

Do Not Scale Off
Drawings

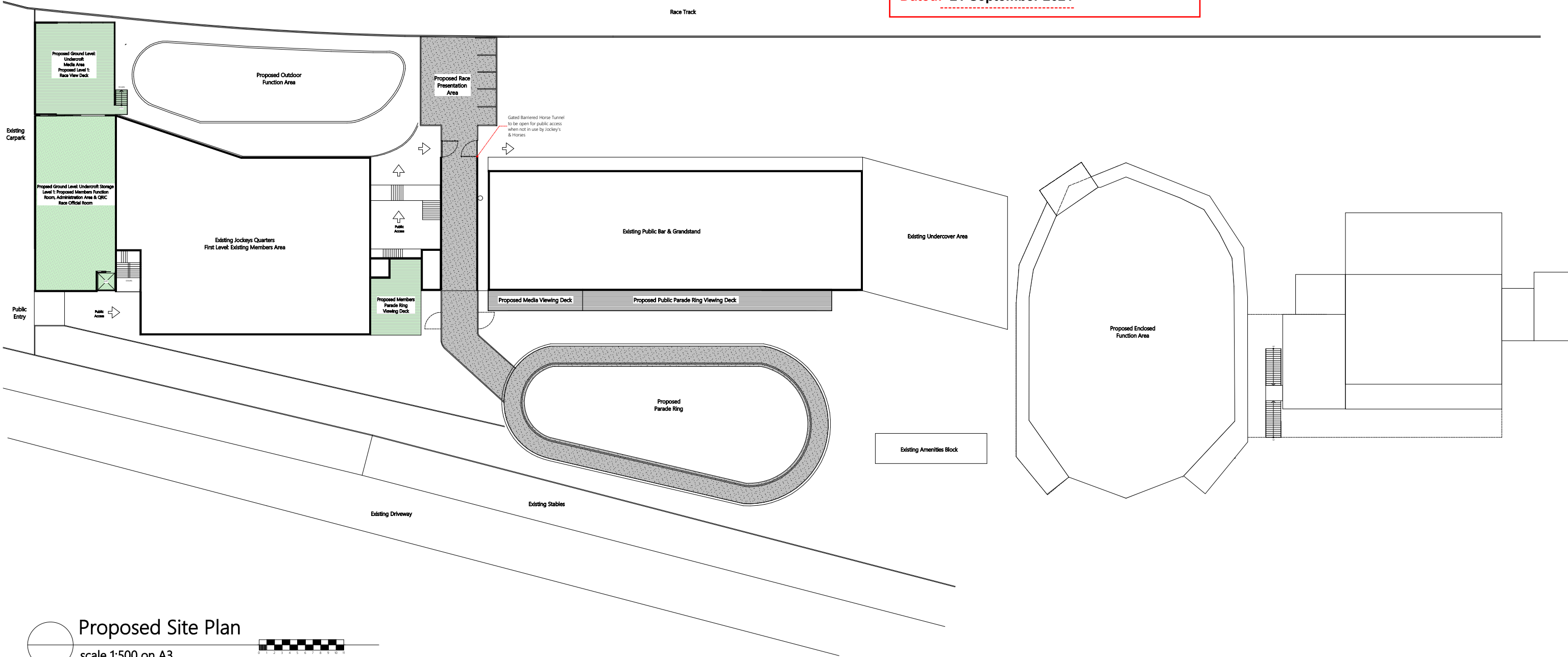
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/105-2021

Dated: 21 September 2021



NOTES

PROPOSED DEVELOPMENT

NOTES

PROPOSED DEVELOPMENT

ROCKHAMPTON JOCKEY CLUB

PROPOSED MASTER SITE PLAN

SCHEMATIC DESIGN
(DETAILED PLANS TO BE SUPPLIED AT FUTURE DATE)

Project	Address	Title:	
Rockhampton Jockey Club Proposed Master Site Plan	Callaghan Park Reaney Street, Rockhampton QLD 4700	Proposed Master Plan	
		Drawing No.: WD 01	
		Date: 28.07.2020	Rev.: E

Do Not Scale Off Drawings

NOTES

PROPOSED STRUCTURE

EXISTING STRUCTURE

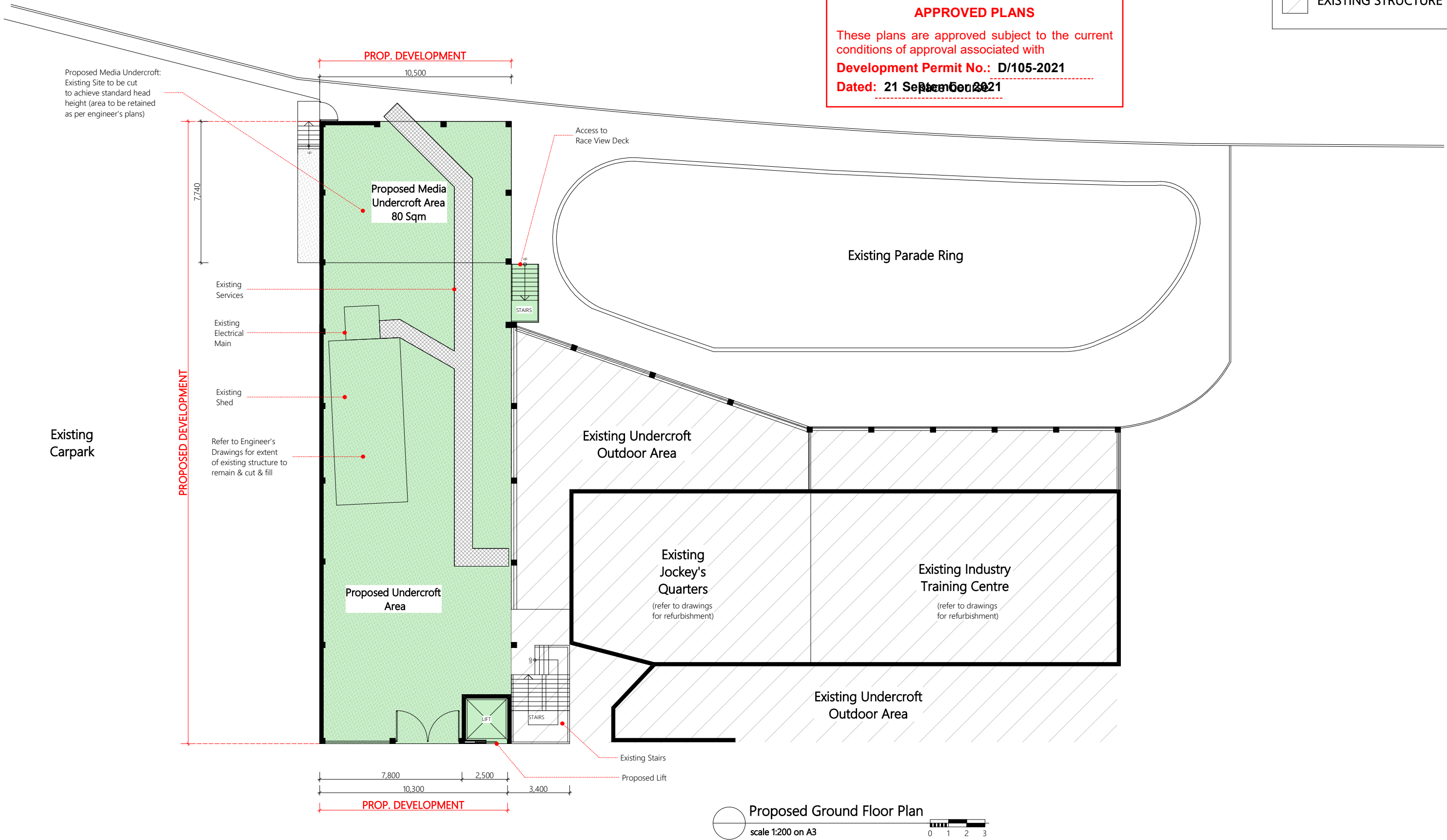
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/105-2021

Dated: 21 September 2021



ROCKHAMPTON JOCKEY CLUB

PROPOSED MEMBERS AREA EXTENSION & ELEVATION OF ADMINISTRATION AREA

(TO ACHIEVE MINIMUM HABITABLE FLOOR LEVEL ABOVE FLOOD LEVEL)

Project		Address		Title:	
Rockhampton Jockey Club Members Area & Extension & Elevation of Administration Areas		Callaghan Park Reaney Street, Rockhampton QLD 4700		Proposed Ground Floor Plan	
				Drawing No.:	WD 02
				Date:	28.07.2021
				Rev.:	E

Do Not Scale Off Drawings

SPECIFICATION NOTES:

General:
Matrix 1200mm x 900mm External Wall Panelling Paint Finish: 110 sqm
(refer to elevations)
Colorbond Standing Seam 330mm Matt Finish Wall Panelling: 65 sqm
(refer to elevations)
Rendered F.C. External Wall Sheeting Paint Finish: 62 Sqm
Undercroft Block work Paint Finish: Total amount TBC
Undercroft Concrete Floor: Total amount TBC

PROPOSED DEVELOPMENT

Proposed Race View Deck: 120 Sqm
 Flooring: Modwood or equiv. wide board decking 4mm gap
 Raked Ceiling: Sealed Ply or equiv. timber look sheeting
 Balustrade: P.C. semi frameless Alum. with glass infill
 Alum. P.C. fixed louvres screening where indicated
 New Stairs to Existing Parade Ring
 External Door: Sliding Glass Stacker 8.0m x 2.1m (to stack into wall cavity)

Proposed Member's Function Room: 83 Sqm

Flooring: Carpet
Coffered Ceiling: Plasterboard with Paint Finish
Walls: Plasterboard with Paint Finish
Internal Door: Bifold Solid Infill Door 3.6m x 2.1m

Proposed Administration: 96 Sqm

Flooring: Carpet
Flat Ceiling: Ceiling Tiles
Walls: Plasterboard with Paint Finish
External Door: Double Leaf 1500mm P.C. frame door with glass infill
2 x 3.5m x 3.5m Offices

Proposed QRIC: 42 Sqm

Flooring: Carpet
Flat Ceiling: Ceiling Tiles
Walls: Plasterboard with Paint Finish
External Door: Single Leaf 920mm P.C. frame door with glass infill
3 x Fixed Glass Windows 1.8m x 0.6m

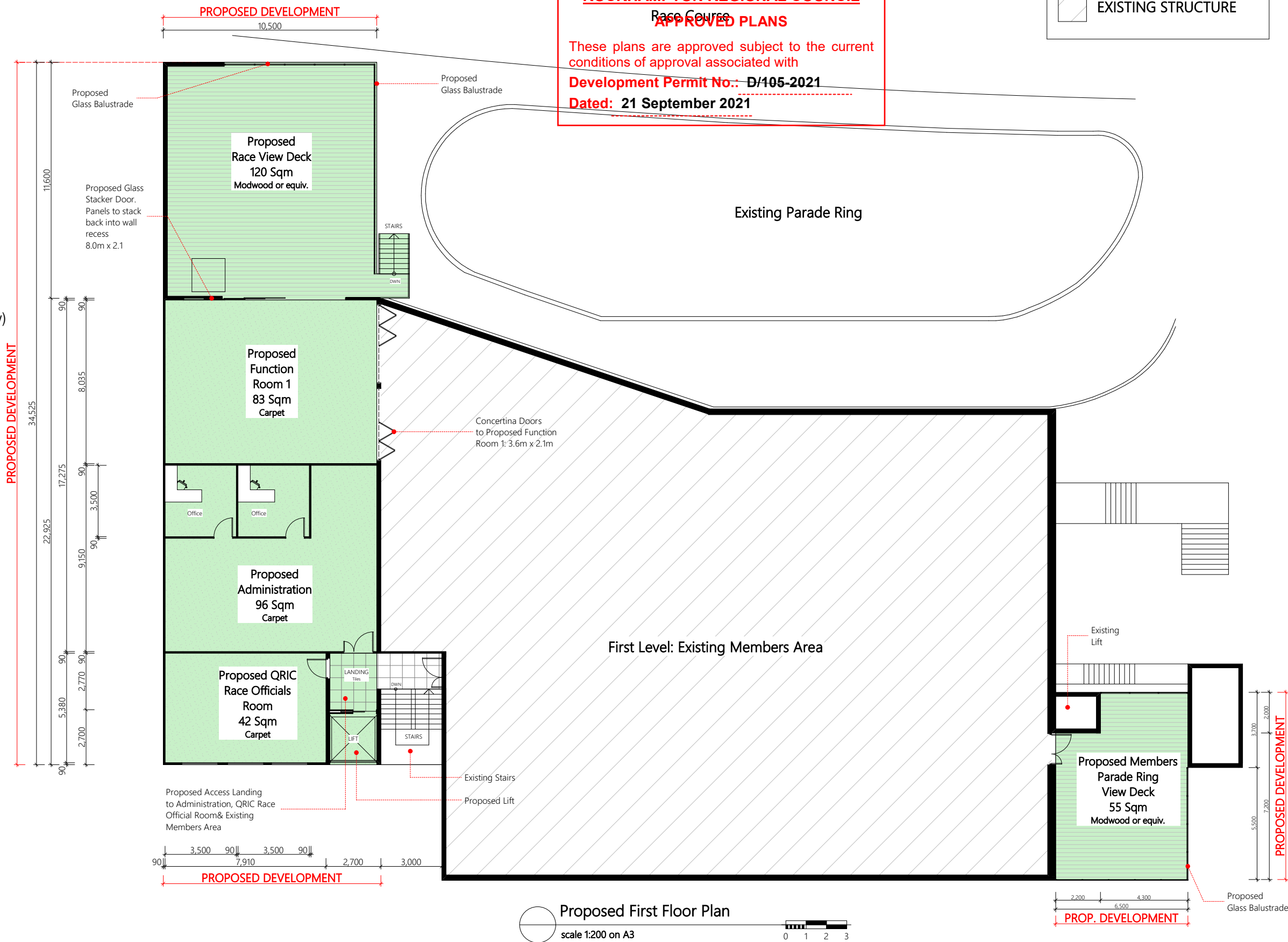
Proposed External Landing: 12 Sqm

Flooring: External non slip Tiles

Proposed Lift: 2.5 x 2.5 4 Person Disabled Compliant Hydraulic Lift
Glass Wall to Exterior Face

Proposed Race View Deck:55 Sqm

Flooring: Modwood or equiv. wide board decking 4mm gap
Balustrade: P.C. semi frameless Alum. with glass infill
External Door: Double Leaf 1500mm P.C. frame door with glass infill



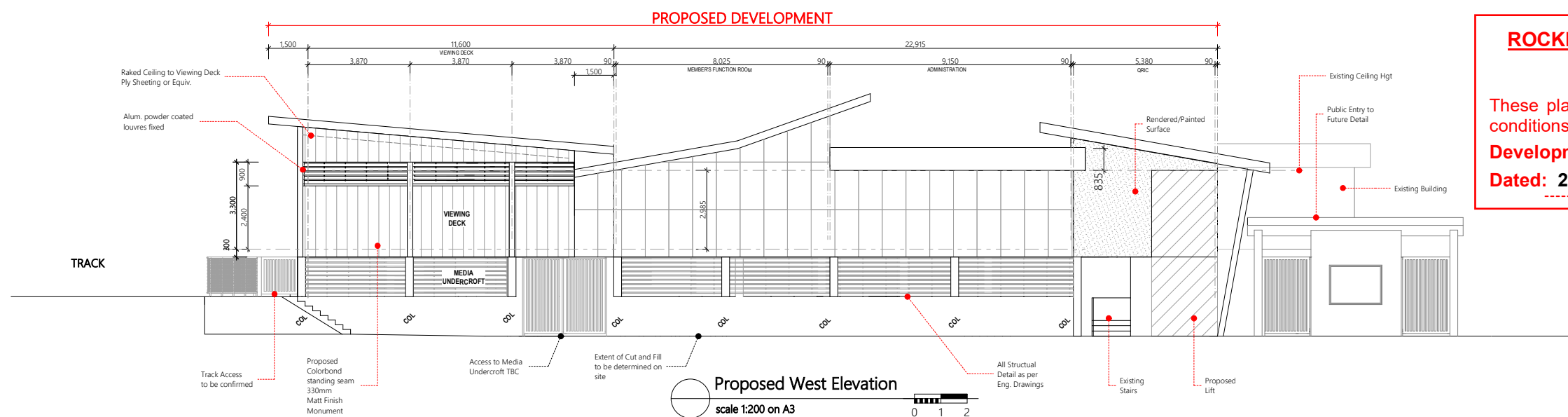
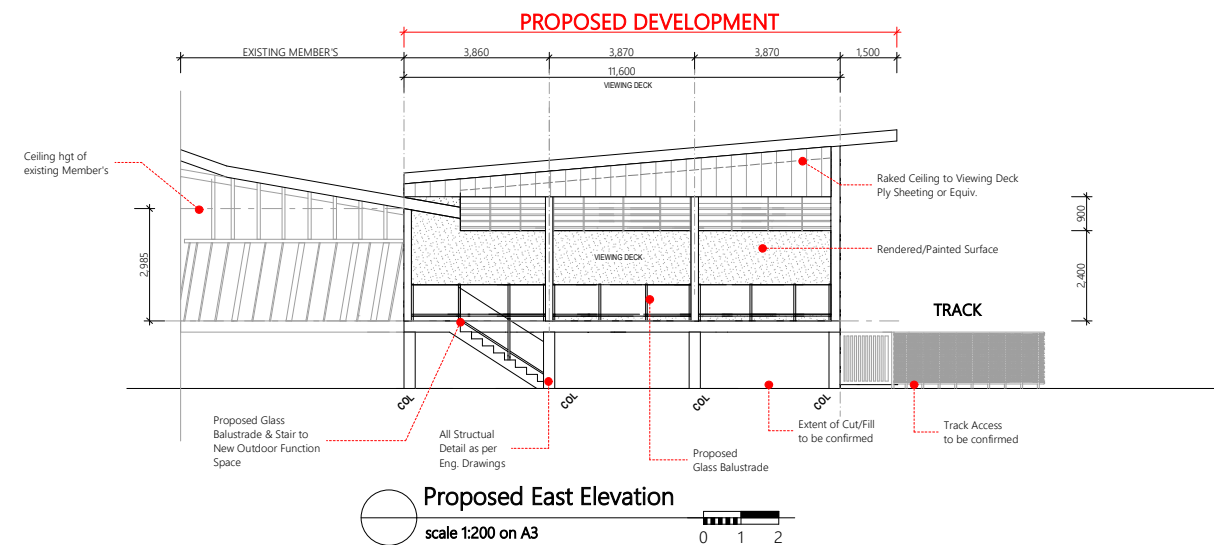
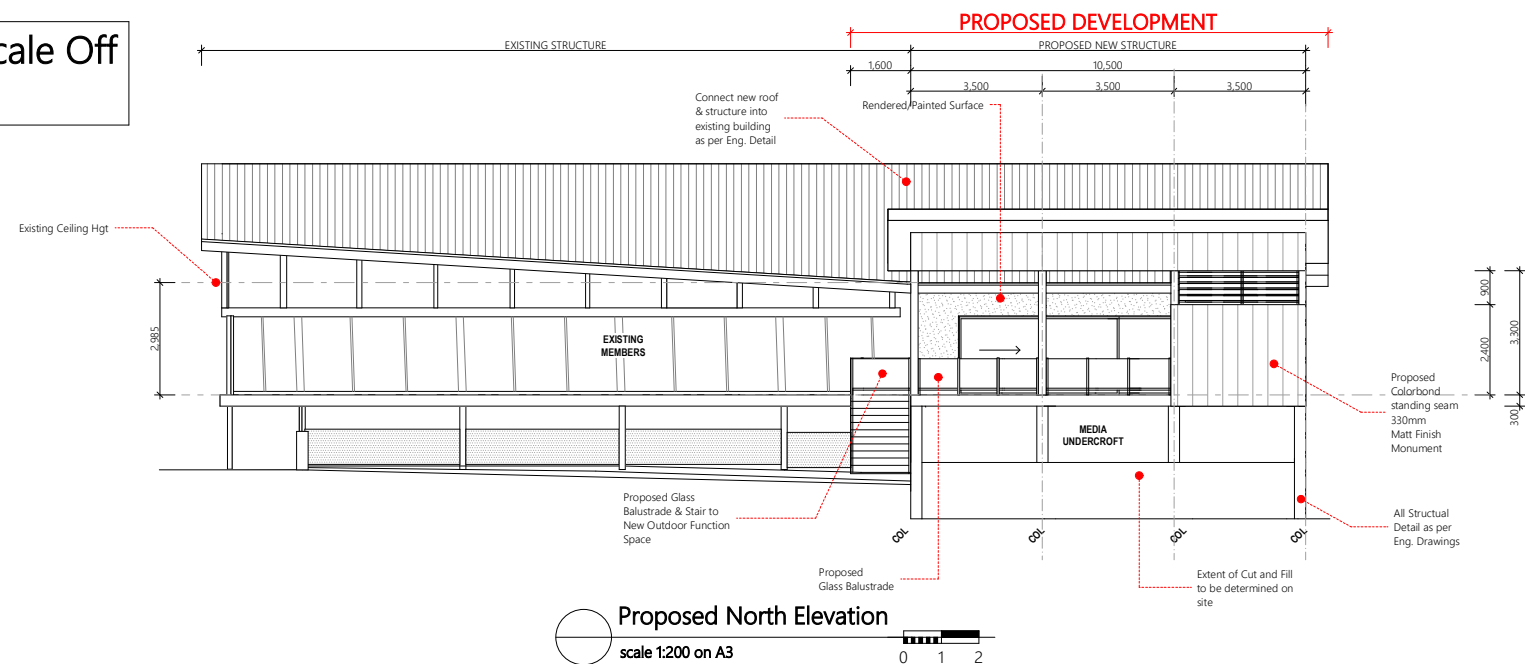
ROCKHAMPTON JOCKEY CLUB

PROPOSED MEMBERS AREA EXTENSION & ELEVATION OF ADMINISTRATION AREA

(TO ACHIEVE MINIMUM HABITABLE FLOOR LEVEL ABOVE FLOOD LEVEL)

Project	Address	Title:	
Rockhampton Jockey Club Members Area & Extension & Elevation of Administration Areas	Callaghan Park Reaney Street, Rockhampton QLD 4700	Proposed First Floor Plan	
		Drawing No.:	WD 03
		Date:	Rev.:
		28.07.2021	E

Do Not Scale Off Drawings



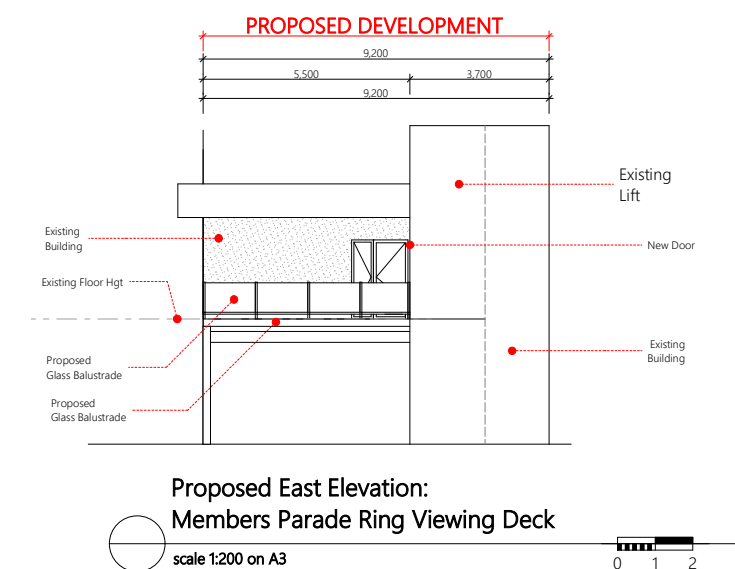
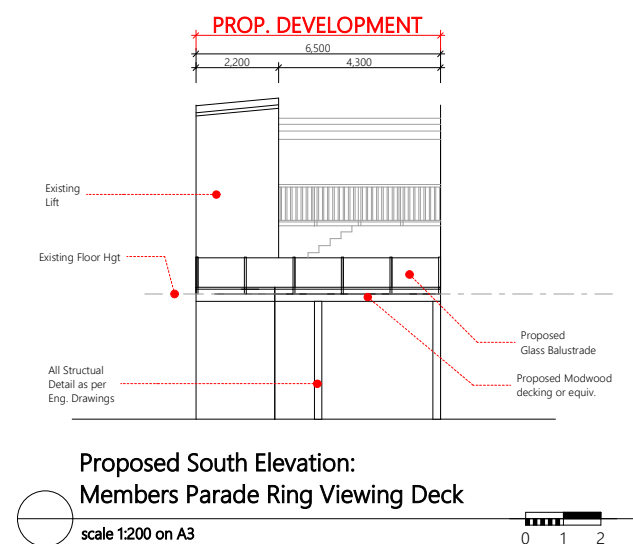
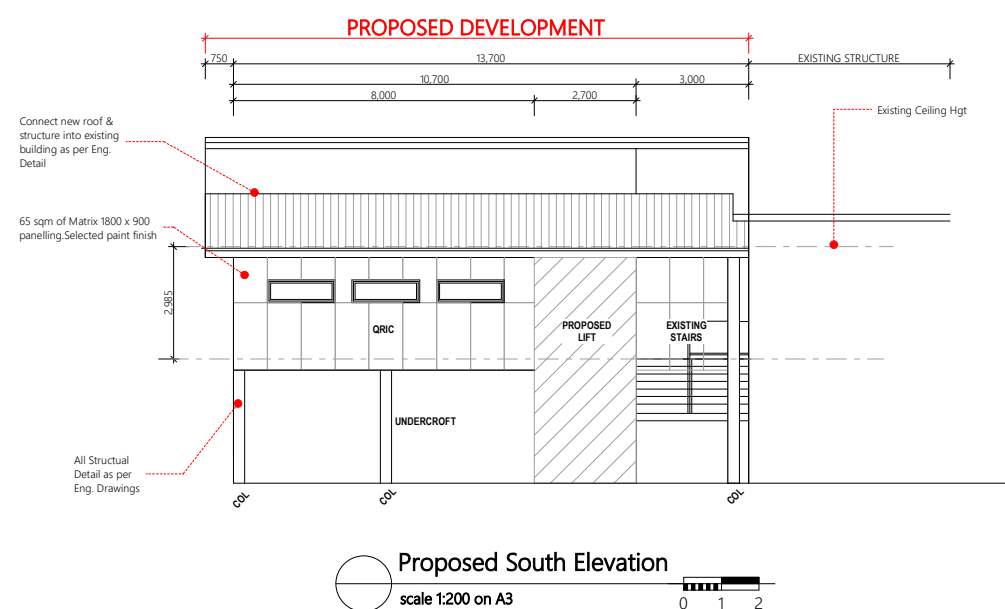
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/105-2021

Dated: 21 September 2021



ROCKHAMPTON JOCKEY CLUB

PROPOSED MEMBERS AREA EXTENSION & ELEVATION OF ADMINISTRATION AREA

(TO ACHIEVE MINIMUM HABITABLE FLOOR LEVEL ABOVE FLOOD LEVEL)

Project	Address	Title:	
Rockhampton Jockey Club Members Area & Extension & Elevation of Administration Areas	Callaghan Park Reaney Street, Rockhampton QLD 4700	Proposed Elevations	
		Drawing No.:	WD 04
		Date:	Rev.:
		28.07.2021	E

Our Ref: MCU Report_RJC BLG EXT

30th July 2021

Development Assessment Section
Rockhampton Regional Council
PO Box 1860,
ROCKHAMPTON QLD 4700

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/105-2021

Dated: 21 September 2021

Dear Sir/Madam

REPORT FOR MCU APPLICATION BUILDING EXTENSION TO MEMBERS AREA - CALLAGHAN PARK LOT 186 ON LN1397 AT 75 REANEY STREET, R'TON

1.0 INTRODUCTION

- 1.1 The proposal is to provide quality patron accommodation at Callaghan Park to enhance the racing experience particularly in the hot weather conditions regularly experienced in Rockhampton. The climate issue and competing hotel airconditioned betting accommodation has caused a serious decline in patron numbers due to insufficient airconditioned facilities on-course. The RJC has prevailed on Racing Queensland to revamp the Callaghan Park facilities which has seen the removal of older structures like the "old grandstand" and to provide high class patron accommodation so that patrons who endured the un-airconditioned areas can be provided for. The building extensions enlarge the airconditioned and quality viewing area of the existing members area.
- 1.2 Refer to the attached drawings:
- a) Proposed Master Site Plan – Proposed Site Plan WD-01 Rev E (shaded green is the relevant subject extension to the existing Members Area)
 - b) Proposed Members Area & Extension – Proposed Ground Floor Plan WD-02 Rev E (shaded green is the relevant subject extension to the existing Members Area)
 - c) Proposed Members Area & Extension – Proposed First Floor Plan WD-03 Rev E (shaded green is the relevant subject extension to the existing Members Area)
 - d) Proposed Members Area & Extension – Elevations WD-04 Rev E
 - e) Proposed Members Area & Extension – Front Entry View (pictorial view)
 - f) Proposed Members Area & Extension – Proposed Race View Deck & Lower Outdoor Function Area (pictorial view)

These show the location of the proposed building extensions in relation to the existing facility. The location of the existing buildings is not near any allotment boundaries of the subject land.

- 1.3 The subject site is flood affected and the Rockhampton Jockey Club accepts the risk of inundation and has management plans refined from extensive past experience in place to address the risk and evacuation procedures. The subject site is on the edge of the erosion prone area and is in the H5 Extreme Hazard and Risk Zone of the Fitzroy River flood overlay map.

- 1.4 The Callaghan Park facilities are always evacuated in a timely manner in the event of a major flood impacting the facility. There is no threat to people or horses. There is no impact on Council resources.
There will be no net change to the flood plain cross section or to the flood storage volume. Therefore, there will be no impact on flood levels.
- 1.5 For the proposed building extension, all required works are building works and would be addressed by a relevant Building Permit; no operational works development permit (site works) is required.
- 1.6 The existing building is connected to water, sewerage, electricity and telecommunications; no additional plumbing works are required. No amended trade waste permit is required.

2.0 FLOODING AND DRAINAGE

- 2.1 The Callaghan Park racing complex is affected by significant flood events in the Fitzroy River. The Aurecon Flood Report 2011 nominates (in round figures) the following peak water levels for this area:

Q100	-	RL 7.8m AHD
Q50	-	RL 7.3m AHD
Q20	-	RL 6.9m AHD
- 2.2 The existing buildings ground floor levels are around RL 6.5 to 7m AHD and provide the best reference for comparison to recent flood events. Inundation impacts the racing and stable complex without serious or undue problems. The Q20 event generally does cause any issues in the area of the administration building.
- 2.3 The Callaghan Park racing complex comes under the control of Racing Queensland and hence the state government racing administration takes an active interest in all capital works undertaken on the land and assists with all flood-related issues affecting the complex.
The existing Members facility was built using appropriate reinforced construction to address the storm tide inundation hazard and flooding of the Fitzroy River; and the extension will be similarly constructed.
Consequently, with this proposed construction, after each inundation event, with a quick washout the facility is back in a serviceable condition and operating relatively quickly. The slow build up to a flood event in the Fitzroy River affecting Callaghan Park gives plenty of warning for evacuation procedures for the administration complex.
- 2.4 The site of the buildings within Callaghan Park itself is remote from boundaries and other external structures in the area. It is adjacent to the tidal section of the Fitzroy River and thus has a legal point of discharge. No stormwater is directly discharged into the river and all discharges are well within the confines of the subject land.
Therefore, drainage from the Callaghan Park complex, its buildings and structures beside the Fitzroy River does not cause any nuisance. The runoffs in all events are lawful flows and Council does not need to impose its standard stormwater drainage conditions which are imposed when impacts on adjacent properties could arise. The increase in runoff, if any, will be very minor and insignificant in relation to the whole of the site, the ancillary uses of the racing complex and the Fitzroy River.
- 2.6 All necessary drainage works for the extension will be designed and constructed in accordance with Approved Building Plans. The proposal is not a complex development; this is minor extension to an existing facility located within a very large site. It is fully understood by Racing Queensland and the Rockhampton Jockey Club that there is a risk of inundation and the building extension will be constructed accordingly. Therefore, there are no issues that cannot be addressed by normal building design and construction using suitable flood resilient materials with electrical, telecommunications and utilities installed above the Q100 flood level.
- 2.7 No retaining walls are required or proposed.

3.0 INFRASTRUCTURE CHARGES

- 3.1 The extension will not increase the overall patron capacity of the Callaghan Park racecourse; the extension will allow guests and members to be more comfortable to participate in race days particularly in the hot summer months. The proposed building extension covers existing impermeable area and/or structures that will be removed. Consequently, the increase in stormwater runoff will be essentially zero. No additional sanitary plumbing is proposed. No upgrades to sewerage and water connections are required.
- 3.2 Given the minimal impact on services, Infrastructure Charges should not reasonably apply. If such charges are being considered to be imposed, the Rockhampton Jockey Club requests that Council waive the charges on the basis of its not-for-profit status.

4.0 RECOMMENDATIONS

- 3.1 In the event of an approval for the proposed Material Change of Use for the building extension, it is recommended that Council impose only relevant development conditions from its standard suite of conditions and address flooding and stormwater by including:-
- a) An RPEQ certificate accompanying the Development Permit for Building Works advising that the building extension has been designed structurally to withstand the forces created by floodwaters and debris loading for inundation flows of the Fitzroy River.
 - b) The only further development permit required are:
 - i) Building Works; and
 - ii) Plumbing and Drainage Works
- Design and supervision to be in accordance with the relevant legislations.

Yours faithfully



HARTECS nga engineering