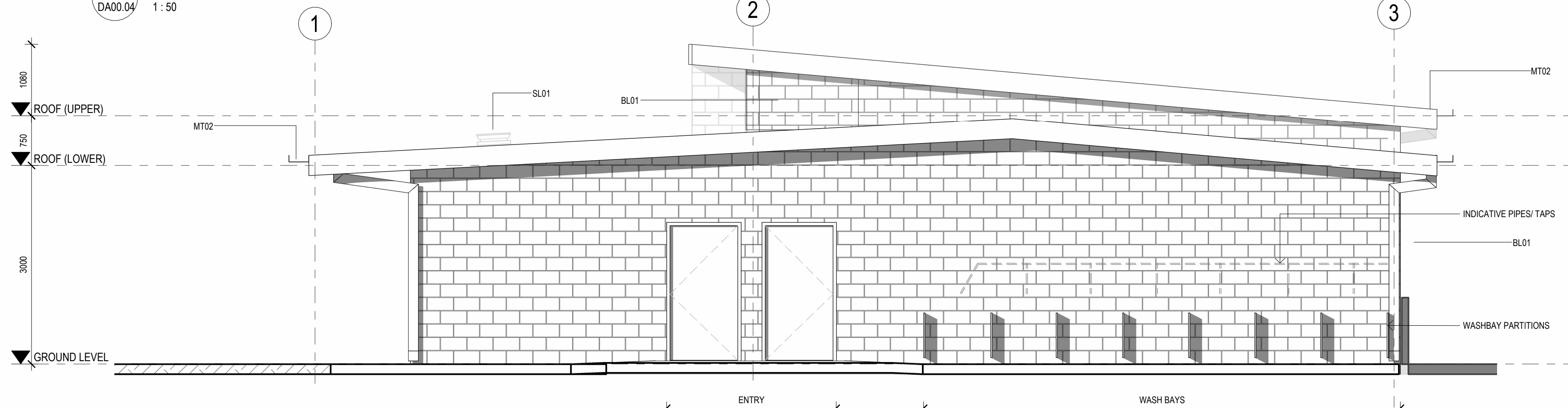
1 NORTH ELEVATION



2 EAST ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION

KEYNOTE LEGEND	
Key Value	Keynote Text
BL01	BLOCKWORK (BESSER BLOCK - VERSALOC)
GL01	SINGLE GLAZED WINDOWS IN 100 x 45 ALUMINIUM FRAMING
MT01	LYSAGHT LONGLINE 'MONUMENT' METAL ROOF SHEETING
MT02	POWDERCOATED STEEL ROOF FLASHING AND FASCIA - MATT DARK GREY TO MATCH ROOF
SL01	SKYLIGHT

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**ROCKHAMPTON
GREYHOUND KENNELS**
Callaghan Park, Rockhampton
QLD 4701

DA (DRAFT)

BUILDING ELEVATIONS

DWG #	DA00.08	REV	B
SCALE @ A1	1 : 50		

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Dated: 20 March 2024

Technical Memo

To: Rockhampton Regional Council

From: Lochlan Gillis

Project Name: Rockhampton Greyhound Racing flood advice

Date: 13 September 2023

Our Reference: 23-0176-TM01.V1

1. Introduction

Colliers Engineering and Design has been commissioned on behalf of Rockhampton Greyhound Racing Club to provide a flood statement regarding proposed greyhound kennels at Callaghan Park racetrack located at 75 Reaney Street, The Common. This document addresses the risk to people or property as a result of the building work, as well as how animals will be managed during a flood event.

2. Background

2.1.1. Site location

The site is located at 75 Reaney Street, The Common, described as Lot 186 on Plan SP326281. The parcel is zoned as sport and recreation (L2) and is bound by North Rockhampton STP Access Rd to the North, Rockhampton Cricket Ground to the West and Robert Clark Drive to the South (refer **Figure 2-1**).

2.1.2. Proposed development works

The kennel building is proposed to be located along the southern boundary of the racetrack, between the main grandstand to the west and stable facilities to the east. Development works include 12 kennel bays and racing amenities (refer proposed layout **Attachment A**).

The proposed works does not fundamentally change the function of the racetrack facilities, meaning the site continues to serve as a sports and recreation facility with a similar level of acceptable flood risk.

2.1.3. Flood Hazard Overlay

The site is located to the north of the Fitzroy River and is subject to river flooding, as shown by Fitzroy River Flood Overlay mapping (refer **Figure 2-2**).

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Flood hazard at the proposed building footprint is classified as high (H4) to extreme (H5) and is consistent with the flood hazard category for existing buildings at the site. Therefore, the proposed development does not represent an increased flood risk within the site based upon placement in relation to flood hazard.



FIGURE 2-1: SITE LOCATION AND PLANNING SCHEME (2015) ZONING



FIGURE 2-2: FLOOD HAZARD OVERLAY

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2.1.4. Flood Risk & Evacuation Management

Given the proposed building is consistent with the land use at the site and is located within flood hazard zone that corresponds with adjacent buildings, works do not materially change the current risk to people or property.

The Fitzroy River Flood Study (Rockhampton Regional Council, 2011-a) states that the critical duration of a 1% AEP flood event is 72 hours (3 days). Refer to

Table 2-1 below. Design hydrographs from Fitzroy River Flood Study Report Mapping (Rockhampton Regional Council, 2011-b) indicate that the peak of the 1% AEP event occurs at approximately 300 hr (12.5 days). Refer to **Figure 2-3**. Therefore, the long response time of the hydrograph provides sufficient warning to enable safe flood evacuation at the site.

In addition to the long response time of the hydrograph, the Local Disaster Management Plan for the Fitzroy River catchment provides early flood warning at the site. According to the *Fitzroy River Flood Threat Specific Sub Plan* (Rockhampton Regional Council, 2021). Levels at the site vary between 5 – 7m AHD according to LiDAR data. The flood warning system for the Fitzroy River catchment, operated by the Bureau of Meteorology, “issues predictions... whenever the [flood] height is expected to exceed the minor flood level at the city gauge. This procedure is designed to provide at least 60 hours warning of flood heights above 7 metres.” (Rockhampton Regional Council, 2021).

2.1.5. Animal Management

The proposed kennels are to be used for race events only and are not used at any other time. Therefore, no animals will be kept at the site during a flood event. As per Section 2.1.4, there is sufficient flood warning time to (a) prevent holding a race event during a flood event and (b) facilitate safe flood evacuation should a flood begin during a race event.

TABLE 2-1: DESIGN EVENT PEAK DISCHARGES. (SOURCE: FITZROY RIVER FLOOD STUDY. ROCKHAMPTON REGIONAL COUNCIL, 2011)

Return period (yrs)	Peak Discharge (m ³ /s)	Critical Duration
2	2452	72
5	4908	72
10	7005	72
20	10305	72
50	13214	72
100	16290	72
PMF	56713	120

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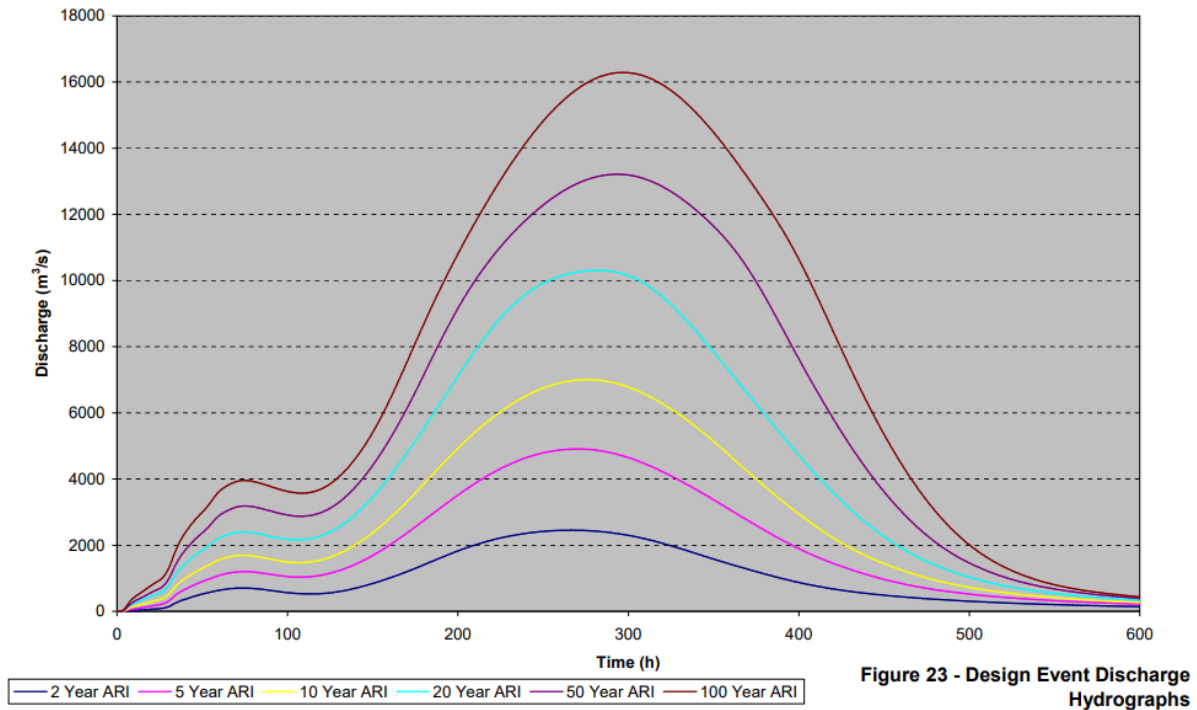


FIGURE 2-3: DESIGN EVENT DISCHARGE HYDROGRAPHS (SOURCE: FITZROY RIVER FLOOD STUDY REPORT - MAPPING. ROCKHAMPTON REGIONAL COUNCIL, 2011)

3. Conclusion

In conclusion, the proposed kennels at Callaghan Park racetrack located at 75 Reaney Street, The Common, are consistent with the flood risk of existing buildings at the site, and flood evacuation is adequately managed at the site. We therefore request that council approve the application in relation to flood hazard overlay conditions.

Sincerely,

Lochlan Gillis
RPEQ No. 28913

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This report has been compiled at the level of detail specified in the report and no responsibility is accepted for interpretations made at more detailed levels than so indicated.

References

Rockhampton Regional Council. (2021). *Local Disaster Management Plan: Fitzroy River Flood Threat Specific Flood Plan*. Rockhampton Regional Council Local Disaster Management Group.

Rockhampton Regional Council. (2011-a). Flood Study Report.
<https://www.rockhamptonregion.qld.gov.au/CouncilServices/Floodplain-Management/Riverine-Flood-Studies-and-Maps>

Rockhampton Regional Council. (2011-b). Flood Study Report - Mapping
<https://www.rockhamptonregion.qld.gov.au/CouncilServices/Floodplain-Management/Riverine-Flood-Studies-and-Maps>

Attachments

Attachment A Proposed Layout

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Attachments

Attachment A Proposed Layout

