

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

These plans are approved subject to the
current conditions of approval associated with
Development Permit No.: D/1-2019
Dated: 31 January 2019

NOTE:

ALL ROADS, CARPARKING, PAVEMENTS & LINEMARKING TO
COMPLY WITH TRAFFIC ENGINEERS SPECIFICATIONS AND
AUSTRALIAN STANDARDS.

ENTRIES, EXITS & CARPARKING LAYOUTS ARE SUBJECT TO
TRAFFIC ENGINEER'S DESIGN.

SITE BOUNDARIES & SITE AREAS ARE INDICATIVE ONLY &
SUBJECT TO CONFIRMATION BY LICENSED SURVEYOR.

ALL SETBACKS, PLOT RATIOS, LANDSCAPE AREAS,
CARPARKING NUMBERS & THE LIKE ARE SUBJECT TO LOCAL
AUTHORITY APPROVAL.

ALL SERVICES, LIGHTING, ETC ARE PRELIMINARY ONLY &
SUBJECT TO ENGINEER'S DESIGN.

ALL DOOR LOCATIONS ARE PRELIMINARY AND SUBJECT TO
SURVEYOR'S ASSESSMENT.

ALL TRAFFIC CONSIDERATIONS INCLUDING TRUCK TURNING
AND ACCESS/EGRESS ARE TO BE AS PER TRAFFIC ENGINEER'S
REPORT.

SURROUNDING ROAD DESIGN AND SITE ACCESS/EGRESSES IS TO
BE AS PER TRAFFIC ENGINEER'S DRAWINGS.

ALL REDUNDANT VEHICLE CROSSINGS SHALL BE REMOVED
AND REPLACED WITH KERB & CHANNEL.

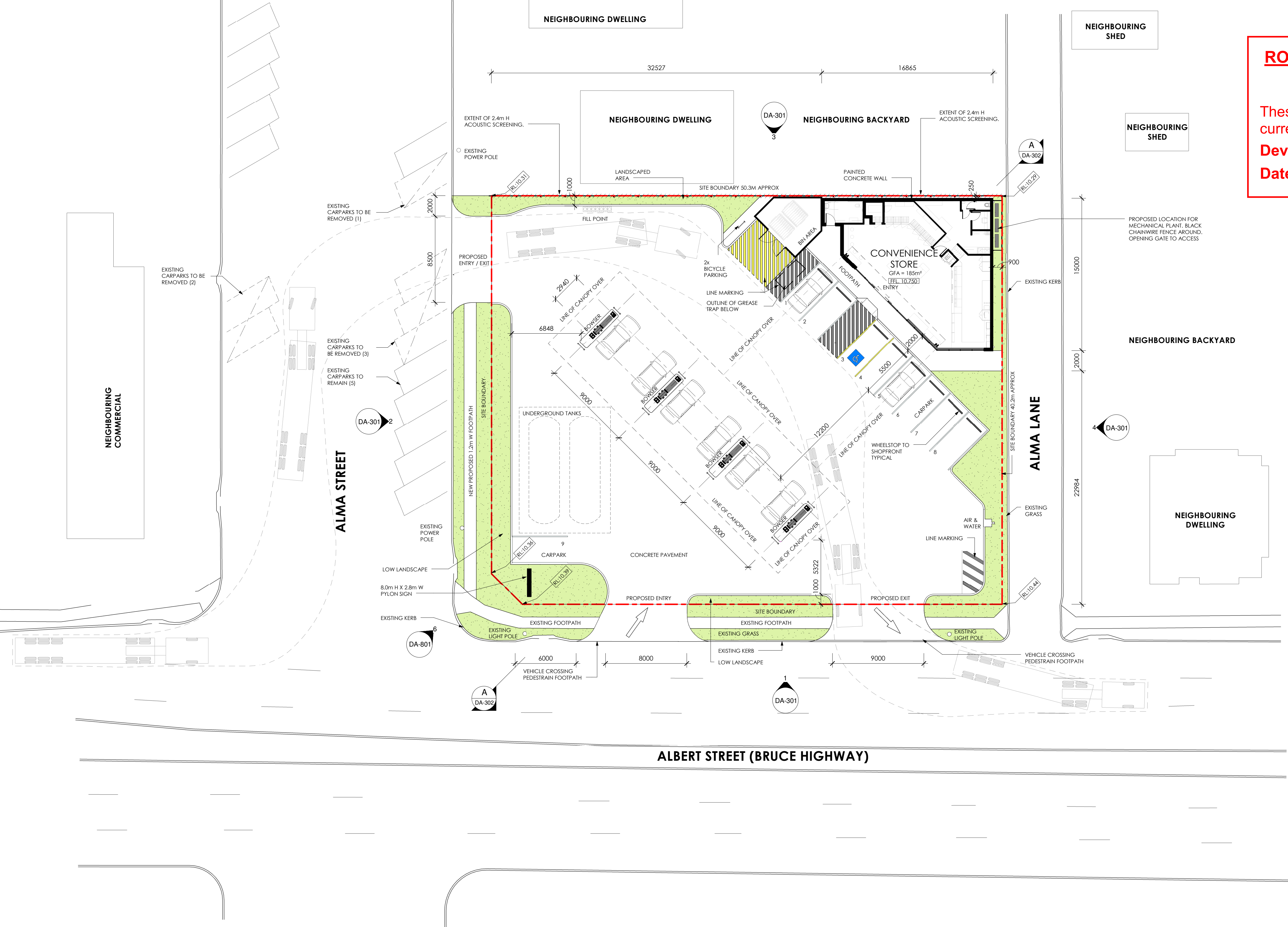
SITE AREA & CARPARK

SUBJECT SITE AREA:	2018 m ²
TOTAL BUILDING AREA:	183 m ²
TOTAL PAVEMENT:	1517 m ²
CAR SPACES:	9 CS
CAR PARK RATIO:	1 CS / 20.3m ²
BICYCLE SPACES:	2

NOTE:
TOTAL OF 6 CAR SPACES REMOVED OUTSIDE OF
SUBJECT SITES BOUNDARY.

SITE PLAN

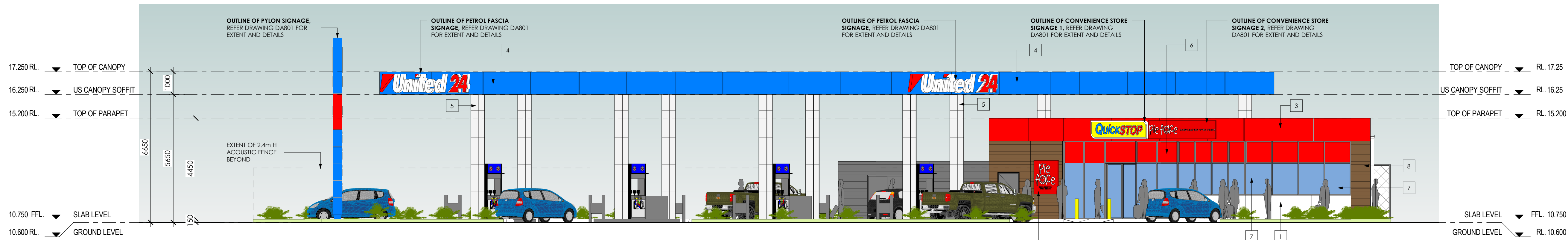
LEFFLER SIMES ARCHITECTS



1 PROPOSED SITE PLAN

Scale: 1:200



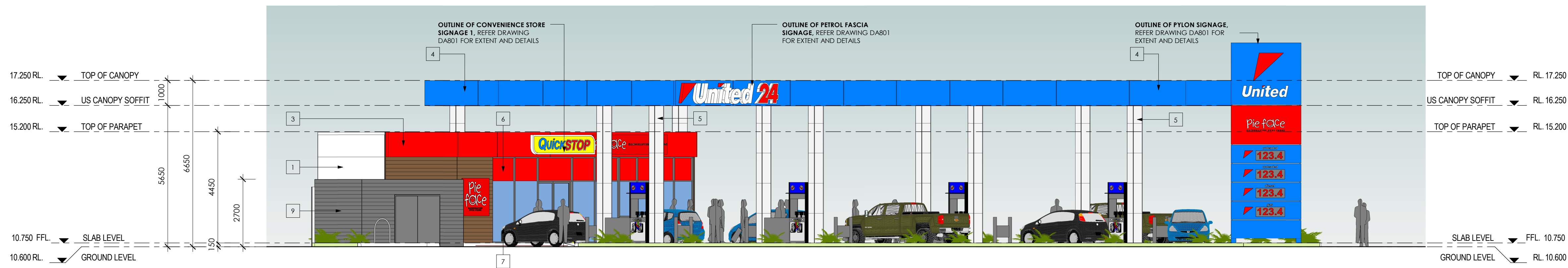


1 NORTH WEST ELEVATION - ALBERT STREET
DA-102 Scale: 1 : 100

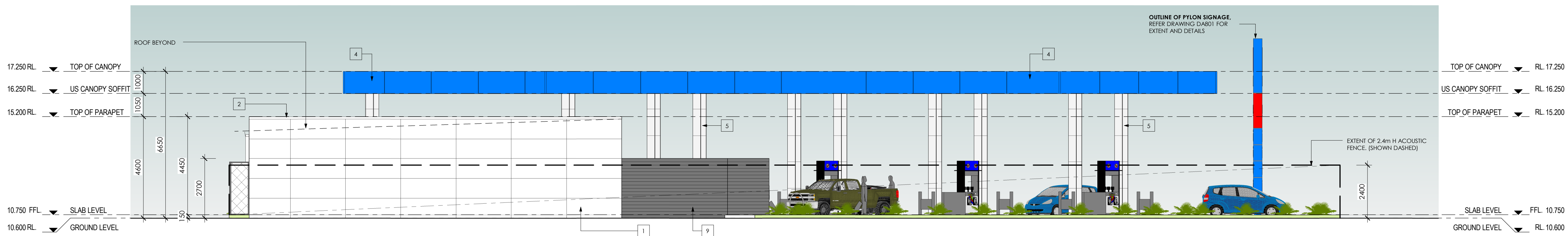
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green building council australia MEMBER
ISSUE A
AMENDMENT
DATE 13.09.17
CHK'D SJE

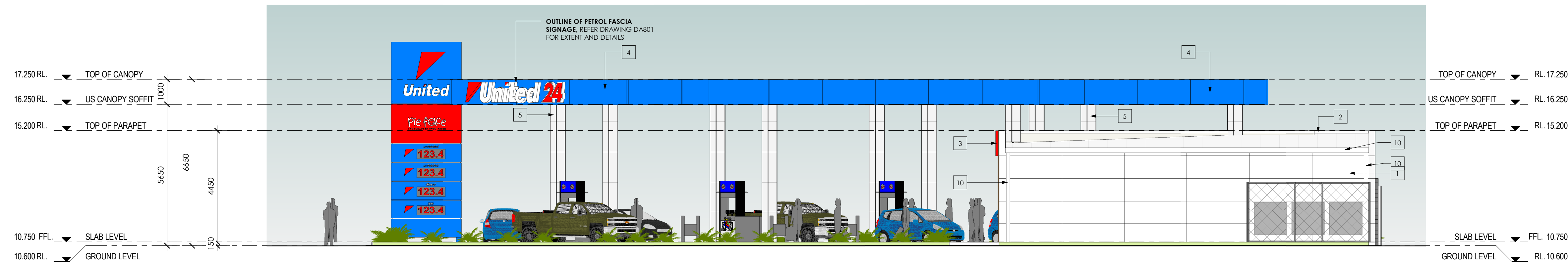
EXTERNAL FINISHES	
CODE	DESCRIPTION
1	CONCRETE PANEL WITH GROOVES. PAINTED COLOUR (DULUX - VIVID WHITE)
2	POWDERCOATED METAL CAPPING COLOUR (WHITE TO MATCH WALL)
3	COMPOSITE METAL PANEL COLOUR (ALUCOBOND UNITED RED)
4	COMPOSITE METAL PANEL COLOUR (ALUCOBOND UNITED BLUE)
5	COMPOSITE METAL PANEL COLOUR (ALUCOBOND UNITED WHITE CLADDING)
6	COLOUR-BACK GLAZING FINISH (RED TO MATCH METAL PANEL)
7	POWDERCOATED ALUMINIUM WITH CLEAR GLAZING (BLACK POWDERCOAT)
8	HORIZONTAL ALUMINIUM CLADDING (NATURAL TEAK)
9	METAL SLATS
10	POWDERCOATED METAL GUTTER & DOWNPIPE COLOUR (WHITE TO MATCH WALL)



2 NORTH EAST ELEVATION - ALMA STREET
DA-102 Scale: 1 : 100



3 SOUTH EAST ELEVATION
DA-102 Scale: 1 : 100



4 SOUTH WEST ELEVATION- ALMA LANE
DA-102 Scale: 1 : 100

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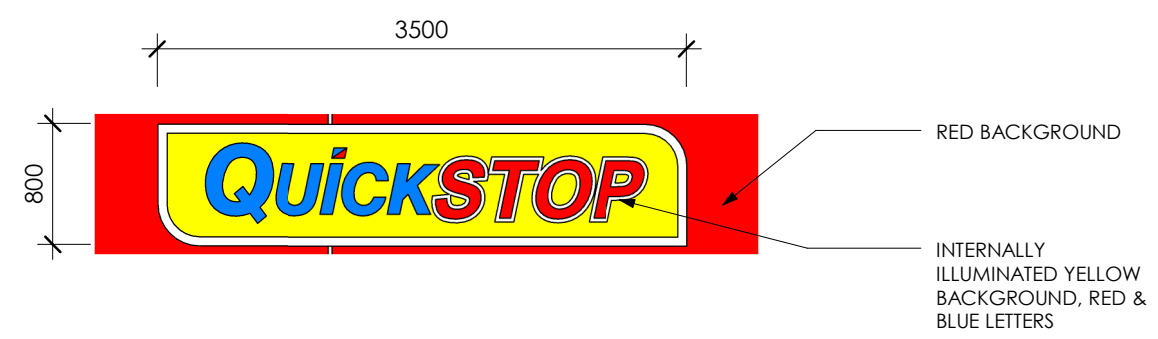
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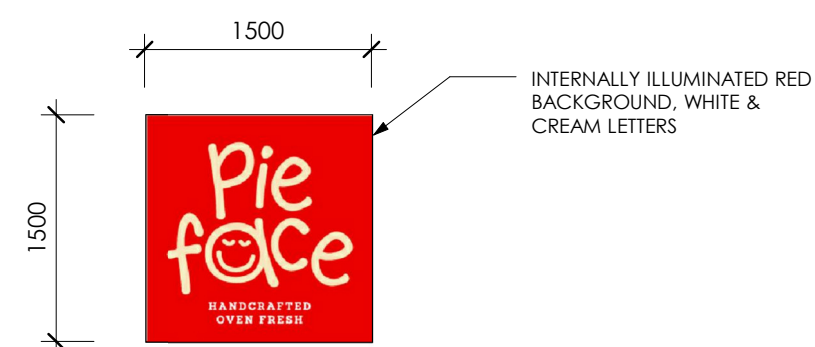
3 SIGNAGE ELEVATION - PETROL FASCIA SIGNAGE
Scale: 1 : 50



4 SIGNAGE ELEVATION - CONVENIENCE STORE SIGNAGE 1
Scale: 1 : 50



5 SIGNAGE ELEVATION - CONVENIENCE STORE SIGNAGE 2
Scale: 1 : 50



6 SIGNAGE ELEVATION - CONVENIENCE STORE SIGNAGE 3
Scale: 1 : 50

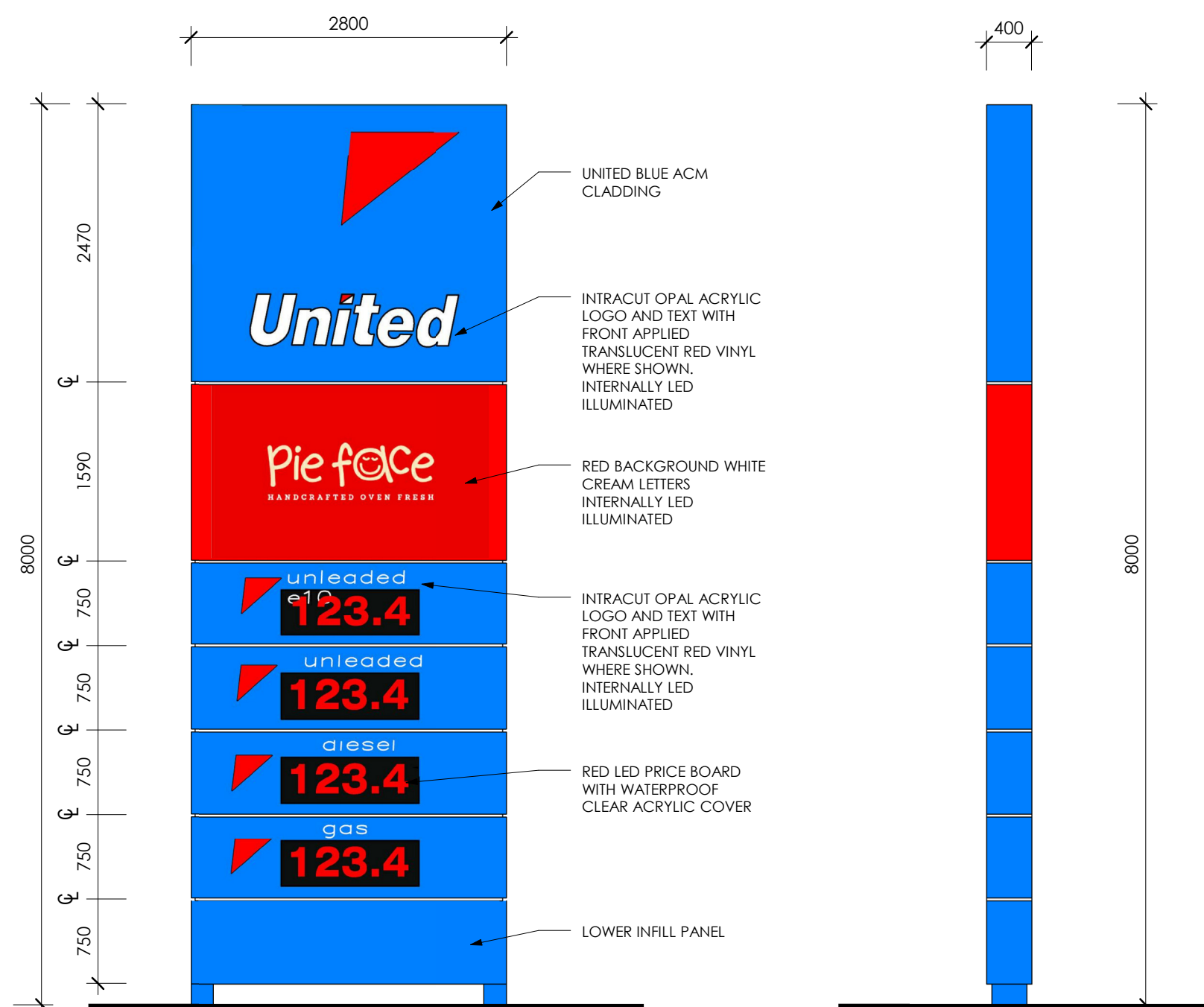
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1 SIGNAGE ELEVATION 1 - PYLON
Scale: 1 : 50

2 SIGNAGE ELEVATION 2 - PYLON
Scale: 1 : 50

