APPROVED PLANS

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Development Permit No.: D/145-2023

Dated: 20 March 2024



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NSW Nominated Architects Scott Moylan 7147 Craig Saltmarsh 6569





REV	DESCRIPTION	DATE
Α	DA (FOR REVIEW)	14.07.2023
В	DA	13.10.2023

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 MC

ROCKHAMPTON
GREYHOUND KENNELS
Callaghan Park, Rockhampton
QLD 4701

DA (DRAFT)

LOCATION PLAN

DA00.01 REV

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DESCRIPTION	DATE
DA (FOR REVIEW)	14.07.2023
DA	13.10.2023
	DA (FOR REVIEW)

CHECKED APPROVED

ROCKHAMPTON GREYHOUND KENNELS Callaghan Park, Rockhampton QLD 4701

DA (DRAFT)

OVERALL SITE PLAN AND DEVELOPMENT SUMMARY

DA00.02











VIEW 5.

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EXISTING DEMOUNTABLE EXISTING SPECTATORS STAND EXISTING DEMOUNTABLE (TO BE RELOCATED)

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CHECKED APPROVED

ROCKHAMPTON GREYHOUND KENNELS
Callaghan Park, Rockhampton
QLD 4701

DA (DRAFT)

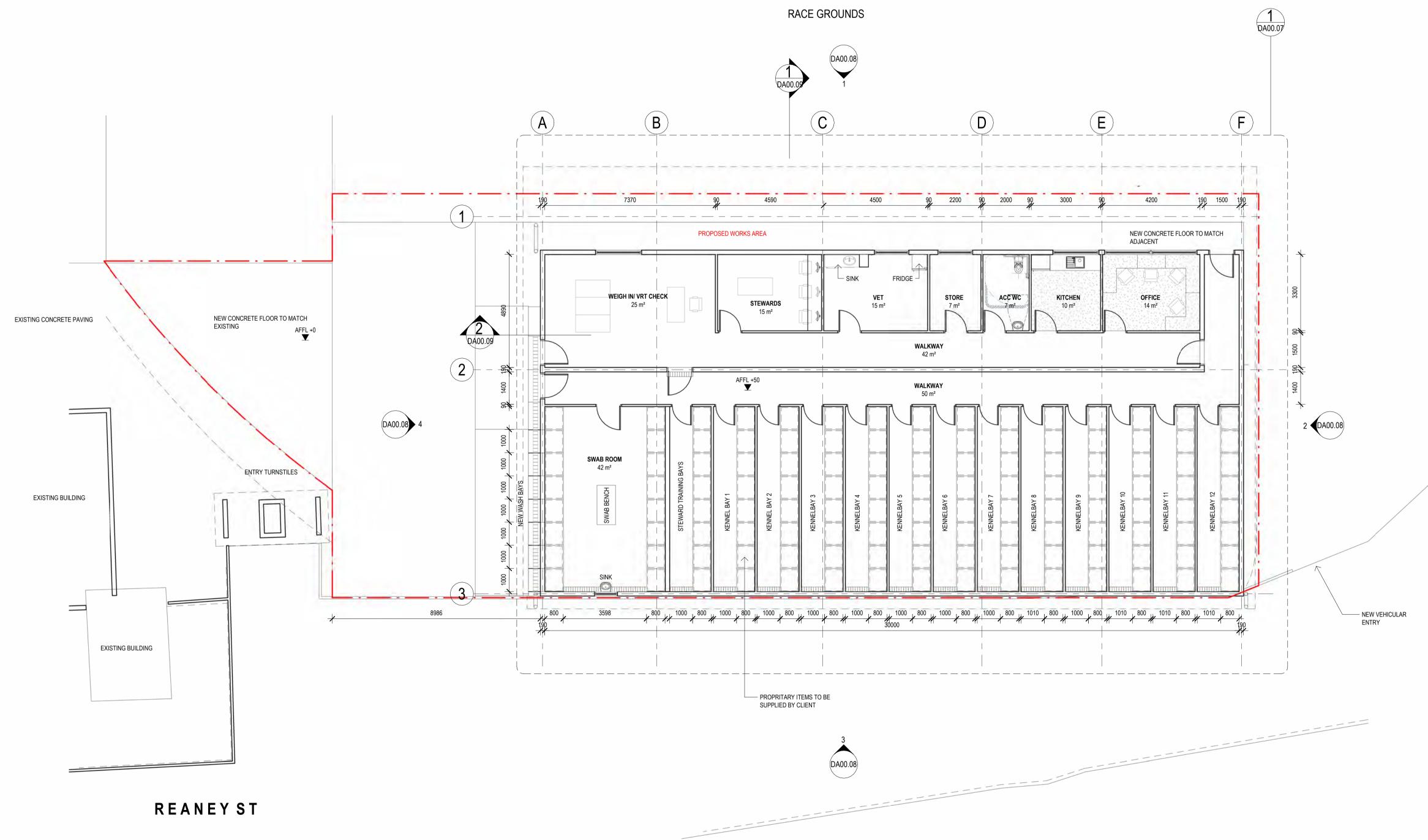
EXISTING SITE & DEMOLITION PLAN

DA00.03

SCALE @ A1 1:200

EXISTING SITE PLAN

GFA_		
TOTAL AREA	476m²	
ROOM	AREA	
WEIGH-IN/ VRT	31m²	
STEWARDS	24m²	
VET ROOM	24m²	
OFFICE	23m²	
CIRCULATION (OFFICE)	34m²	
CIRCULATION (KENNELS)	44m²	
TOILET	7m²	
AIRLOCK	3m²	
STORE	4m²	
SWAB ROOM	40m²	
KENNELS	242m²	



GROUND LEVEL - GENERAL ARRANGEMENT PLAN DA00.08 1 : 100

GENERAL NOTES

1. ALL STRUCTURAL ELEMENTS SHOWN ARE INDICATIVE ONLY, REFER TO STRUCTURAL ENGINEERS DOCUMENTATION AND SPECIFICATIONS FOR DETAILS. ALL SERVICES TO AUTHORITY REQUIREMENTS (TO BE CONFIRMED WITH CONTROLLING AUTHORITY). MECHANICAL & HYDRAULIC SUBCONTRACTOR TO PROVIDE DETAILED SETOUT / SHOP DRAWINGS OF ALL PENETRATIONS AND DUCT WORK FOR APPROVAL

PRIOR TO CONSTRUCTION. ALL PENETRATIONS ARE DIMENSIONED TO THE MINIMUM OPENING SIZE REQUIRED. ADDITIONAL TOLERANCES FOR SERVICES, FIRE DAMPERS, FIXING AND CONNECTIONS THROUGH PENETRATIONS MUST BE ALLOWED FOR BY BUILDER AND CONTRACTORS WHEN SETTING OUT.

ALL ELECTRICAL, MECHANICAL AND FIRE SERVICES SHOWN ON THE DRAWINGS ARE INDICATIVE ONLY. REFER TO MECHANICAL, ELECTRICAL AND FIRE ENGINEERS DRAWINGS AND DOCUMENTS FOR DETAILS OF SERVICES. ARCHITECTURAL DRAWINGS ARE TO BE USED FOR SETOUT PURPOSES ONLY.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE VERIFIED ON SITE. ANY DISCREPANCIES WITHIN PROJECT

DOCUMENTATION AND/OR WITH DOCUMENTED SITE CONDITIONS SHALL BE RAISED IMMEDIATELY WITH RELEVANT PARTIES FOR RESOLUTION. ALL FLOOR SLABS, CORES AND FIRE ZONE PENETRATIONS TO BE APPROPRIATELY SEALED TO

SCHEDULE FOR BASE BUILDING FRLS. PENETRATIONS FOR P.V.C. WASTES, SLEEVES FOR HYDRAULIC SERVICES, AND ACCESS PENETRATIONS FOR POWER TO BE SEALED WITH FIRE COLLAR TO

SPECIFIED FRL'S. ALLOW FOR PAINTING ALL WALL SURFACES PRIOR TO FIXING ANY JOINERY OR WALL PANELS TO WALL.

SPECIFIED FIRE RESISTANCE LEVELS (FRL'S) AND MADE GOOD. REFER TO GENERAL MATERIALS

PROVIDE A FULL WET TRAY TO ALL AMENITY FLOOR AREAS, RETURN 150mm UP WALLS, AND FULL SHOWER COMPARTMENT. ELECTRICAL SWITCHBOARD LOCATED IN THE PATH OF

TRAVEL TO EXITS TO BE ENCLOSED IN METAL OR OTHER NON-COMBUSTIBLE CABINETS WITH SMOKE FIRE INDICES OF MATERIALS, LININGS AND SURFACE

FINISHES TO COMPLY WITH CLAUSE C1.10 OR C1.10a OF THE BUILDING CODE OF AUSTRALIA. THE TOP OF HANDRAILS SHALL BE NOT LESS THAN 865mm NOR MORE THAN 1000mm ABOVE THE NOSING OF STAIRWAY TREAD OR THE PLANE OF THE FINISHED FLOOR OF THE WALKWAY, RAMP OR LANDING. MAXIMUM 125MM SPACING BETWEEN BALUSTERS &

80mm SPACING FOR S.S WIRES. NON-SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS & LANDINGS COMPLIANT WITH AS4586. BUILDER TO VERIFY SLIP RATING COMPLIANCE BEFORE INSTALLATION. MAX. RISER HEIGHTS TO ALL SINGLE STEPS NOT TO EXCEED 190mm, MIN. GOING LENGTH

FOR TREADS TO BE AT LEAST 250mm. INWARD SWINGING TOILET DOORS TO ENCLOSED SANITARY COMPARTMENTS, WHERE <1200mm BETWEEN THE WATER CLOSET & DOORWAY, TO BE READILY REMOVABLE FROM THE OUTSIDE ALL SERVICE PENETRATIONS THROUGH FIRE RATED

WITH BCA CLAUSE C3.15 IN ORDER TO MAINTAIN THE FIRE RESISTANCE LEVEL OF THE ELEMENT. REFER TO HYDRAULIC AND FIRE SERVICES ENGINEERS DOCUMENTATION. SANITARY FACILITIES FOR PEOPLE WITH DISABILITIES

BUILDING ELEMENTS TO BE TREATED IN ACCORDANCE

TO COMPLY WITH AS1428.1. BRAILLE & TACTILE SIGNAGE TO BE IN ACCORDANCE WITH BCA CLAUSE D3.6 TO THE SATISFACTION OF THE

RELEVANT BUILDING SURVEYOR. BRAILLE SIGNAGE IS TO BE PROVIDED ADJACENT TO EACH EGRESS DOOR INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS AND DEAFNESS AND STATE "EXIT". SIGNAGE TO BE LOCATED ON LATCH SIDE OF DOOR NOT LESS THAN 50mm NOR MORE THAN 300mm FROM THE ARCHITRAVE AND BETWEEN 1200-1600mm AFFL.

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REV	DESCRIPTION	DATE
Α	DA (FOR REVIEW)	14.07.2023
В	DA	13.10.2023

PROJECT NO CHECKED APPROVED

ROCKHAMPTON GREYHOUND KENNELS Callaghan Park, Rockhampton

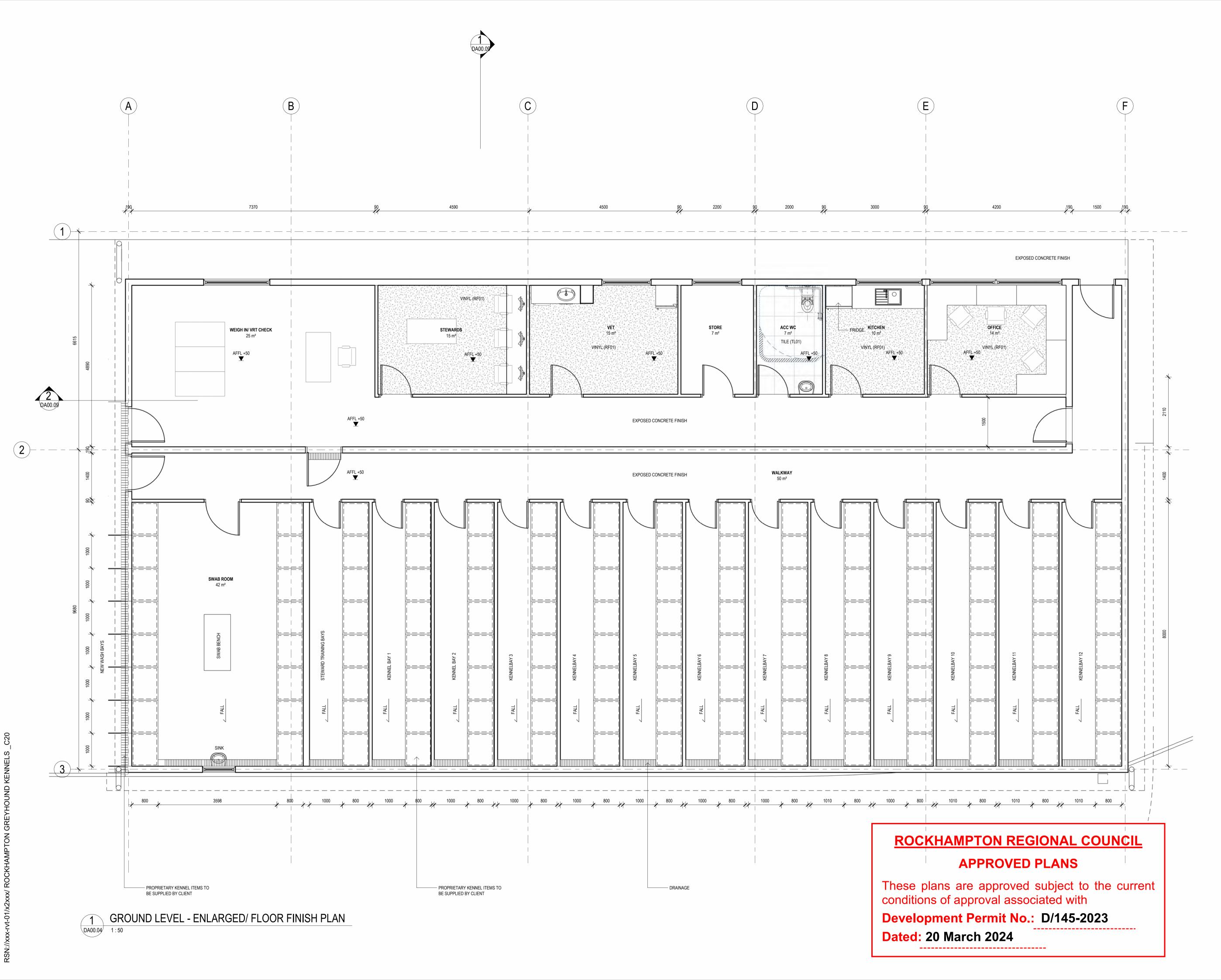
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QLD 4701

GROUND LEVEL GENERAL ARRANGEMENT PLAN

> DA00.04 REV **B**

SCALE @ A1 As indicated



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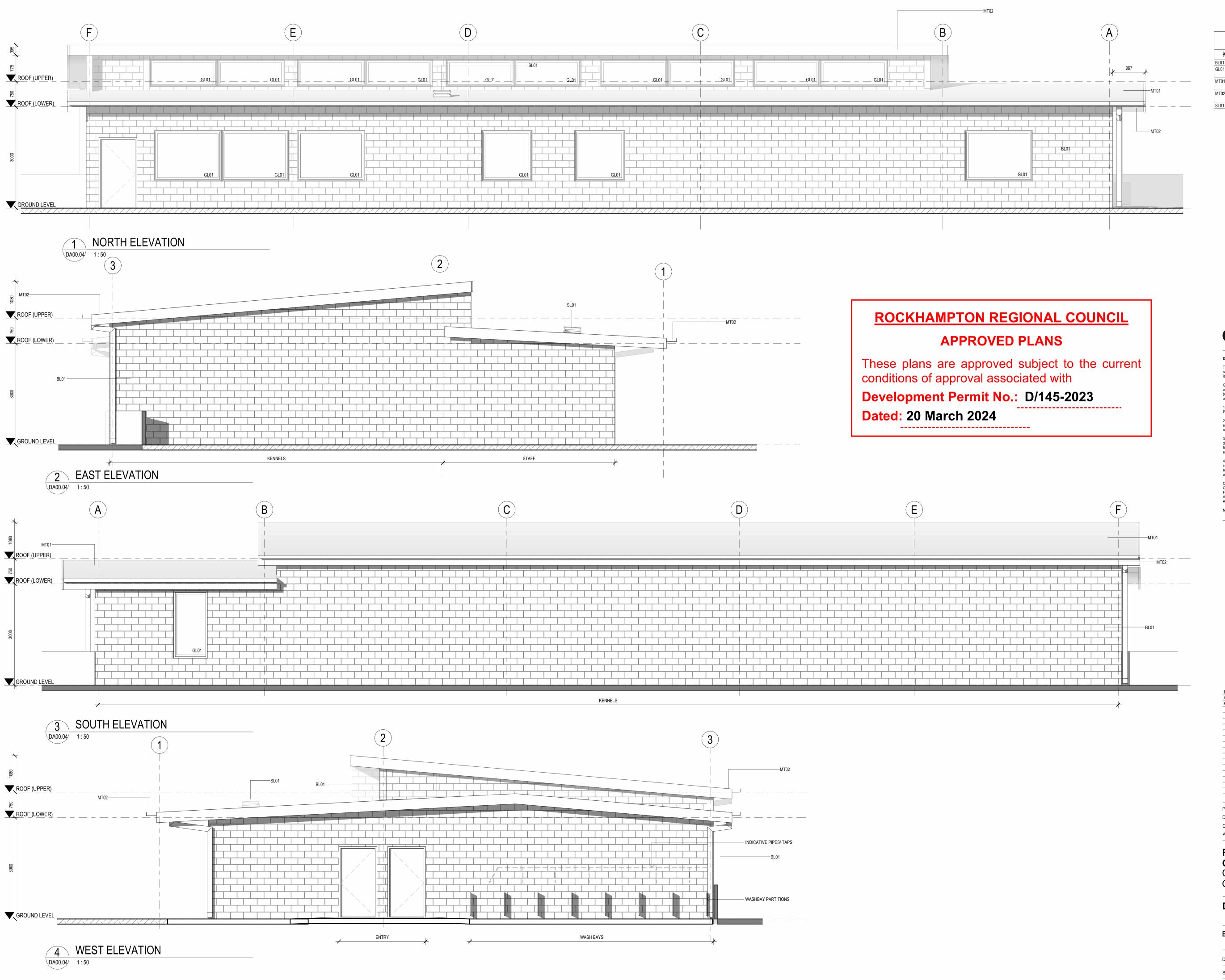
PROJECT NO CHECKED Checker APPROVED

ROCKHAMPTON GREYHOUND KENNELS Callaghan Park, Rockhampton QLD 4701

DA (DRAFT)

ENLARGED PLAN

DA00.07



KEYNOTE LEGEND

INCTINOTE ELOCIND		
Key Value	Keynote Text	
BL01	BLOCKWORK (BESSER BLOCK - VERSALOC)	
GL01	SINGLE GLAZED WINDOWS IN 100 x 45 ALUMINIUM FRAMING	
MT01	LYSAGHT LONGLINE 'MONUMENT' METAL ROOF SHEETING	
MT02	POWDERCOATED STEEL ROOF FLASHING AND FASCIA - MATT DARK GREY TO MATCH ROOF	

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DA (DRAFT)

BUILDING ELEVATIONS

DA00.08

Queensland Head Office:

Level 4, 196 Wharf Street, Spring Hill Qld 4000 PO Box 1344, Buddina Qld 4575

Main: +61 7 3532 1300 colliers.com .au



ROCKHAMPTON REGIONAL COUNCIL APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/145-2023

Dated: 20 March 2024

Technical Memo

To: Rockhampton Regional Council

From: Lochlan Gillis

Project Name: Rockhampton Greyhound Racing flood advice

Date: 13 September 2023

Our Reference: 23-0176-TM01.V1

1.Introduction

Colliers Engineering and Design has been commissioned on behalf of Rockhampton Greyhound Racing Club to provide a flood statement regarding proposed greyhound kennels at Callaghan Park racetrack located at 75 Reaney Street, The Common. This document addresses the risk to people or property as a result of the building work, as well as how animals will be managed during a flood event.

2. Background

2.1.1. Site location

The site is located at 75 Reaney Street, The Common, described as Lot 186 on Plan SP326281. The parcel is zoned as sport and recreation (L2) and is bound by North Rockhampton STP Access Rd to the North, Rockhampton Cricket Ground to the West and Robert Clark Drive to the South (refer **Figure 2-1**).

2.1.2. Proposed development works

The kennel building is proposed to be located along the southern boundary of the racetrack, between the main grandstand to the west and stable facilities to the east. Development works include 12 kennel bays and racing amenities (refer proposed layout **Attachment A**).

The proposed works does not fundamentally change the function of the racetrack facilities, meaning the site continues to serve as a sports and recreation facility with a similar level of acceptable flood risk.

2.1.3. Flood Hazard Overlay

The site is located to the north of the Fitzroy River and is subject to river flooding, as shown by Fitzroy River Flood Overlay mapping (refer **Figure 2-2**).

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Flood hazard at the proposed building footprint is classified as high (H4) to extreme (H5) and is consistent with the flood hazard category for existing buildings at the site. Therefore, the proposed development does not represent an increased flood risk within the site based upon placement in relation to flood hazard.



FIGURE 2-1: SITE LOCATION AND PLANNING SCHEME (2015) ZONING



FIGURE 2-2: FLOOD HAZARD OVERLAY

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2.1.4. Flood Risk & Evacuation Management

Given the proposed building is consistent with the land use at the site and is located within flood hazard zone that corresponds with adjacent buildings, works do not materially change the current risk to people or property.

The Fitzroy River Flood Study (Rockhampton Regional Council, 2011-a) states that the critical duration of a 1% AEP flood event is 72 hours (3 days). Refer to

Table 2-1 below. Design hydrographs from Fitzroy River Flood Study Report Mapping (Rockhampton Regional Council, 2011-b) indicate that the peak of the 1% AEP event occurs at approximately 300 hr (12.5 days). Refer to **Figure 2-3.** Therefore, the long response time of the hydrograph provides sufficient warning to enable safe flood evacuation at the site.

In addition to the long response time of the hydrograph, the Local Disaster Management Plan for the Fitzroy River catchment provides early flood warning at the site. According to the *Fitzroy River Flood Threat Specific Sub Plan* (Rockhampton Regional Council, 2021). Levels at the site vary between 5 – 7m AHD according to LiDAR data. The flood warning system for the Fitzroy River catchment, operated by the Bureau of Meteorology, "issues predictions... whenever the [flood] height is expected to exceed the minor flood level at the city gauge. This procedure is designed to provide at least 60 hours warning of flood heights above 7 metres." (Rockhampton Regional Council, 2021).

2.1.5. Animal Management

The proposed kennels are to be used for race events only and are not used at any other time. Therefore, no animals will be kept at the site during a flood event. As per Section 2.1.4, there is sufficient flood warning time to (a) prevent holding a race event during a flood event and (b) facilitate safe flood evacuation should a flood begin during a race event.

TABLE 2-1: DESIGN EVENT PEAK DISCHARGES. (SOURCE: FITZROY RIVER FLOOD STUDY. ROCKHAMPTON REGIONAL COUNCIL, 2011)

Return period (yrs)	Peak Discharge (m³/s)	Critical Duration
2	2452	72
5	4908	72
10	7005	72
20	10305	72
50	13214	72
100	16290	72
PMF	56713	120

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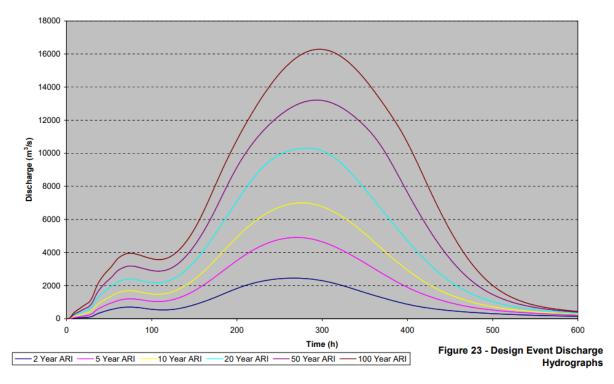


FIGURE 2-3: DESIGN EVENT DISCHARGE HYDROGRAPHS (SOURCE: FITZROY RIVER FLOOD STUDY REPORT - MAPPING. ROCKHAMPTON REGIONAL COUNCIL, 2011)

3. Conclusion

In conclusion, the proposed kennels at Callaghan Park racetrack located at 75 Reaney Street, The Common, are consistent with the flood risk of existing buildings at the site, and flood evacuation is adequately managed at the site. We therefore request that council approve the application in relation to flood hazard overlay conditions.

Sincerely,

Lochlan Gillis RPEQ No. 28913

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This report has been compiled at the level of detail specified in the report and no responsibility is accepted for interpretations made at more detailed levels than so indicated.

References

Rockhampton Regional Council. (2021). Local Disaster Management Plan: Fitzroy River Flood Threat Specific Flood Plan.

Rockhampton Regional Council Local Disaster Management Group.

Rockhampton Regional Council. (2011-a). Flood Study Report.

https://www.rockhamptonregion.qld.gov.au/CouncilServices/Floodplain-Management/Riverine-Flood-Studies-and-Maps

Rockhampton Regional Council. (2011-b). Flood Study Report - Mapping

https://www.rockhamptonregion.qld.gov.au/CouncilServices/Floodplain-Management/Riverine-Flood-Studies-and-Maps

Attachments

Attachment A Proposed Layout

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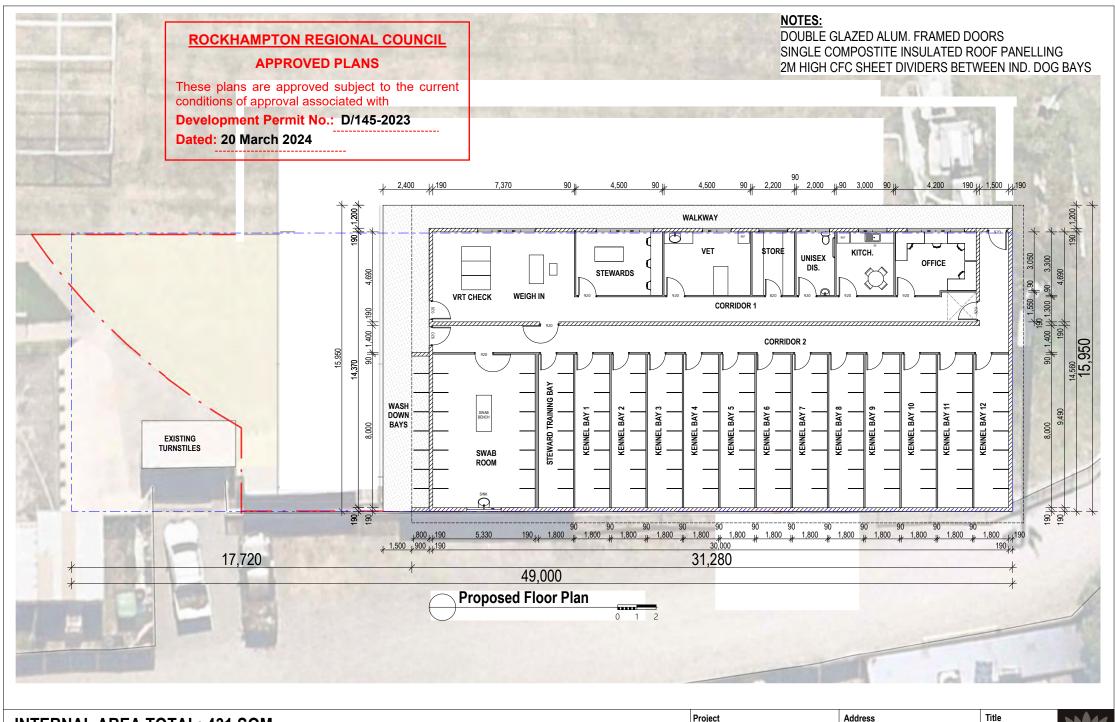
Development Permit No.: D/145-2023

Dated: 20 March 2024



Attachments

Attachment A Proposed Layout



INTERNAL AREA TOTAL: 431 SQM

Project	Address	Title		
Proposed Rockhampton GrevHound Kennels	Callaghan Park Reaney Street,	Proposed Site/ Floor Plan		GINA BA
Greyr lourid Refinels	Rockhampton QLD 4700	Date	Rev.	DESIGNER INTERIORS P 043884
		23.08.2023	В	E ginab@