

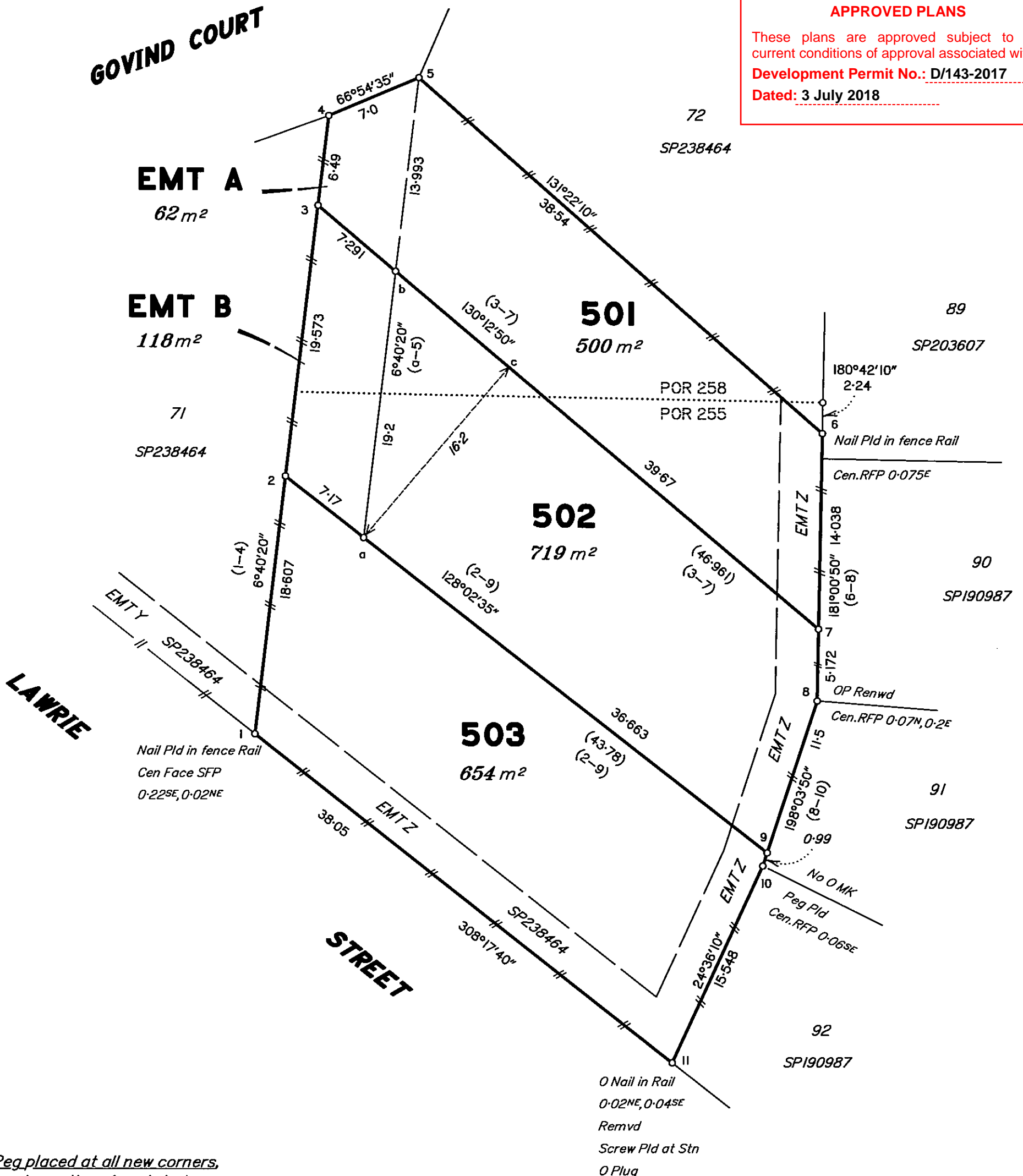
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

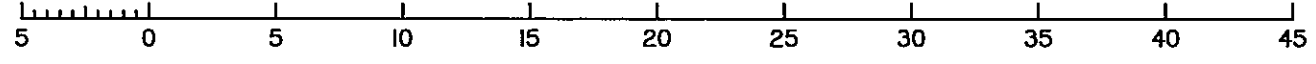
Development Permit No.: D/143-2017

Dated: 3 July 2018



Peg placed at all new corners, unless otherwise stated.

Scale 1:300 - Lengths are in Metres.



0 50mm 100mm 150mm State copyright reserved.

I, Sunil Kumar GOVIND, hereby certify that the land comprised in this plan was surveyed by Ugoji Divine Eze, surveying associate, for whose work I accept responsibility and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on -/-/2018.

..... Cadastral Surveyor
Date

Plan of:	Lots 501-502 and EMTs A & B in Lots 501 & 502, respectively. Cancelling Lot 502 on SP238464
LOCAL GOVERNMENT:	ROCKHAMPTON REGIONAL COUNCIL
LOCALITY:	GRACEMERE
Meridian:	Vide SP238464
Survey Records:	No

Scale:	1:300
Format:	STANDARD
SP291765	

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE RELEVANT AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF EXCAVATION

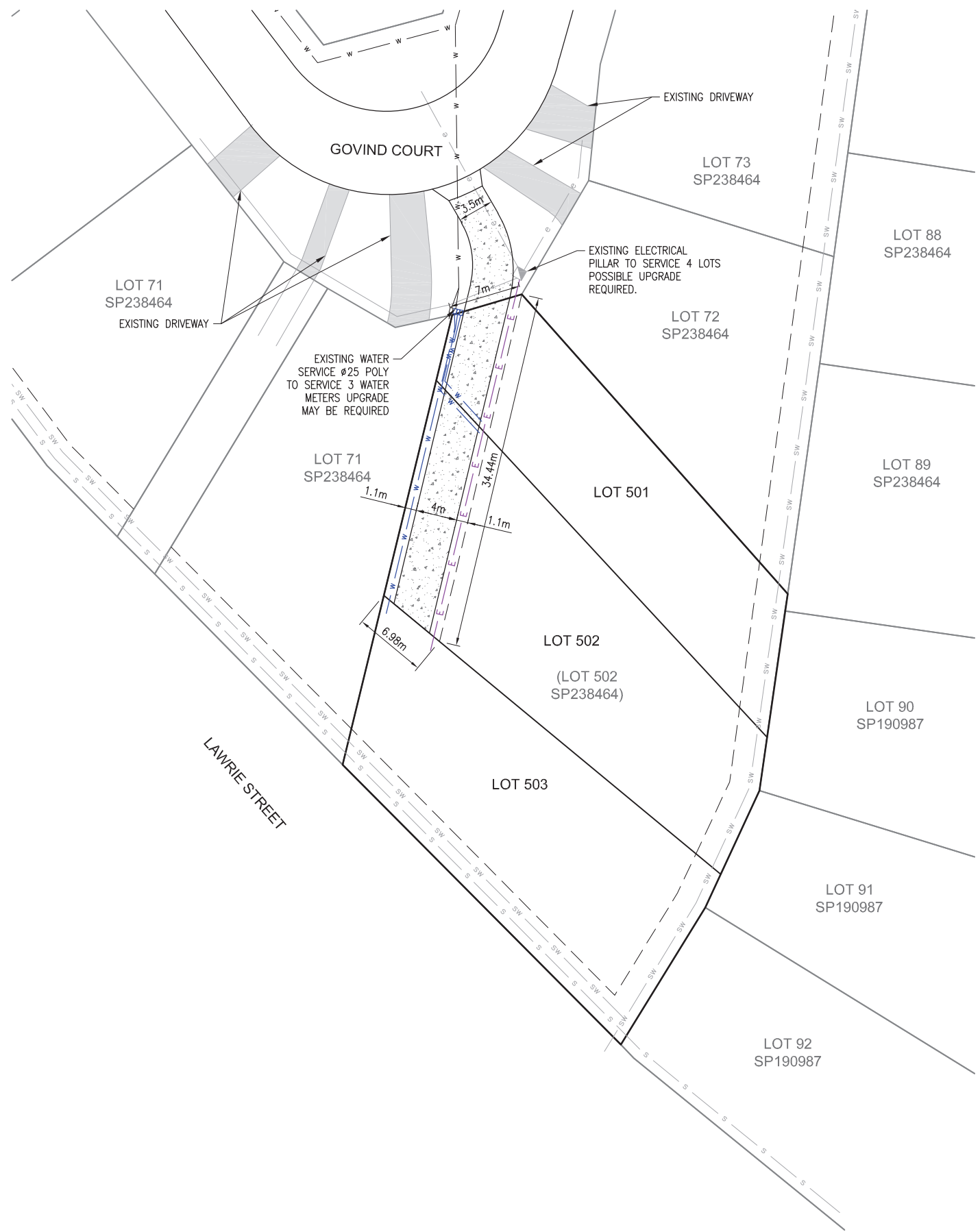
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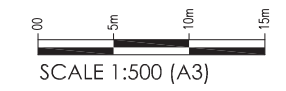
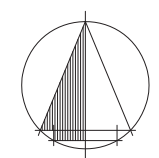
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LEGEND

	EXISTING EASEMENT
	PROPOSED ELECTRICAL
	PROPOSED WATER Ø32 POLY
	PROPOSED CONCRETE DRIVEWAY
	EXISTING ELECTRICAL
	EXISTING WATER MAIN
	EXISTING SEWER MAIN
	EXISTING STORMWATER



Check all dimensions before commencement of work.
Check Site boundary dimensions from the Title plans
Check Building Boundary clearances by set out.
Notwithstanding the information supplied on this drawing,
the location, depth and extent of underground or overhead
services are to be confirmed and protected on site by the
contractor prior to commencement of works.

Checked - C.C.		<p>Consulting Civil & Structural Engineers Project Management & Planning</p>	Approved	<p>KEVIN COVEY BEng,CPEng,MIEAust,MSPEPENG,RPEQ-1823 CHRIS CAMP BEng(Hons),MIEAust,RPEQ-4944 124 DUPORTH AVENUE Ph (07) 5443 7777 PO BOX 16 MAROOCHYDORE QLD 4558 Fax (07) 5443 7577 E-MAIL: engineers@covey.com.au</p>	<p>Drawing title - PLAN OF DEVELOPMENT</p>	<p>Project - PROPOSED 3 LOT SUBDIVISION</p> <p>Client - EXCEL DEVELOPMENT</p>	<p>Site - 44 GOVIND COURT, GRACEMERE</p>	Project 182154 Sheet No. R01
Design - J.B. Drawn - J.B.			Issue Date					Description
Document Stage - APPROVAL								This Document is copyright and shall not be copied without written approval, nor shall it be used except for the Development and the Site Specified.