

# PUBLIC NOTIFICATION



<b>Approval Sought:</b>	Material Change of Use
<b>Proposed Development:</b>	Dual Occupancy
<b>Where:</b>	26 Berserker Street, Berserker
<b>Lot Description:</b>	Lot 31 on RP600722
<b>Application Reference:</b>	D/82-2025

**Make a submission from:**

**31 July 2025 to 21 August 2025**

**You may make a submission to Rockhampton Regional Council**

PO BOX 1860, Rockhampton QLD 4700

Email: [enquiries@rrc.qld.gov.au](mailto:enquiries@rrc.qld.gov.au)

Phone: 07 4932 9000 or 1300 22 55 77

[Click here to view the 'Guide to public notification of development and change applications'](#)

For more information on planning requirements within the Rockhampton Region feel free to visit [www.rrc.qld.gov.au](http://www.rrc.qld.gov.au)



# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	DC House C/- HPC Planning
Contact name (only applicable for companies)	Todd Grubb
Postal address (P.O. Box or street address)	Level 12/126 Margaret Street
Suburb	Brisbane
State	QLD
Postcode	4000
Country	Australia
Contact number	07 3217 5800
Email address (non-mandatory)	<a href="mailto:todd.g@hpcplanning.com.au">todd.g@hpcplanning.com.au</a>
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

### 1.1) Home-based business

☐ Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- ☒ Yes – the written consent of the owner(s) is attached to this development application  
☐ No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		26	Berserker Street	Berserker
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4701	31	RP600722	Rockhampton Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

#### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Dual Occupancy

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application



**6.3) Additional aspects of development**

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

**6.4) Is the application for State facilitated development?**

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Dual Occupancy	<p>a) means a residential use of premises for two households involving—</p> <p>i. 2 dwellings (whether attached or detached) on a single lot, or 2 dwellings (whether attached or detached) on separate lots that share a common property; and</p> <p>ii. any domestic outbuilding associated with the dwellings; but</p> <p>b) does not include a residential use of premises that involves a secondary dwelling.</p>		

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- ☒ Yes
- ☐ No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

**10) Subdivision****10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

**10.2) Will the subdivision be staged?**

- ☐ Yes – provide additional details below  
☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment****12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?****13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**  
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work****Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- |  |                                     |  |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work                     | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure  |
| <input type="checkbox"/> Drainage work                 | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping                   | <input type="checkbox"/> Signage    | <input type="checkbox"/> Clearing vegetation   |
| <input type="checkbox"/> Other – please specify: _____ |                                     |  |

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**☐ Yes – specify number of new lots: \_\_\_\_\_☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use



Queensland  
Government

- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity
- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

**18) Has any referral agency provided a referral response for this development application?**

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

### 23) Further legislative requirements

#### **Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

#### **Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

#### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

#### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

#### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.



### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title

☒ No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:		Place ID:	
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### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

## 25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

**Note:** For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

# TOWN PLANNING REPORT

Development Permit for Material Change  
of Use for Dual Occupancy

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26 Berserker Street, Berserker QLD 4701

Lot 31 on RP600722

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June 2025



## HPC Planning

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Prepared by **HPC Planning**

Reference 24283

### Document Control

Rev	Date	File	Author	Reviewer	Status
01	14/06/2025	DA Report	TG	BM	Final

## Application Overview

Site and Application Details	
Address	26 Berserker Street, Berserker QLD 4701 Lot 31 on RP600722
Site Area	1,012m <sup>2</sup>
Local Authority	Rockhampton Regional Council
Local Authority Zoning	Low Density Residential Zone (Residential Stables Precinct)
Existing Use	Dwelling House
Application Details	Development Permit for Material Change of Use for Dual Occupancy
Level of Assessment	Impact Assessment
Referral Agencies	Not Applicable
Applicant Details	DC House C/- HPC Planning Level 12, 126 Margaret Street, Brisbane QLD 4000 Contact: Todd Grubb Phone: (07) 3217 5800 Email: Todd.G@hpcplanning.com.au Web: <a href="http://www.hpcplanning.com.au">www.hpcplanning.com.au</a>
Land Owner	Nicholson Hodgkinson Holdings Pty Limited (A.C.N. 665 290 184) Trustee Under Instrument 723236434

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Appendix B:	Flood Statement	Maloney and Sons
Appendix C:	Swept Paths and Turning Movements	Site Traffic
Appendix D:	Code Compliance Statements	HPC Planning
Appendix E:	Land Title Search	
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# 1 Introduction

## 1.1 Overview

HPC Planning (HPC) have been engaged by DC House (“the Applicant”) to prepare and lodge a development application seeking a Development Permit for Material Change of Use for Dual Occupancy over 26 Berserker Street, Berserker QLD 4701, described as Lot 31 on RP600722 (“the subject site”).

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This town planning report provides context to the proposed development by describing the subject site and surrounding locality. Second, the report provides an assessment of the proposal against the applicable statutory planning instruments, which demonstrates the acceptability of the proposal.

## 1.2 Summary of Proposals

The site is a rectangular shaped lot with a frontage of 20.26m to Berserker Street. The subject site is currently improved with a detached Dwelling House, situated at the front part of the site. The proposal involves establishing a Dual Occupancy over the subject site, to be sited at the rear of the property. Development specifically comprises of the following components:

- Construction of Dual Occupancy with a total GFA of 70m<sup>2</sup>;
- A construction of a single open carport (3m x 6m) to provide one (1) covered car parking space for the proposed Dual Occupancy; and
- New access driveway (3m wide) to provide a lawful access to the proposed Dual Occupancy.

As demonstrated in the town planning report the proposed development meets the necessary built form requirements of the Planning Scheme including compliance with required outcomes for building height, site cover, and GFA. The proposal is of a low impact nature and consequently does not present any significant issues for assessment and warrants Council support.

## 1.3 Legislative Framework

Under the *Rockhampton Region Planning Scheme 2015 (Version 5)* (“Planning Scheme”), the subject site is included within the Low Density Residential Zone (Residential Stables Precinct). The proposal is subject to Impact Assessment, and does not trigger referral to any external or State agencies.

The subject site is identified within the following overlays:

- Acid Sulfate Soils Overlay
  - Above 5m and below 20m AHD
- Airport Overlay
  - OLS (Up to 30m above Ground Level)
  - Wildlife Hazard Buffer Zones (8km Buffer)
  - Light Restriction Zone (6km Buffer)
- Bicycle Network Overlay
  - Major Urban Onroad Routes
- Flood Hazard Overlay
  - Local Catchment Flood (Fitzroy River DFE)
  - Creek Catchment Flood Planning Area 2
  - North Rockhampton Flood Management Area
- Road Hierarchy Overlay
  - Major Urban Collector
- Property is within Sewer Supply Planning Area
- Property is within Water Supply Planning Area
- Rockhampton Defined Storm Tide Event Level Overlay
  - Medium Storm Surge Potential

## 1.4 Supporting Information

This town planning report should be read in conjunction and considered with the following supporting documentation:

- Appendix A: Proposal Plans
- Appendix B: Flood Statement
- Appendix C: Vehicle Swept Paths and Turning Movements

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All relevant supporting information has been provided for the development application to be considered Properly Made.

## 1.5 Recommendation

This independent town planning report, coupled with the supporting documentation demonstrates that the proposed development is an appropriate outcome for the site, generally accords with the relevant provisions of the Planning Scheme and will not prejudice the development potential of adjoining lots. As such, the application is recommended for approval, subject to reasonable and relevant conditions.



## 2 Site and Surrounding Development

### 2.1 Property Description

The site is comprised of a singular allotment as follows:

Street Address	RP Description	Zoning	Site Area
26 Berserker Street, Berserker QLD 4701	Lot 31 on RP600722	Low Density Residential Zone (Residential Stables Precinct)	1,018m <sup>2</sup>

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**Table 1: Site details**

### 2.2 The Site

The subject site is located within the northern Rockhampton suburb of Berserker, a well-established residential neighbourhood. The site is approximately 3km north-east of Rockhampton City, 7km east of Rockhampton Airport, and in close proximity to higher order roads such as the Bruce Highway and Lakes Creek Road. The subject site is identified within the Low Density Residential Zone (Residential Stables Precinct) pursuant to the Planning Scheme.

The site is a rectangular shaped lot and has a frontage of approximately 20m to Berserker Street. The subject site is currently improved with a two-storey Dwelling House, located centrally within the property. Access to the site is gained via two existing vehicle crossings and driveways from Berserker Street.

Figure 1 below shows the context of the site in relation to the immediate surrounding area, while Figure 2 shows the City Plan's zoning of the land.



**Figure 1: Aerial view of the subject site**

**Source: NearMap**

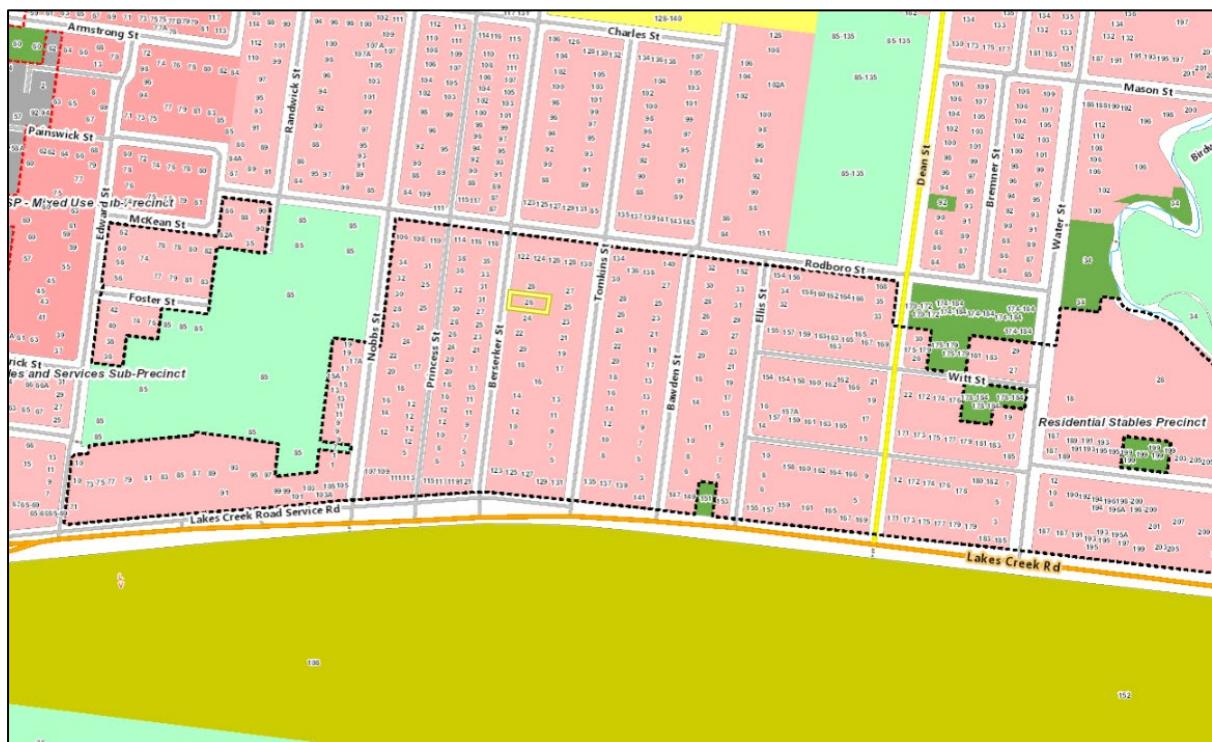
## 2.3 Surrounding Development

Low Density Residential Zone covers the general catchment within the immediate surrounding area. Consequently, the surrounding area predominately comprises of Dwelling House developments. More detailed context of the immediate surrounding area is summarised as follows (Refer to Figure 2):

<b>North</b>	Located to the north of the subject site are primarily detached Dwelling Houses located on freehold lots. The land uses continue until reaching Community Facilities in the form of Berserker State School, St Mary's Catholic Primary School, Rockhampton Northside Library, and commercial sites along Elphinstone Street.
<b>East</b>	Adjoining the site to the east is land zoned as the Low Density Residential Zone comprised of Dwelling House developments. These uses continue until reaching outdoor sport and recreation areas at Birdwood Park, as well as industrial and commercial activities located along Thozet Road.
<b>South</b>	Adjoining the site to the south is a Dwelling House located within the Low Density Residential Zone. Further south is a combination of Dwelling Houses and commercial land use activities along Lakes Creek Road. The Rockhampton racecourse is seen beyond this.
<b>West</b>	Across Berserker Street to the west is a commercial building which is purposed as a skin clinic and food and drink outlet. Beyond this is a combination of Dwelling Houses, Elizabeth Park, and commercial activities along Musgrave Street.

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**Table 2: Surrounding development**



**Figure 2: Surrounding zones**

Source: Planning Scheme 2015

## 2.4 Easements

The subject site is not encumbered by any easements.



## 2.5 Urban Infrastructure

The subject site can be adequately serviced by all necessary infrastructure, including sewerage, water, electricity, and telecommunications. Connections to these services will be established in accordance with all relevant council standards/requirements. Rockhampton's Infrastructure Assets Map is excerpted in Figure 3.

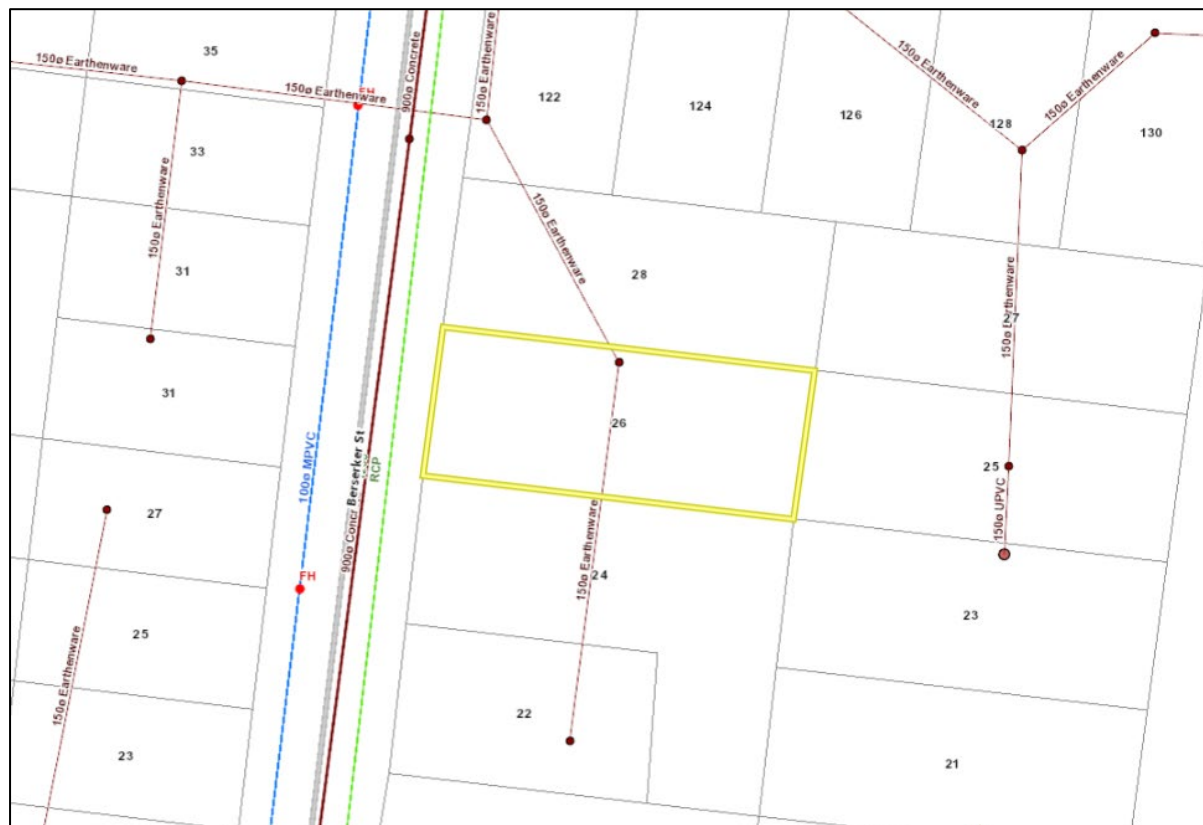


Figure 3: Infrastructure Mapping

Source: RCC Interactive Mapping

## 2.6 Significant Vegetation

The site is void of significant vegetation, being mapped outside the Biodiversity Overlay of the Planning Scheme and relevant state (DAMS/SPP) biodiversity mapping. No significant adverse ecological impacts are therefore anticipated as a result of establishing the proposed Dual Occupancy.

## 2.7 Site History

As per Rockhampton Regional Council's "Track a Development Application" Search, there is one prior application recorded against the subject site. This is not relevant to the proposed works:

Application Reference	Description	Status
B/1032-2020-PC	Private Certifier Applications – Replace Roof Cladding of Dwelling	Work Completed (Lodged: 22/07/2020)

Table 3: Existing Approvals

## 2.8 Site Photographs

The subject site is improved with a detached Dwelling House, as depicted in Figure 4-5 below.



**Figure 4: Subject site as viewed from Berserker Street (North-West) Source: Google Streetview**



**Figure 5: Subject site as viewed from Berserker Street (South-West) Source: Google Streetview**

## 3 Proposed Development

### 3.1 Application Details

This application seeks a Development Permit for Material Change of Use for Dual Occupancy over 26 Berserker Street, Berserker QLD 4701, described as Lot 31 on RP600722.

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### 3.2 Proposal Overview

The proposal is for a construction of Dual Occupancy over the subject site, located at the rear of the site. The proposal also involves construction of a single open carport and a new access driveway off Berserker Street to provide a lawful access to the proposed Dual Occupancy. The proposed GFA of the proposed Dual Occupancy is approximately 70m<sup>2</sup>. Each dwelling's exclusive use areas (e.g. private open space, landscaping) are clearly delineated through fencing across the site.

The proposed Dual Occupancy comprises of an open plan kitchen / dining / lounge area, two (2) bedrooms, a bathroom, living area and ensuite. Externally, the proposal provides a small deck/verandah, accessed off lounge / dining area. The building will be constructed using lightweight materials, blending with the existing dwelling on the site as well as the surrounding area (Figure 6). Access to the proposed Dual Occupancy will be via the proposed new access driveway off Berserker Street. The site provides a total of four (4) on-site car parking spaces, which comply with carparking requirement stipulated within the Works Code. Residential amenity and privacy will also be maintained for the local area, through the adoption of appropriate setbacks and siting.

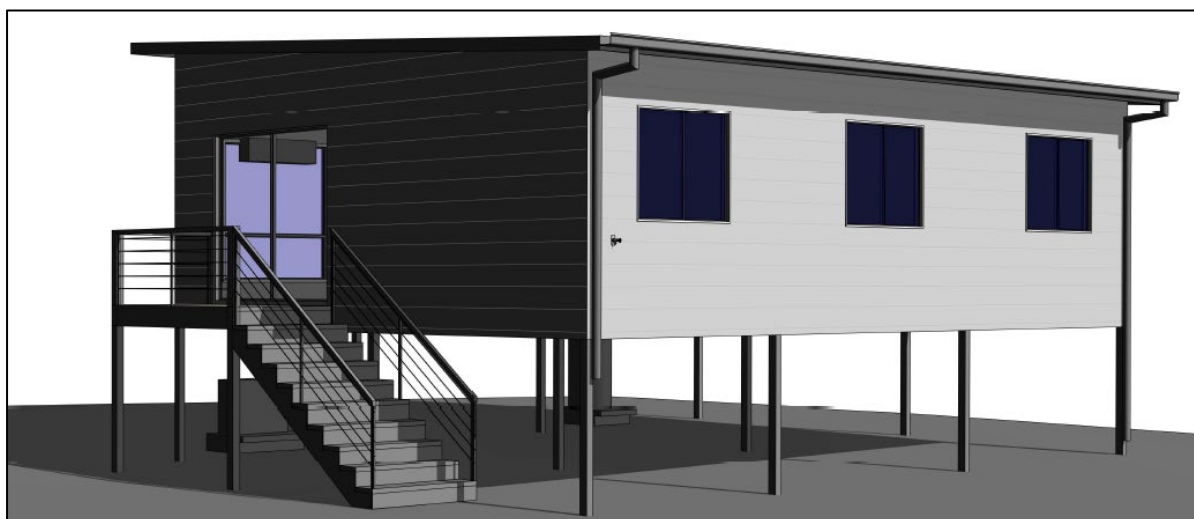


Figure 6: Perspective of proposed Dual Occupancy

Source: Appendix A

### 3.3 Key Development Data

Total Site Area	1,012m <sup>2</sup>	
Development Considerations	Requirement	Provision
Minimum Site Area	600m <sup>2</sup>	1,081m <sup>2</sup>
Minimum Frontage	20m	20.26m
Car Parking	2 Spaces (1 Covered) Per Dwelling	4 Spaces (2 Covered)
Site Coverage	50%	18%
Building Height	2 storeys / 8.5m	1 storey / 5.35m
Private Open Space	Ground level dwellings: 30m <sup>2</sup> + Minimum dimension of 4m x 4m	Over 30m <sup>2</sup> Per Dwelling Minimum dimension of at least 4m x 4m

Table 4: Development data



## 4 State Assessment Framework

This section of the report explains the applicable components of the statutory town planning framework and its relevance to the proposed development.

### 4.1 Planning Act 2016

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The *Planning Act 2016* ("the Act") is the governing piece of legislation that regulates development within Queensland. The Act seeks to provide for an efficient, effective, transparent, integrated, coordinated and accountable system of land use planning and development assessment to facilitate the achievement of ecological sustainability. Chapter 3 of the Act and the *Development Assessment Rules 2017* set the framework and processes for integrating State and Local Government development assessment. Relevant parts of the Act are addressed below, including referral agency assessment and public notification, are addressed below.

#### 4.1.1 Impact Assessment

Section 44(3) of the Act prescribes that a development approval is required to carry out assessable development, as declared under the categorising instrument. In this instance, Impact Assessment development application is required to be made to the assessment manager to acquire the necessary development approvals.

#### 4.1.2 Public Notification

According to Section 53 of the Act, public notification is required for a development application which is subject to Impact Assessment or includes a variation request. As the development application requires Impact Assessment, public notification is required to be conducted in accordance with Part 4 of the *Development Assessment Rules 2017*, for fifteen (15) business days.

#### 4.1.3 Referral Agencies

Under the Act and *Planning Regulation 2017* (the Regulation) various components of development applications trigger referral of the application to external Referral Agencies. Section 56 of the Act prescribes the powers granted to referral agencies, which include the ability to request additional information and to direct the assessment manager to approve development, impose conditions, or refuse the application. The Regulation identifies where a referral agencies assessment powers are limited to the provision of advice only.

The Department of State Development, Infrastructure and Planning is the single lodgement and assessment point for all applications where the state has jurisdiction under the Act and the Regulation.

Potential referral triggers have been mapped using the Development Assessment Mapping System (DAMS), which includes SARA mapping, as depicted in Figure 7 below. As per the SARA mapping system, the site is subject to the following matters of interest:

- **Water Resources** – Water resource planning area boundaries

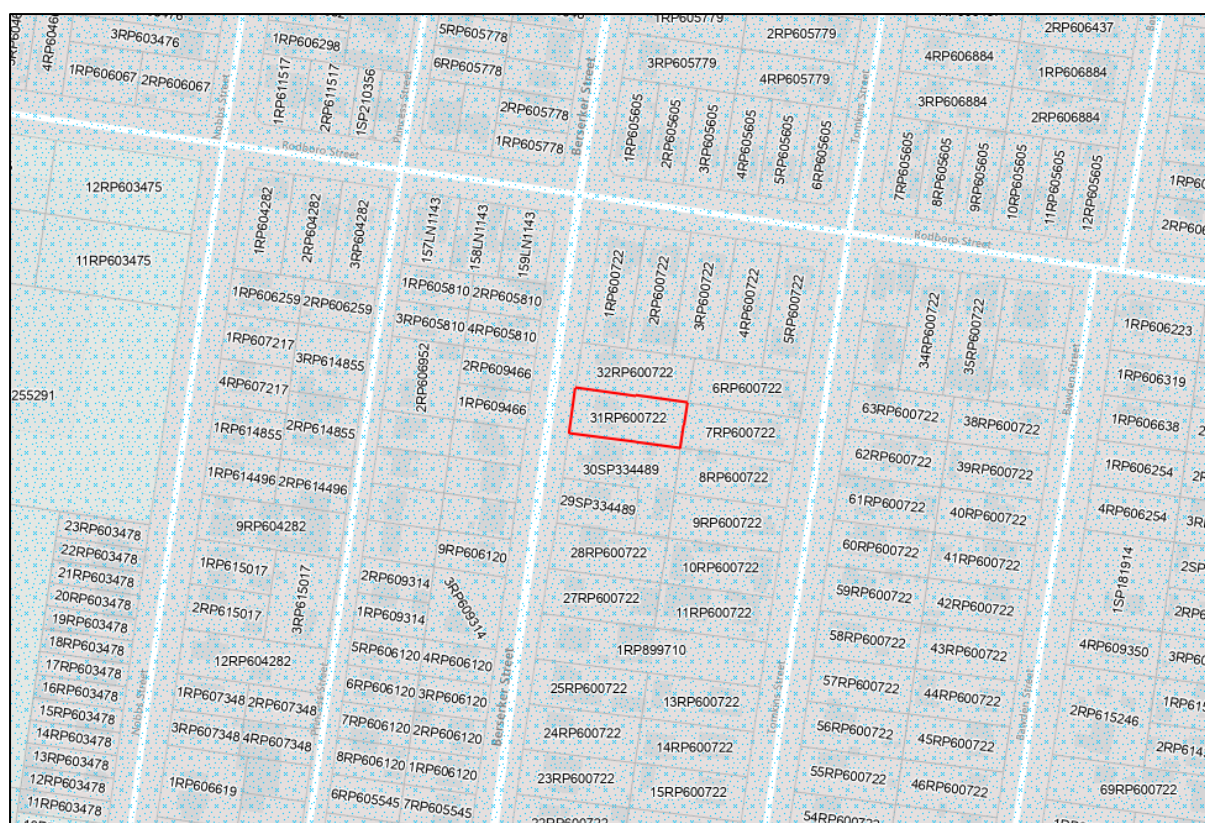


Figure 7: SARA mapping

Source: DAMS

Schedule 10 of the Regulation identifies where development requires referral agency assessment under the Act. Assessment against Schedule 10 confirms where the above identified matters of interest require referral of this development application.

Referral trigger	Referral?	Comment
Water related development	NO	The development does not involve taking or interfering with surface water or groundwater.

Table 5: Schedule 10 referral triggers

Source: Planning Regulation 2017

#### 4.1.4 State Development Assessment Provisions

The State Development Assessment Provisions (SDAP) provide assessment benchmarks for development applications requiring referral to the chief executive (SARA). This development application does not require referral to the chief executive (SARA), therefore the SDAP does not apply to this development application.

#### **4.1.5 State Planning Policy**

The State Planning Policy (SPP), adopted on 3 July 2017, is a State planning instrument made by the Minister under section 10 of the Act. The SPP defines the Queensland Government's policies about matters of state interest in land use planning and development. The State Planning Policy (SPP) is a key component of Queensland's land use planning system, which enables development, protects the natural environment and allows communities to grow and prosper.

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Pursuant to section 26 of the Regulation, an assessment manager must have regard to the SPP to the extent that part E of the SPP is not adequately reflected in the planning scheme. The SPP is identified as being appropriately reflected within the *Rockhampton Region Planning Scheme 2015 (Version 5)*. Accordingly, the State interest policies and assessment benchmarks of the SPP (Part E) are not applicable to the assessment of this application.

#### **4.1.6 Central Queensland Regional Plan 2013**

The Central Queensland Regional Plan 2013 (the plan) is one of the Queensland Government's statutory plans for the region of Central Queensland. The plan provides strategic direction and policies to deliver regional outcomes which align with State's interest in planning and development. The proposed development is situated within the Rockhampton Regional Council, identified as one of two largest centres within the region. The proposed development (Dual Occupancy) will increase housing choice and diversity of housing within the region which is deemed desirable under the plan.



## 5 Local Assessment Framework

### 5.1 Rockhampton Region Planning Scheme 2015

The *Rockhampton Region Planning Scheme 2015 (Version 5)* ("Planning Scheme") is the relevant local planning instrument for assessing this development application. The following sections of the town planning report evaluate the proposed development against the relevant provisions of the Planning Scheme.

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### 5.2 Land Use Definition

The Planning Scheme defines **Dual Occupancy** as:

1. means a residential use of premises for two households involving—
  1. 2 dwellings (whether attached or detached) on a single lot, or 2 dwellings (whether attached or detached) on separate lots that share a common property; and
  2. any domestic outbuilding associated with the dwellings; but
2. does not include a residential use of premises that involves a secondary dwelling.

The proposal is for a new detached dwelling in addition to the existing dwelling on the lot, each being functional and independent. Therefore, the proposal aligns with the definition of Dual Occupancy as per the above definitions.

### 5.3 Categories of Assessment

In accordance with Table 5.4.1.1.2 of the Planning Scheme, when located within the Low Density Residential Zone (Residential Stables Precinct), a Material Change of Use for Dual Occupancy is an unlisted land use. Accordingly, Impact Assessment is automatically required for the proposal due to being for an unlisted land use.

### 5.4 Strategic Framework

The proposal has been assessed against the Strategic Framework of the *Rockhampton Region Planning Scheme 2015* to confirm that the development is appropriate with regard to the policy direction of *Rockhampton Regional Council*.

Strategic Theme	Element	Proposal Compliance
3.3 – Settlement Pattern	3.3.3 – Nature Conservation, Open Space and Natural Corridor or Link 3.3.4 – Townships 3.3.5 – Rural Residential 3.3.6 – Rural 3.3.7 – Industrial (Existing, New, Future) 3.3.8 – Urban and New Urban 3.3.9 – Future Urban 3.3.10 – Urban Infill and Intensification 3.3.11 – Centres 3.3.12 – Specialised Centres 3.3.13 – Specific Use	The proposal is located within the Urban area and offers a compact and efficient use of land through consolidation, which optimises the delivery of infrastructure and services to the residential land use. The proposal also offers a unique and higher density housing choice, which is located in close proximity to many services and infrastructure, ensuring the public and active transport is more convenient and viable for Rockhampton residents. The proposed works are consistent with the built character anticipated for the zone and local urban area, comprising a small-scale detached housing development oriented towards Berserker Street.

Strategic Theme	Element	Proposal Compliance
3.4 – Natural Environment and Hazards	<p>3.4.2 – Areas of Environmental Significance</p> <p>3.4.3 – Natural Hazards and Climate Change</p> <p>3.4.4 – Coastal Environment</p> <p>3.4.5 – Water Resources, Catchment Management and Healthy Waters</p> <p>3.4.6 – Landscape and Scenic Amenities</p> <p>3.4.7 – Air, Noise and Hazardous Materials</p> <p>3.4.8 – Waste</p>	<p>The proposal is largely unimpacted by natural hazards, pursuant to the Planning Scheme mapping (except for the Flood Hazard Overlay). Notwithstanding, the proposal generally complies with the provisions of the overlay code, and is therefore compatible with the strategic intent of the scheme.</p>
3.5 – Community Identity and Diversity	<p>3.5.2 – Housing Diversity, Safe Communities and Equitable Access</p> <p>3.5.3 – Community Identity</p> <p>3.5.4 – Heritage and Character</p> <p>3.5.5 – Sport and Recreation and Open Space</p> <p>3.5.6 – Social, Arts and Cultural Infrastructure.</p>	<p>The proposal directly contributes to housing diversity within the region by introducing a higher-density residential use on a freehold lot. The proposed Dual Occupancy is well located, with convenient access to infrastructure, centres, and community facilities. The proposal offers a diverse housing option that is well connected, supporting community health and wellbeing.</p>
3.6 – Access and Mobility	<p>3.6.2 – Public and Active Transport</p> <p>3.6.3 – Road Network</p> <p>3.6.4 – Rail Network</p> <p>3.6.5 – Freight Network and Key Logistics Hub</p> <p>3.6.6 – Air Transport</p> <p>3.6.7 – Sea Transport</p>	<p>The proposal directly supports the strategic theme by promoting residential consolidation within a central, well-connected area. The proposed Dual Occupancy is located upon a higher order road, within walking distance of bus stops, parks, local shops, and other places of employment within Berserker. This creates development which is compatible with the existing transport network of the area, and which does not necessitate infrastructure upgrades to accommodate additional demand.</p>
3.7 – Infrastructure and Services	<p>3.7.2 – Inter-Regional Networks</p> <p>3.7.3 – Local Area networks</p>	<p>While the objectives of the Infrastructure and Services theme are not directly applicable to the proposed Dual Occupancy, the proposal remains compatible with the theme. The works have minimal impact onto the existing infrastructure and services provisions within the surrounding area.</p>
3.8 – Natural Resources and Economic Development	<p>3.8.2 – Protection of Key Assets</p> <p>3.8.3 – Industrial Development</p> <p>3.8.4 – Rural Land</p> <p>3.8.5 – Extractive and Mineral Resources</p> <p>3.8.6 – Forestry</p> <p>3.8.7 – Marine Resources</p> <p>3.8.8 – Tourism</p>	<p>The objectives of the Natural Resources and Economic Development theme are not directly applicable to the proposed Dual Occupancy. . Notwithstanding, the proposal remains compatible with the theme, as it ensures that key economic assets are protected from the encroachment of incompatible development.</p>

**Table 6: Strategic framework assessment**

## 5.4.1 Strategic Framework – Detailed Assessment

### 3.3 – Settlement Pattern

#### Strategic Outcomes

4. *Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.*

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#### Element – Urban and New Urban

6. *Housing other than dwelling houses are located on lots with particular attributes, like corner lots, lots with rear lane access, and lots located on higher order roads and with convenient walking distance to centres, parks and major community facilities or public transport.*
17. *The residential stables precinct will continue to be a suitable location for the stabling of horses within proximity to Callaghan Park, provided that impacts upon surrounding sensitive land uses are mitigated.*

The property is identified as “urban” pursuant to section 3.3.2 of the Planning Scheme. Accordingly, the proposal seeks to establish a Dual Occupancy upon a freehold lot currently utilised as a Dwelling House. This ensures the efficient use of land in an established area containing fully developed services and infrastructure (not requiring further upgrades), and enables a strong and attractive neighbourhood through the proposed built form and siting. Given the natural constraints which limit the outward expansion of Rockhampton (e.g. Fitzroy River Flooding, Mount Archer topography and ecology), this is considered an attractive infill development opportunity within the Rockhampton LGA, compatible with council’s strategic outcomes for the Settlement Pattern.

The proposal is located on Berserker Street, designated as a Major Urban Collector pursuant to the Road Hierarchy Overlay. Being located within close walking distance of several surrounding parks, schools, community uses, centre uses, and bus stops along Musgrave Street and Lakes Creek Road, the proposal is considered to provide residential housing (other than Dwelling Houses) upon an allotment with particular attributes per Element 6 of the “Urban and New Urban” theme.

While not providing for Animal Keeping or any related land use, the proposed Dual Occupancy does not compromise the site’s ability to be used for these activities in the future, and does not effect any surrounding allotments currently used for these land uses. The proposal is a low impact residential Dual Occupancy development, which does not cause any significant radial detriments or impacts onto the likes of horse stables. Retaining a significant area of Private Open Space upon the property, Animal Keeping can also be implemented upon the property at a future date if desired (located between the two dwellings). It is noted that the Residential Stables Precinct occupies a very significant area of eastern Rockhampton’s Low Density Residential Zone, measuring at over 500,000m<sup>2</sup> in total area. A significant majority of the allotments within this precinct are not used for animal keeping activities, and are only purposed for residential land uses (e.g. Dwelling Houses). The footprint of the Residential Stables Precinct is therefore considered excessive in relation to the Animal Keeping land use demand for the region. Accordingly, the proposal will not limit horse stabling activities within proximity of the Rockhampton Racecourse, as a vast number of vacant/Dwelling House allotments are retained for these activities if needed in the future.

### 3.5 – Community Identity and Diversity

#### Element – Housing Diversity, Safe Communities and Equitable Access

1. *Development contributes to and enhances housing choice, affordability and access to services and meets the needs of a diverse population with changing needs.*
2. *Residential development provides for a range of housing types that recognise a range of income levels, the changing household demographic and physical needs of residents during their lifetime. This is achieved by providing:*
  - (a) *dwelling in a range of sizes to maximise choice and affordability across the community;*
  - (b) *adaptable accommodation to suit the needs of residents throughout their lifetime without the need for major adaptation or specialised design; and*
  - (c) *a dwelling mix that allows residents to remain living in their preferred community as they age (ageing in place).*

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The Rockhampton Local Government Area is primarily comprised of Dwelling Houses located upon large freehold allotments, with minimal higher intensity residential uses seen across the City (e.g. Dual Occupancies, Multiple Dwellings, Rooming Accommodation, etc.). Furthermore, these dwellings are commonly comprised of large Gross Floor Areas and a high number of bedrooms, with a lack of smaller residential land uses present. As a result, the region lacks affordable housing options for residents, which alienate lower-income residents from entering the property market. This is further exacerbated by the significant inflation of residential property prices currently occurring across the region and Queensland, as median sale prices now exceed \$425,000 for the LGA (See Figure 8). The proposal resultingly seeks to establish a compact 2-bedroom Dual Occupancy, which is connected to all necessary services and infrastructure, and contains a total Gross Floor Area of only 70m<sup>2</sup>. Accordingly, the proposal seeks to offer a more affordable housing opportunity, which should not be subject to inflated prices associated with the corresponding land size. Also being for a small-scale dwelling in terms of Gross Floor Area and number of bedrooms, the proposal is anticipated to fulfill lower-income housing demand through its built form (which is currently lacking across the local government area).

The proposed Dual Occupancy design caters for a range of prospective tenants, with the 2-bedroom layout well suited for first home buyers, singles, elderly people, or small families. This will directly enable residents to remain living in their local community as they age, and will facilitate adaptable housing which does not require major adaptations for changing tenant needs or ages over time. Furthermore, the proposed dwelling configuration enables a greater range of housing choice, as compact dwellings are not commonly seen outside of apartment buildings within the surrounding area (which are attached, and void of landscaping and POS dedications).

House Median Sales – Data as of June 2024 Quarter						
Region	Quarterly Number of Sales	Quarterly Median Sales	Quarterly Change	Annual Number of Sales	Annual Median Sale	1 Year Change
Rockhampton LGA	463	\$475,000	9.20%	2,141	\$420,000	15.07%

Figure 8: Rockhampton Average House Price Data

Source: CoreLogic



### 3.6 – Access and Mobility

#### Element – Public and Active Transport

3. *Development contributes to the establishment and extension of safe, comfortable and convenient transport networks catering for pedestrians, cyclists, mobility scooters and the like. The networks link residential areas with centres, employment areas, community facilities, recreation and tourism areas, including the link between the principal centre and the major centre.*
5. *The transport network supports a progressive reduction in car dependency and the increasing use of public and active transport by the community. In particular, the safety and well-being of people who choose public and active transport will be a critical design criterion.*

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The Dual Occupancy is located centrally within the established suburb of Berserker. Accordingly, the proposed works are well connected to surrounding infrastructure, services, and centres servicing the City (see Figure 8 below). More specifically, the proposal is located within walking distance of Elizabeth Park, McLeod Park, Berserker Street State School, St Mary's Catholic Primary School, Rockhampton Northside Library, and various commercial uses along Musgrave Street, Lakes Creek Road, and Elphinstone Street. This development ensures that car dependency is minimised, as active transport methods can be utilised to access various recreation and employment opportunities in the local surrounding area. Furthermore, the Dual Occupancy is located approximately 500m from a bus stop along Lakes Creek Road, which enables access to Rockhampton City, Stockland Shopping Centre, and the greater region. Accordingly, the proposal is considered an appropriate infill development opportunity which enables effective travel without private motor vehicle use. Given the small scale nature of the proposed works, minimal impact onto the local road network is also anticipated by those who choose to utilise private motor vehicle travel. The proposed Dual Occupancy design retains significant area for street parking, and does not compromise any existing assets within the road reserve (e.g. footpaths, intersections).



**Figure 8: Surrounding Facilities and Services**

**Source: NearMap**

## 5.5 Assessment Benchmarks

While subject to impact assessment, the proposal is for a Dual Occupancy within the Low Density Residential Zone Code, which would ordinarily be accepted development subject to requirements. The following Planning Scheme codes are therefore considered applicable (or not applicable as discussed) to this application, being the relevant benchmarks for Dual Occupancies within the zone:

Code	Initial Response
<b>Use Codes</b>	
Low Density Residential Zone Code	<b>Complies.</b> Refer to the attached Code Compliance Statements (Appendix D).
<b>Secondary Codes</b>	
Works Code	<b>Complies.</b> Refer to the attached Code Compliance Statements (Appendix D).
<b>Overlay Codes</b>	
Airport Environs Overlay Code	<b>Complies.</b> Refer to the attached Code Compliance Statements (Appendix D).

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**Table 7: Assessment benchmarks**

## 5.6 Key Planning Considerations

The proposed development is responsive to the relevant constraints and issues encumbering the subject site and is consistent with the intent of the zone. Consequently, the proposal does not present any significant issues for assessment, however, the following planning and development considerations are discussed in more detail:

- Land Use
- Built Form
- Transport Network
- Development Engineering

### 5.6.1 Land Use

#### 5.6.1.1 Low Density Residential Zone

The subject site is located within the Low Density Residential Zone. The purpose of the zone is to:

- provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;*
- provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;*
- minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and*
- ensure that development within the zone has appropriate standards of infrastructure and essential services.*

The proposal supports the intent of the zone through a low-rise Dual Occupancy which maintains the local urban form and provides long-term residency options. The proposal provides for a mixture of residential land types in the zone, while maintaining surrounding amenity through appropriate setbacks, site cover, building height, carparking, landscaping, and provision of all relevant reticulated services available to the property. The proposal is not located nearby to any non-compatible land uses, and will not cause any land use conflict to the site.

While located within the Residential Stables Precinct, the proposal is located within an area primarily comprising Dwelling House developments, and provides for long-term residency options in a time-period of housing shortage throughout the region. The proposal seeks to retain a small-scale urban form, and will promote a land use which is generally compatible with the surrounding area (being a directly supported land use when located less than 100m to the north). The surrounding suburb of Berserker contains numerous Dual Occupancy developments located upon similarly sized lots, resulting in a built form outcome which is compatible in terms of appearance and scale for the subject site. Furthermore, the subject site is not currently utilised for any animal keeping activities or similar, meaning that the proposal does not compromise the intent of the precinct through removal of these land use activities. The proposed Dual Occupancy arrangement also allows future implementation of these activities as desired, given a significant open space area is proposed to be retained across the site.

## 5.6.2 Built Form

### 5.6.2.1 Design Intent

The proposed design provides a high standard of building design reflective of the suburban locality and residential amenity, commensurate to the scale and intensity of surrounding development anticipated within the Low Density Residential Zone (see figure 9). The design incorporates an effective articulation to provide visual interest and reduce the bulk/scale when viewed from the street. The proposed Dual Occupancy appears as a typical low-set dwelling style and has been sited to protect amenity of the surrounding area. The proposed Dual Occupancy provides a visually pleasing composition from all perspectives. A mix of attractive and soft building materials are placed throughout the dwelling and façade, to soften and reduce bulkiness. The proposed design also incorporates low-pitched roofing, large windows, and an open undercroft, which illustrate the small-scale appeal of site.

The proposed development therefore provides a modest built form which generally complies with the built form provisions of the Planning Scheme. In particular, the proposed site cover for the proposed development is approximately 18% well under the allowable 50%. Further, the proposed Dual Occupancy is a single storey dwelling with a maximum height of approximately 5.35m, well under maximum allowable height prescribed under the Planning Scheme.

The proposed carport is a fully open structure and will appear as a light structure when viewed from the street. The carport has been designed to blend in with the design of the proposed Dual Occupancy. Overall, the development incorporates an interesting mix of materials, colours, building elements and open space to provide visually pleasing facades to the street and adjoining properties, resulting in a positive contribution to streetscape character while enhancing surrounding visual amenity.

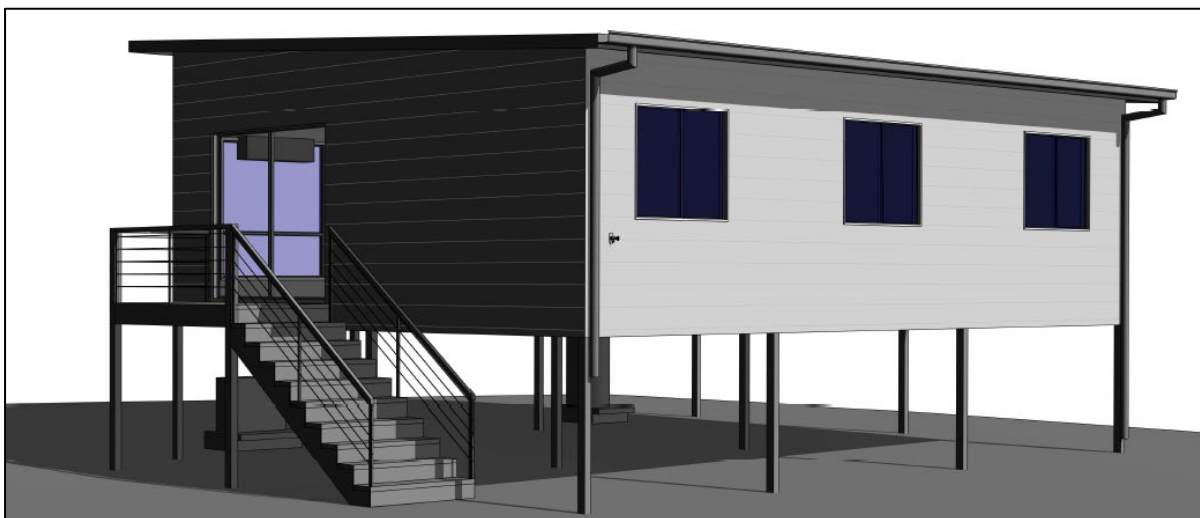


Figure 9: Dual Occupancy Perspective

Source: Appendix A



### 5.6.2.2 Density, Minimum Lot Size and Frontage

In accordance with AO3.1 of the Low Density Residential Zone code, the number of dwellings does not exceed one (1) unit per 300 square metres total site area. The proposed development results in one (1) dwelling unit per 506 square metres, in accordance with the zone code.

AO3.4 of the Low Density Residential Zone Code stipulates minimum site area and road frontage requirements. Table 6.2.1.3.3 of the Low Density Residential Zone code stipulates minimum site area when for Dual Occupancy is 600 square metres and minimum twenty (20) metres road frontage. The subject site has an area of 1,012 square metres and road frontage of approximately 20.26m, in accordance with the code.

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### 5.6.2.3 Building Height

The proposed development complies with the maximum building height of 8.5m and 2 storeys.

### 5.6.2.4 Boundary Setbacks

In accordance with AO3.3 of the Low density residential zone code, all proposed works are sited more than 6m from the front lot boundary. Furthermore, the proposal achieves the side boundary setback requirements under QDC MP1.3 (given the proposed carport is exempt from setback requirements up to a projection of 9m along the boundary – being under 3.5m in height and located over 1.5m from a neighbouring habitable room window (per A2(d))). Notwithstanding, the proposal does not achieve the 4m rear boundary setback required under AO3.3 of the Low density residential zone code. Assessment against PO3 and PO13 of the zone code is provided below.

### PO3 of the Low Density Residential Zone Code

The dual occupancy is designed and sited in a manner that:

*(a) is of an appropriate scale and size that reflects the purpose of the zone;*

The proposal is to establish a Dual Occupancy, a land use which is considered to align with the purpose of the zone as stipulated within section 6.2.1.2(1) of the Planning Scheme. More specifically, the proposal aligns with item (b), which supports “*a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area*”. The proposal is located within an area primarily comprising Dwelling House developments, and provides for long-term residency options in a time-period of housing shortage throughout the region. The proposal seeks to retain a small-scale urban form, and will promote a land use which is generally compatible with the surrounding area (being a directly supported land use when located less than 100m to the north). The surrounding suburb of Berserker contains numerous Dual Occupancy developments located upon similarly sized lots, resulting in a built form outcome which is compatible in terms of appearance and scale for the subject site.

The proposed Dual Occupancy is a single storey dwelling with a maximum height of 5.35 metres, presenting as a low-rise development. The proposed development results in site cover of only 18%, well below the maximum allowed of fifty (50) percent. Furthermore, the proposed Dual Occupancy has a total GFA of 70m<sup>2</sup>, ensuing balance between built form and open spaces is maintained. The development is therefore appropriate in scale, size and is reflective of Low density residential zone developments. The development therefore appropriately meets the purpose of the zone.



*(b) is attractive in appearance, climate responsive and functional in design, and safe for residents;*

The design philosophy of the proposed Dual Occupancy has evolved with the intent of providing a high standard of built form reflective of typical suburban setting of Rockhampton. The proposed Dual Occupancy has been designed to face street and appears as a low-set dwelling style which will complement the existing dwelling on the site as well as surrounding properties. Furthermore, the proposed development has been designed using light materials, such as weatherboard cladding, colorbond roofing and includes generous glazing, design elements responsive of central Queensland's climate. The proposed Dual Occupancy is a two bedroom dwelling with large open lounge / dining area, providing a functional and safe building for future residents.

*(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents;*

The proposed Dual Occupancy has been designed to present well to streetscape. The front elevation present as a modern dwelling, providing a high level for articulation to provide visual interest and reduce the bulk/scale when viewed from the street. The proposed Dual Occupancy will contribute positively to the existing streetscape character of the area, and establishment of Dual Occupancy on the site will not impact on street function. The proposed development has been designed to ensure the privacy, passive recreation and living space of future residents are well met through a well-designed modern dwelling, providing a great balance of living space and POS for residents.

*(d) has access to open space; and*

The proposed Dual Occupancy provides a compliant private open space (POS) located at the rear of the site. In addition to exclusive access and use of POS, the proposed development is able to access public open space located elsewhere at Elizabeth Park and McLeod Park.

*(e) does not compromise the character and amenity of the surrounding area.*

Despite being located within the residential stables precinct, the surrounding area is characterised by a low intensity detached dwelling houses, as anticipated within the Low Density Residential Zone. The proposed development is a single storey, low rise dwelling designed to complement the existing dwelling on the site. In terms of amenity, the proposed development has been designed with generally compliant setbacks, ensuring adjoining amenity is protected. Furthermore, the proposed development has been designed as high quality dwelling utilising a range of design elements, a mix of materials and a modern colour palette. The proposed development is therefore in line with the character and amenity of the surrounding area and will contribute positively to the existing character of the area.

### **PO13 of the Low Density Residential Zone Code**

*The development is located and designed so that buildings and structures make provision for:*

*(a) an appropriate scale and size that reflects the purpose of the zone;*

See PO3(a) response above.

*(b) access to natural light and ventilation;*

The proposed dwelling retains a minimum side and rear boundary setback of 3m, and is not sited adjacent to any other buildings or structures upon adjoining sites. Accordingly, the proposed design will be well exposed to natural sunlight and breezes which infiltrate the site.

*(c) landscaping;*

Combining the existing and proposed additions, the proposal achieves a negligible site coverage of 18%. Accordingly, ample areas for landscaping to be integrated within the development have been retained across site.

*(d) privacy and noise attenuation;*

The proposed Dual Occupancy involves a minimum side and rear boundary setback of approximately 3m for the new dwelling itself. Being for a low-intensity residential use, the proposal is therefore anticipated to not cause any significant privacy or noise detriments.

*(e) screening of materials when stored outside buildings;*

The proposal is for a Dual Occupancy development, which is not anticipated to involve the outdoor storage of materials. Notwithstanding, the proposed design allows for materials to be adequately screened upon the premises if these activities occur.

*(f) integration with the streetscape and built form;*

The proposal closely integrates within the built form of the local streetscape, involving only a very minor non-compliance with planning scheme provisions. Various allotments within the surrounding area promote similar boundary setback provisions, resulting in a development of a typical low density residential design and siting.

*(g) orientated to the street frontage;*

The proposed Dual Occupancy is oriented towards Berserker Street, with the existing dwelling being located directly facing the streetscape,

*(h) landscape features of the site; and*

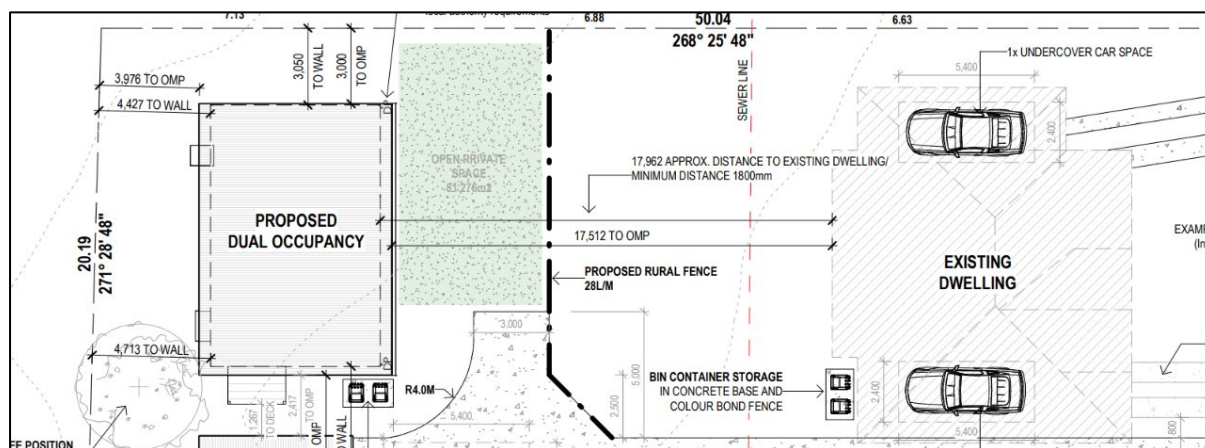
The proposal is a flat-sloped allotment, which is void of significant vegetation or other natural assets. Works proposed on the site are located within a cleared area and are not anticipated to significantly affect the landscape features of the property.

*(i) access to open space.*

The proposal facilitates ample open space areas, allowing compliant POS dedications for each dwelling in accordance with AO3.2 of the zone code.

### 5.6.2.5 Private Open Space

In accordance with AO3.2 of the Low Density Residential Zone code, any ground floor dwellings are required to provide 30m<sup>2</sup> of private open space (POS), which must achieve a minimum dimension of 4m x 4m and be directly accessible from a habitable room. As per the attached proposal plans, each dwelling is provided with large POS dedications within their exclusive use areas, which achieve the minimum requirement of 30m<sup>2</sup> and 4m x 4m minimum dimension (see Figure 10). While not located directly adjacent to an internal living area, the proposed POS areas will ensure that both dwellings have ample and easily accessible outdoor recreation and entertainment space. The proposed POS dedications also allow for the planting of new landscaping in the future, which could allow for a variety of shaded and unshaded areas on the site.



**Figure 10: Site Plan (Showing Adequate POS Area)**

**Source: Appendix A**

## 5.6.3 Transport Network

### 5.6.3.1 Car Parking

In accordance with AO5.1 of the Works Code, a Dual Occupancy is required to provide a minimum of two (2) car parking spaces for each dwelling, with at least one (1) being covered per dwelling. The proposed development provides a total of four (4) on-site car parking space. The existing dwelling provides two (2) car parking spaces, both covered and located within the existing undercroft. The proposed Dual Occupancy similarly provides a total of two (2) on-site car parking spaces, comprising of one (1) covered space within the proposed carport and one (1) uncovered car parking space, in a tandem arrangement. The proposed development therefore complies with AO5.1 of the Works Code.

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Refer to Proposed Plans for further details.

### 5.6.3.2 Access

The proposed Dual Occupancy will be accessed via the proposed new access driveway off Berserker Street. AO3.1 of the Works Code via the link to the *Capricorn Municipal Development Guidelines* provides instructions on the construction of new access driveways within the Rockhampton Regional Council. D15.05 of the *Capricorn Municipal Development Guidelines* stipulates requirement for residential driveways. D15.05.04 of the guidelines stipulates “Where the frontage of the lot exceeds ten (10) meters but is less than thirty (30) metres, one crossing only having a maximum width of six (6) metres.” The proposal has a frontage of less than 30m and proposes second crossing onto Berserker Street, therefore not complying with D15.05 of the guidelines. Justification for construction of second crossing is provided as per below:

#### Response

The proposed access driveway is situated on the northern part of the frontage and is intended to provide a direct access to proposed Dual Occupancy. The utilisation of proposed access driveway will provide a lawful access for new dwelling and subsequently a compliant on-site car parking for the site. The construction of new access driveway will achieve a better outcome for the site and the surrounding area by providing a clear, dedicated and well-designed access, while also achieving a compliant on-site parking for the site. The access driveway is small-scale in nature having a width of approximately 3m, resulting in a minimal visual impact on the local streetscape. Furthermore, the proposed works seek to replace another existing vehicle crossing which already exists upon the premises.

The proposed access driveway has been sited to provide sufficient clearance to the adjoining property's driveway to the east as well as sufficient clearance from the existing driveway for the subject site. Subsequently, the siting of new access driveway ensures the maximum amount of kerbside is preserved for future kerbside parking along Berserker Street. The proposed access driveway is clear of all relevant infrastructure located along the verge, specifically any power line infrastructure. Summarily, the proposed access driveway generally complies with the requirements under the guidelines. The proposed access driveway will ensure the proposed development has a lawful access, compliant on-site carparking, and an overall functional development presenting well to the street and the surrounding properties.

## 5.6.4 Development Engineering

### 5.6.4.1 Services

The site is connected to all necessary services, including reticulated water, sewerage, electricity, and telecommunication network. It is noted that a reticulated sewer line is running through the centre of the site, however the proposal is adequately separated from the infrastructure, in accordance with Queensland Development Code MP1.4.

### 5.6.4.2 Stormwater Management

The subject site is located within the Low Density Residential Zone, situated on an establish residential lot. The proposal is minorly sloped towards the street, enabling the proposed works to achieve a lawful

point of discharge to the kerb and channel along Berserker Street. The proposed works will therefore have a minimal impact the existing stormwater management system for the property. If required, a reasonable and relevant condition of approval may be included in the Officers recommendation requiring stormwater to be conveyed to the lawful point of discharge at the kerb.

## 5.7 Application Fee

In accordance with Rockhampton Regional Council's *Fees and Charges Schedule 2024-25*, the following application fees apply:

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Fee Type		Fee Amount (\$)
Dual Occupancy	Per Application – Planning Act 2016	3,574.00
Total Fees:		<b>3,574.00</b>

Table 7: Application fees

## 6 Conclusion

This town planning report has been prepared on behalf of DC House, in support of a development application seeking a Development Permit for Material Change of Use for Dual Occupancy over 26 Berserker Street, Berserker QLD 4701, described as Lot 31 on RP600722.

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The application has been assessed against the relevant requirements of the Planning Scheme and is demonstrably appropriate for the subject site. The proposal is generally consistent with the relevant codes and outcomes of the Planning Scheme and has sufficient merit to warrant approval. Consequently, the application is recommended for approval subject to reasonable and relevant conditions.

This town planning report has demonstrated the following key town planning grounds as the basis for the above recommendation:

- The proposal is consistent with the land use intent of the area and seeks to integrate with existing residential development;
- The development is considered to contribute to and enhance the amenity of the area through incorporating a high standard of built form reflective of the suburban character of Rockhampton;
- The siting and built form design of the development considers adjoining amenity and streetscape amenity by providing building heights, setbacks, and site coverage that are in line with the existing established character;
- The site layout allows for generous outdoor private open spaces to service the needs of future residents;
- The proposed access driveway provides a direct and lawful access for the proposed Dual Occupancy, ensuing development achieves a compliant on-site car parking provision for the site;
- The proposed development has been assessed against all of the relevant provisions of the Planning Scheme in the preceding sections of this report and the Code Compliance Statements attached, demonstrating compliance with the relevant Performance / Acceptable Outcomes; of the Planning Scheme;
- The proposed development (Dual Occupancy) will increase housing choice and diversity of housing within the region which is deemed desirable under the plan; and
- The proposed development is considered an appropriate infill development opportunity providing affordable low concentration infill housing options within one of the two largest centres within the region, as anticipated by the Central Queensland Regional Plan 2013.

In conclusion, it is recommended that a Development Permit for Material Change of Use for Dual Occupancy be granted in accordance with the plans and documentation submitted.

Yours sincerely,

**HPC Planning**

A.B.N. 93 670 815 022

Prepared by:

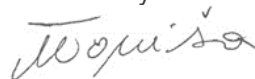


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Reviewed by:



**Borisa Miletovic**

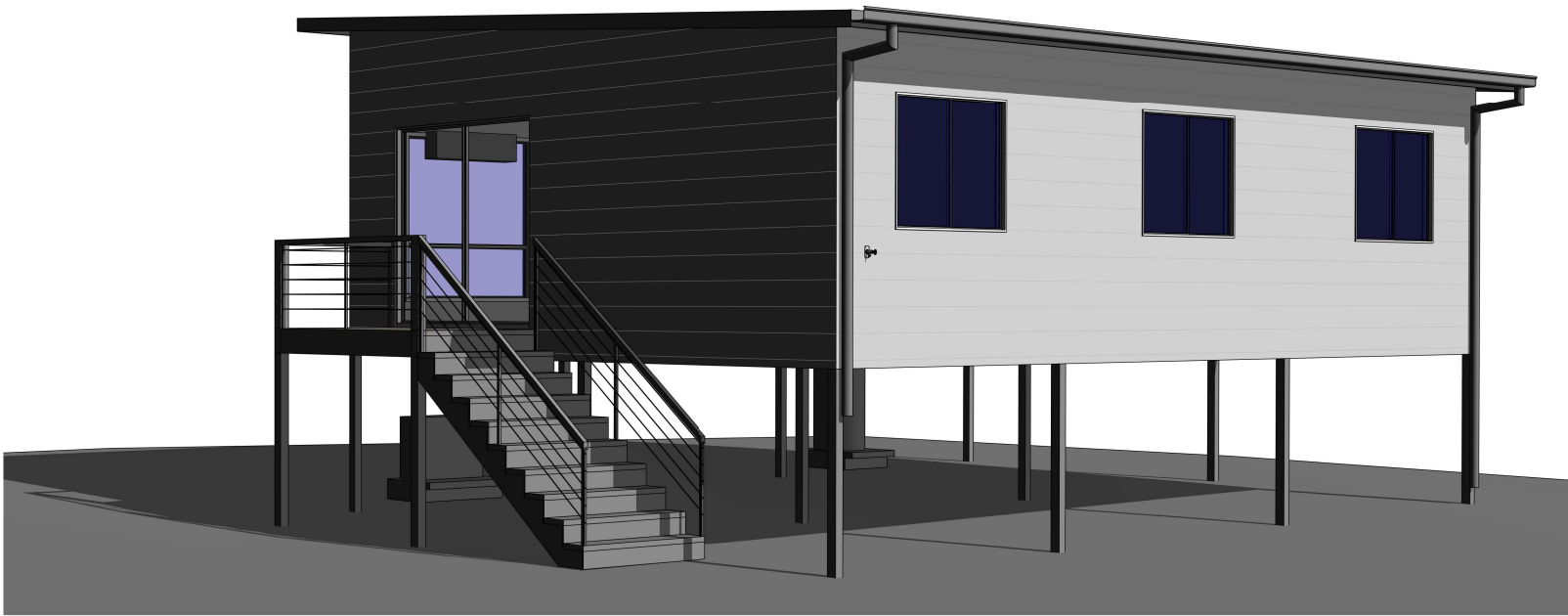
Senior Town Planner

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3D View 1 - PROPOSED GRANNY FLAT

DRAWING LIST	
Sheet Name	Sheet Number
PERSPECTIVE	01
GENERAL NOTES	02
GENERAL NOTES	03
SITE	04
GROUND FLOOR PLAN	05
CARPORT PLAN	06
ELEVATIONS	07
SECTION	08
ROOF PLAN	09
ELECTRICAL	10
FLOOR COVERINGS	11
DETAILS	12
FIRE SEPARATION DETAIL	13
CABINETRY DETAIL 1	14
CABINETRY DETAIL 2	15



3D View 2 - PROPOSED GRANNY FLAT

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary

<div><div><div></div><div>DC House</div><div>DESIGN &amp; CONSTRUCTION</div></div><div><div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE</div><div>Ph 07 5635 8990 team@dchouse.com.au</div><div>23-25 Prosper Crescent Burleigh Heads 4220</div><div>QBCC LIC 1310310</div><div>ACN 640 265 974 ABN 19 604 265 974</div><div>© 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div></div></div>	<div>GENERAL NOTES:</div> <div>- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY</div> <div>- WINDOWS DIMENSIONED AS HEIGHT X WIDTH</div> <div>- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH</div>	<div>1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START</div> <div>2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE</div> <div>3. DO NOT SCALE FROM PLAN</div> <div>4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY</div> <div>5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 &amp; AS3600. 1/2009 (A)&amp;(B)</div> <div>6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u></div>	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  DC HOUSE TEAM	DRAWING TITLE:  PERSPECTIVE	JOB NO:  J2056		DESIGN:  DCH 8
			ISSUE / DATE: CERTIFICATION ISSUE TUESDAY,13 MAY 2025				SHEET NO:  01		
			REVISION: REVISION J REVISION K REVISION L				DRAWN BY: KA/MT		
			SITE ADDRESS:  26 Berserker St, Berserker, QLD 4701				CHECKED BY: KA		
			SCALE:  A3						



# GENERAL NOTES

THIS GENERAL NOTES PAGE REFERS TO CLASS 1 AND 10 BUILDINGS, AND CLASS 2 (BUT IS NOT LIMITED TO) UNDER THE NATIONAL CONSTRUCTION CODE (NCC) 2019. ALL BUILDING WORKS SHALL COMPLY BUT NOT LIMITED TO THE REQUIREMENTS OF THE NCC, THE QUEENSLAND DEVELOPMENT CODE (QDC), THE LOCAL AUTHORITY AND

THE RELEVANT AUSTRALIAN STANDARDS LISTED BELOW. AUSTRALIAN STANDARDS LISTED BELOW APPLY TO ALL BUILDING CLASSES.

DO NOT SCALE FROM PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE IN MILLIMETRES. THE BUILDER & SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF BUILDING WORKS AND ORDERING MATERIALS, AND ARE TO BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE ABOVE MENTIONED PROVISIONS AND REGULATIONS. NOTE SOME PARTS MAY NOT BE RELEVANT TO THIS JOB.

## AUSTRALIAN STANDARDS

- AS2870 - 2011 RESIDENTIAL SLAB AND FOOTING CONSTRUCTION
- AS3660 - 2000 & 2004 BARRIERS FOR SUBTERANNEAN TERMITES
- AS3600 - 2009 CONCRETE STRUCTURES & AS4671 - 2001 REINFORCING STEEL IN CONCRETE AND MASONRY
- AS3700 - 2011 MASONRY IN BUILDINGS
- AS1684 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION 1 & 2 STOREYS / AS1720 - 2010 FOR ALL OTHER TIMBER FRAME STRUCTURES
- AS4055 - 1992 WIND LOADINGS FOR HOUSING
- AS4100 - 1996 STEEL STRUCTURES
- AS2904 - 1995 DAMP PROOF COURSES & FLASHINGS
- AS1562 - 1992 INSTALLATION OF METAL SHEET ROOF AND WALL CLADDING
- AS2050 - 1995 INSTALLATION OF ROOF TILES
- AS3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS1657 - 2013 - STAIRS, LADDERS & PLATFORMS
- AS1859 - 2004 - RECONSTITUTED WOOD BASED PANELS / WET PROCESSED FIBREBOARD
- AS2047 - 2014 - WINDOWS IN BUILDING - SELECTION AND INSTALLATION / AS4505 - 2012 GARAGE DOORS & LARGE ACCESS DOORS
- AS1276 - 1999 - ACOUSTICS & RATING OF SOUND INSULATION IN BUILDINGS

- AS1288 - 2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS3786 - 1993 & 2004 - SMOKE ALARMS
- AS1530 - 2007 FIRE TEST FOR ALL BUILDING MATERIALS
- AS3000 - 2003 ELECTRICAL WIRING
- AS3500 - 2003 & 2012 - PLUMBING & DRAINAGE
- AS5601 SET 2010 - INSTALLATION OF GAS
- AS1576.1 - 2010 SCAFFOLDING GENERAL REQUIREMENTS
- AS4994 - 2009 TEMPORARY ROOF EDGE PROTECTION INSTALLATION
- AS4859 - 2009 MATERIALS FOR THE THERMAL INSULATION OF A BUILDING
- AS2589 - 2007 GYPSUM LINING - PLASTERING APPLICATION
- AS3958 - 2007 INSTALLATION OF CERAMIC TILING
- AS3959 - 2009 - BUILDING IN BUSHFIRE PRONE AREAS
- AS4654 - 2012 - WATERPROOFING MEMBRANES FOR ABOVE GROUND EXTERNAL USE
- AS1668 - 2012 - AIR CONDITIONING & MECHANICAL VENTILATION / AS4254 2012 DUCTWORK
- AS1926 - 2012, 2007, 2010 - SWIMMING POOL SAFETY / BARRIERS
- AS4072 - 2005 - FIRE RESISTANT SEPERATING ELEMENTS

LEGEND	
NCC	NATIONAL CONSTRUCTION CODE (BUILDING CODE)
QDC	QUEENSLAND DEVELOPMENT CODE
AS	AUSTRALIAN STANDARDS
AHD	AUSTRALIAN HEIGHT DATUM
FW	FLOOR WASTE
DP	DOWNPIPE
SD	SLIDING DOOR
CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW
LW	LOUVRE WINDOW
FG	FIXED GLASS
AW	AWNING WINDOW
DH	DOUBLE HUNG WINDOW
SH	SINGLE HUNG WINDOW
WC	WATER CLOSET
WIR	WALK IN ROBE
LB	LOAD BEARING
GL	GROUND LEVEL
FL / MFL	FLOOR LEVEL / MAIN FLOOR LEVEL
FFL	FINISHED FLOOR LEVEL
FRF	FIRE RATED DOOR FURNITURE

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. FOR SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEER'S SOIL TEST.
- ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITES IN ACCORDANCE WITH AS3660.1/2004 (A) & (B) AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING THE TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS 3600.1/2009.
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: ALL ROOMS WITHIN 500mm VERTICAL OFF THE FLOOR, BATHROOMS WITHIN 1500mm VERTICAL OF THE BATH BASE, FULLY GLAZED DOORS, SHOWER SCREENS, WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL.
- WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITHIN MANUFACTURER, FLASHING ALL AROUND.
- ALL GUTTERS TO BE STRAMIT QUEENSLANDER QUAD GUTTERING WITH MIN. 100 X 75 RECTANGULAR OR 100 dia. DOWNPIPES TO SERVICE A MAX. 36m2OF ROOF AREA, IN ACCORDANCE WITH AS3500.2003, THE NCC VOL 2. PART 3.1.2 & 3.5.2, AND THE QDC PART NMP 1.8.
- STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT LOCAL AUTHORITY.
- FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENCED SURVEYOR.
- TILED DECKS OVER LIVEABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUFACTURERS SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.
- ALL WET AREAS TO COMPLY WITH NCC VOL 2. PART 3.8.1 AND AS3740 - 2010. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF WALL.
- FOR BRICK VENEER CONSTRUCTION PROVIDE BRICK TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS.
- SUB-FLOOR VENTILATION MIN. 7500mm2 FOR EXTERNAL WALLS AND 1500mm2 FOR INTERNAL WALLS BELOW BEARER.
- THERMAL INSULATION TO BE MINIMUM R3.0 BATTS TO CEILING AND R1.5 BATTS TO WALLS AND R1.0 REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING. REFER AS4859 - 2009.
- STAIR REQUIREMENTS: MINIMUM TREAD GOING 240mm AND MAXIMUM 355mm, MINIMUM RISER 115mm AND MAXIMUM 190mm. SLOPE RELATIONSHIP IS 2R + G = 550mm - 700mm. SPACE BETWEEN OPEN TREADS TO BE MAXIMUM 125mm. STAIRS MUST NOT BE MORE THAN 18 RISERS IN ONE FLIGHT OR LESS THAN 2 RISERS. LANDINGS TO BE NOT LESS THAN 750mm. STAIRS TO COMPLY WITH NCC VOL 2 PART 3.9.1. AND AS 1657.2013.
- BALLUSTRADING TO BE MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL WITH A MAX OPENING OF 125mm AND IN ACCORDANCE WITH NCC VOL 2 PART 3.9.2. FOR STAINLESS STEEL BALLUSTRADING REFER TABLE 3.9.2.1. OF THE NCC VOL 2.
- PROVIDE LIFT OFF HINGES TO W.C. OR OPEN OUT OR MINIMUM 1200mm CLEARANCE FROM DOOR TO PAN.
- EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE AND AS PER AS1668.2
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF THE EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE AUTHOR.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED. IT IS HIGHLY RECOMMENDED FOR ALL EXISTING ENTRY/EXIT DOOR FURNITURE TO BE ADDRESSED FOR FIRE SAFETY
- ALL CLADDING SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS - MANUFACTURERS SPECS. SUPERSEDE THIS DOCUMENTATION SPECS.

## SITE PLAN & DRAINAGE NOTES


- ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH THE NCC VOL 2. PARTS 3.1.2 & 3.5.2, AS3500.2003 AND QDC NMP1.8.
- ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS TO THE LOCAL AUTHORITY REQUIREMENTS.
- THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING AND SURFACE WATER TO BE CHanneLED TO COUNCIL STORMWATER DRAINAGE SYSTEM.
- THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
- ROOFWATER DOWNPIPES TO CONNECT TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER PVC.
- STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80, DISCHARGE TO COMPLY WITH THE LOCAL AUTHORITY REGULATION.
- 2 DOWNPIPES MAXIMUM TO EACH 100mm STORMWATER PIPE, SURFACE PIPES TO BE 100mm IN DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END AND IS TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.
- LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
- VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
- ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS1926.2007.

## FLOOR PLAN NOTES

- THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
- WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE.
- 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STAR WELS RATING. PROVIDE LIFT OFF HINGES TO TOILET DOOR.
- ROBE SHELVES AT 1700mm ABOVE FLOOR WITH RAIL UNDER, WALK IN ROBES AT 1800mm / 2100 FOR DOUBLE RAIL. LINEN, PANTRY AND STORES TO HAVE 4 NUMBERS OF SHELVES BROOM CUPBOARDS SHELF AT 1600mm.
- ALL HANDRAILS TO BE FINISHED AT 1050mm ABOVE FINISHED FLOOR LEVEL.
- PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO RANGEHOOD SPACE & GARAGE DOOR MOTOR. PROVIDE GPO TO FRIDGE SPACE.
- 70mm WALL FRAMES TO HAVE R2.0 WALL BATTS & 90mm FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.5 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 CEILING BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
- DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
- DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

## SUSTAINABILITY NOTES

- WATER SAVINGS TARGETS - CLASS 1 BUILDINGS SUPPLIED DIRECTLY WITH WATER FROM THE RETICULATED TOWN WATER SYSTEM MUST ACHIEVE WATER SAVINGS TARGETS OF 70KL PER YEAR FOR NEW DETACHED HOUSES AND 42KL PER YEAR FOR OTHER NEW CLASS 1 DWELLINGS.
- MINIMUM 4 STAR WELS RATING TAPS ARE TO BE USED INTERNALLY FOR ALL BATHROOM AND KITCHEN TAPS AND ALL WHITEGOODS. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM 4 STAR WELS RATING. SHOWER HEADS ARE TO BE A MINIMUM OF 3 STAR WELS RATING.
- ENERGY EFFICIENCY TO QDC PART 4.1 AND NCC VOL 2. PART 3.12.
- GAS SYSTEM TO BE MINIMUM 5 STAR AGA ENERGY RATING (SUPPLY FROM RETICULATED NATURAL GAS OR LPG BOTTLES).

<div><div>DC House DESIGN &amp; CONSTRUCTION</div></div> <div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE Ph 07 5635 8990 team@dchouse.com.au 23-25 Prosper Crescent Burleigh Heads 4220 QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974 © 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div>	<div>GENERAL NOTES:</div> <div>- REFRIGIRATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH</div>	<div>1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 &amp; AS3600. 1/2009 (A)&amp;(B) 6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u></div>	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  DC HOUSE TEAM	DRAWING TITLE:  GENERAL NOTES	JOB NO:  J2056		DESIGN:  DCH 8
			ISSUE / DATE: CERTIFICATION ISSUE TUESDAY,13 MAY 2025				SHEET NO:  02		
			REVISION: REVISION J REVISION K REVISION L				DRAWN BY: KA/MT		
			SITE ADDRESS:  26 Berserker St, Berserker, QLD 4701				CHECKED BY: KA		





**SITE GENERAL NOTES:**

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.

4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.

5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.

6. IT IS RECOMMENDED TO OBTAIN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO COMMENCEMENT OF WORK.

7. SEWER TO HOUSE CONNECTION AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, SUBJECT TO SURVEY OR SERVICE LOCATION

**SITE PREPARATION & DRAINAGE NOTES:**

1. ROOFWATER TO BE PIPED VIA 100mm Ø PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL.
3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSF TO BE REVIEWED BY A QUALIFIED CONSULTANT
4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER NCC VOL 2. PART 3.2.
5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO NCC VOL 2. PART 3.5.2.
6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTICING STRUCTURAL ENGINEER (RPEQ).

**TERMITE PROTECTION:**

1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2004 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

**REAL PROPERTY DESCRIPTION**

ADDRESS: 26 Berserker St, Berserker, QLD 4701

SITE AREA: 1011.57m<sup>2</sup>

LOT NUMBER: 31

PLAN NUMBER: RP600722

PARISH:

COUNTY:

LOCAL AUTHORITY: Rockhampton City Council

BUILDING AREA: 187.07m<sup>2</sup>

SITE COVERAGE: 18%

**SURVEYING NOTE**

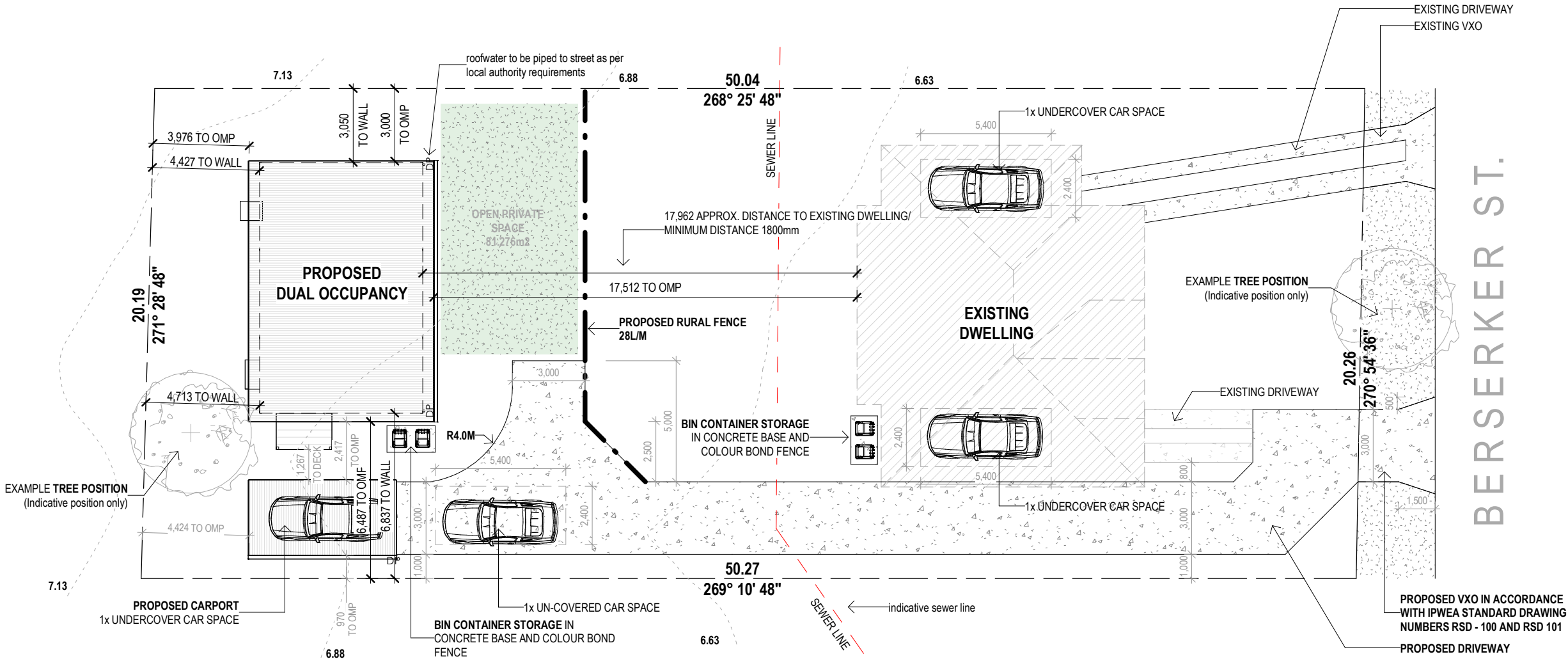
CONTOUR / DETAIL SURVEY / LEVELS NOT PROVIDED BY OWNER.

IT IS RECOMMENDED TO CARRY OUT A DETAIL SURVEY PRIOR TO FINALISING DESIGN, AND ANY DISCREPANCIES RESOLVE WITH THIS OFFICE.

IT IS THE BUILDER'S RESPONSIBILITY TO CONDUCT AN I DENT SURVEY AND SEWER LOCATION PRIOR TO CONSTRUCTION

**DUAL OCCUPANCY NOTES**

- car parking spaces to comply with AS2890.1 - 2 covered and 2 uncovered
- setbacks in accordance with QDC MP1.3
- prior to construction builder to locate sewer line and ensure footing setback is 1200mm minimum from sewer, clearance above sewer connection 2500mm minimum -
- to comply with QDC part MP1.4
- any alteration to existing vehicular crossovers to comply with the local authority requirements

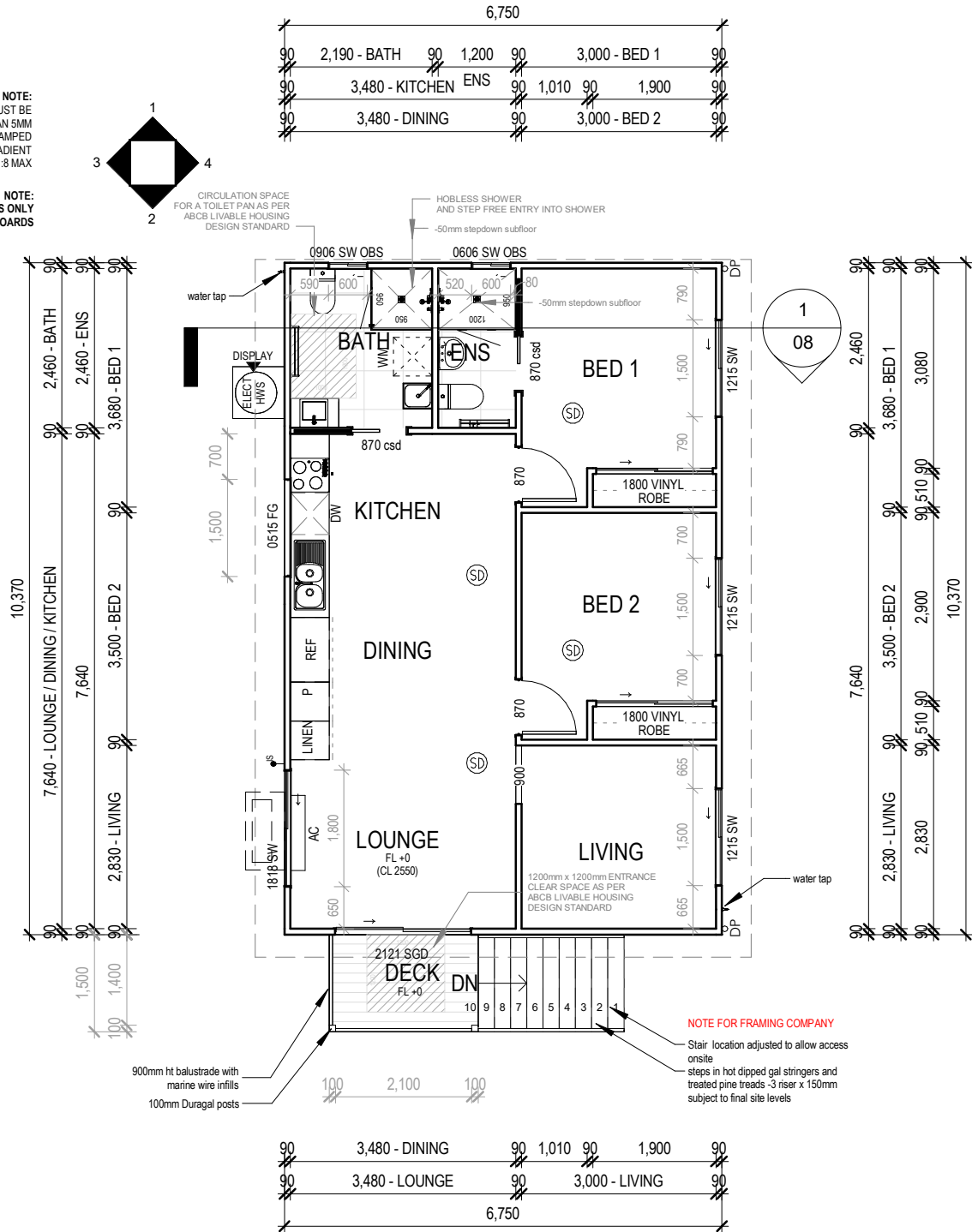


FLOOR PLAN NOTES

- SOME PARTS MAY NOT BE RELEVANT TO THIS JOB
- DO NOT SCALE FROM PLAN & DO NOT SCALE WINDOW & DOOR LOCATIONS FROM PLAN. IF IN DOUBT CONTACT THE DESIGNER OR BUILDER.
  - THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
  - WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE. CONTACT THIS OFFICE IF IN DOUBT OF WINDOW POSITION.
  - ALL NEW OR REPLACED WINDOWS ARE DIMENSIONED, EXISTING UNCHANGED WINDOWS ARE LEFT UN-DIMENSIONED.
  - 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY.
  - TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STARS WELS RATING.
  - PROVIDE LIFT OFF HINGES TO TOILET DOOR.
  - ROBE SHELVES AT 1700MM ABOVE FLOOR WITH RAIL UNDER. WALK IN ROBES AT 1800MM / 2100 FOR DOUBLE RAIL LINEN, PANTRY AND STORES TO HAVE A 4 NUMBERS OF SHELVES. BROOM CUPBOARDS SHELF AT 1600MM.
  - SQ. SET DOOR HAMPERS ARE TO BE SQUARE SET AND 2100MM HEAD HEIGHT OR TO MATCH INTERNAL DOOR HEIGHTS.
  - ALL HANDRAILS TO BE FINISHED AT 1050MM ABOVE FINISHED FLOOR LEVEL.
  - PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO FRIDGE & RANGEHOOD SPACE.
  - 70MM WALL FRAMES TO HAVE R1.5 WALL BATTS & 90MM FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.0 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
  - DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
  - DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.
  - ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED, IT IS HIGHLY RECOMMENDED FOR BUILDER & OWNERS TO ADDRESS EXISTING ENTRY/EXIT DOOR FURNITURE FOR SAFETY RATING.
  - ALL BATHROOMS TO HAVE FLOOR WASTES IN ACCORDANCE WITH AS3740 OR SHOWERS TO HAVE MINIMUM 900MM WIDE PANEL.
  - STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEANT TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.
  - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME

NOTE:  
THRESHOLDS FOR INTERNAL DOOR MUST BE LEVEL OR HAVE A HEIGHT NO MORE THAN 5MM IF THE LIP IS ROUNDED OR BEVELLED OR BE RAMPED WITH THE DEPTH OF THE DOOR FRAME AND HAVE A GRADIENT 1:8 MAX

NOTE:  
- KITCHENS ARE FOR VISUAL PURPOSES ONLY  
- DECKING BOARDS TO HAVE 8mm MINIMUM GAPS IN BETWEEN BOARDS



WALL & CEILING INSULATION

R.20 BATTS TO EXTERNALL WALL 70 & 90MM FRAMES  
R3.0 BATTS TO CEILING  
ALL WALLS AND ROOF FRAME TO HAVE R.10  
SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)  
WEATHER SEALS TO ALL DOORS & WINDOWS  
NOTE: FINAL BUILDING COLOURS MAY EFFECT R-VALUES REFER ENERGY REPORT

WALL CLADDING NOTE

PROVIDE CAVITY BATTEN BETWEEN CLADDING AND FRAME - SEE DETAILS PAGE  
ALL CLADDINGS TO BE INSTALLED TO MANUFACTURER SPECIFICATIONS

FLOOR PLAN LEGEND

- SD SMOKE ALARM PHOTOELECTRIC
- DOWNPIPE LOCATION
- MH MANHOLE LOCATION
- ELECT HWS HOT WATER SERVICE
- ELECT MB ELECTRICAL METERBOARD TBD
- CJ VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8
- NB: SEE GENERAL NOTES FOR ABBREVIATIONS

EST FLOOR AREAS

Names	Area m2
Verandah	3.45
GF LIVING	70.00
	73.45

WINDOWS & EXTERNAL DOORS

Family and Type	Width	Height	Comments
Fixed: 0515 FG	1500	500	External aluminium window and door frames
SGD 2 Panel: 2121 SGD	2100	2100	External aluminium window and door frames
SW 4 Panel: 1818 SW	1800	1800	External aluminium window and door frames
SW: 0606 SW OBS	600	600	External aluminium window and door frames
SW: 0906 SW OBS	600	900	External aluminium window and door frames
SW: 1215 SW	1500	1200	External aluminium window and door frames

1

Ground Floor Plan

1 : 100



PREPARED FOR EXCLUSIVE USE FOR DC HOUSE  
Ph 07 5635 8990 team@dchouse.com.au  
23-25 Prosper Crescent Burleigh Heads 4220  
QBCC LIC 1310310  
ACN 640 265 974 ABN 19 604 265 974  
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GENERAL NOTES:  
- REFRIGIRATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY  
- WINDOWS DIMENSIONED AS HEIGHT X WIDTH  
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

- BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DO NOT SCALE FROM PLAN
- ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
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JOB DESCRIPTION:  
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:  
CERTIFICATION  
ISSUE  
TUESDAY,13 MAY  
2025

REVISION:  
REVISION J  
REVISION K  
REVISION L

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

26 Berserker St, Berserker, QLD 4701

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE:  
1 : 100 A3

JOB NO:

J2056

SHEET NO:

05

DRAWN BY:

KA/MT

CHECKED BY:

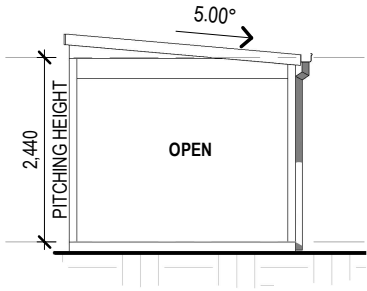
KA

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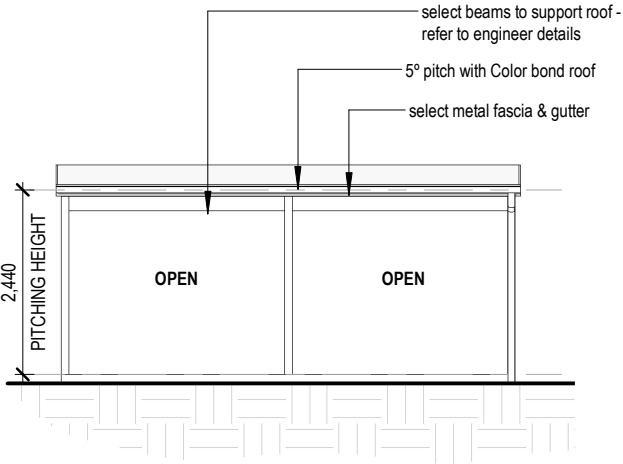
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FLOOR PLAN NOTES

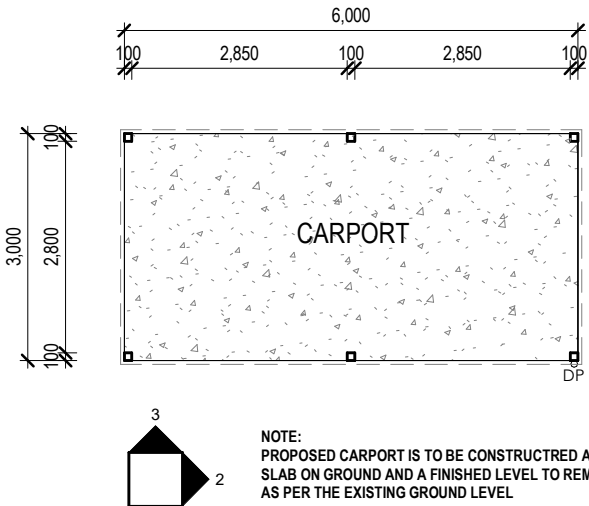
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  - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME



2 Elevation - A  
1 : 100



3 Elevation - B  
1 : 100



1 Proposed Carport Plan  
1 : 100

WALL & CEILING INSULATION

- R.20 BATTS TO EXTERNALL WALL 70 & 90MM FRAMES  
R3.0 BATTS TO CEILING  
ALL WALLS AND ROOF FRAME TO HAVE R.10  
SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)  
WEATHER SEALS TO ALL DOORS & WINDOWS  
NOTE: FINAL BUILDING COLOURS MAY EFFECT R-  
VALUES REFER ENERGY REPORT

WALL CLADDING NOTE

- PROVIDE CAVITY BATTEN BETWEEN CLADDING AND  
FRAME - SEE DETAILS PAGE  
ALL CLADDINGS TO BE INSTALLED TO  
MANUFACTURER SPECIFICATIONS

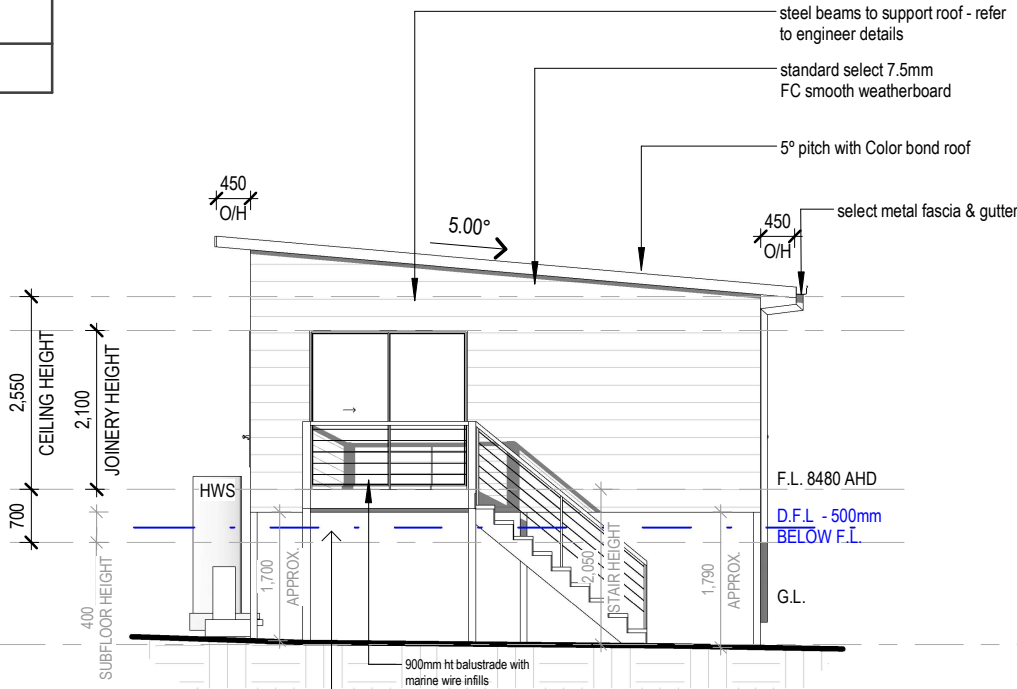
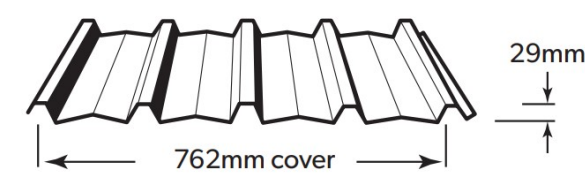
FLOOR PLAN LEGEND

- SD SMOKE ALARM PHOTOELECTRIC
- DN DOWNPIPE LOCATION
- MH MANHOLE LOCATION
- ELECT HWS HOT WATER SERVICE
- ELECT MB ELECTRICAL METERBOARD TBD
- CJ VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8
- NB: SEE GENERAL NOTES FOR ABBREVIATIONS

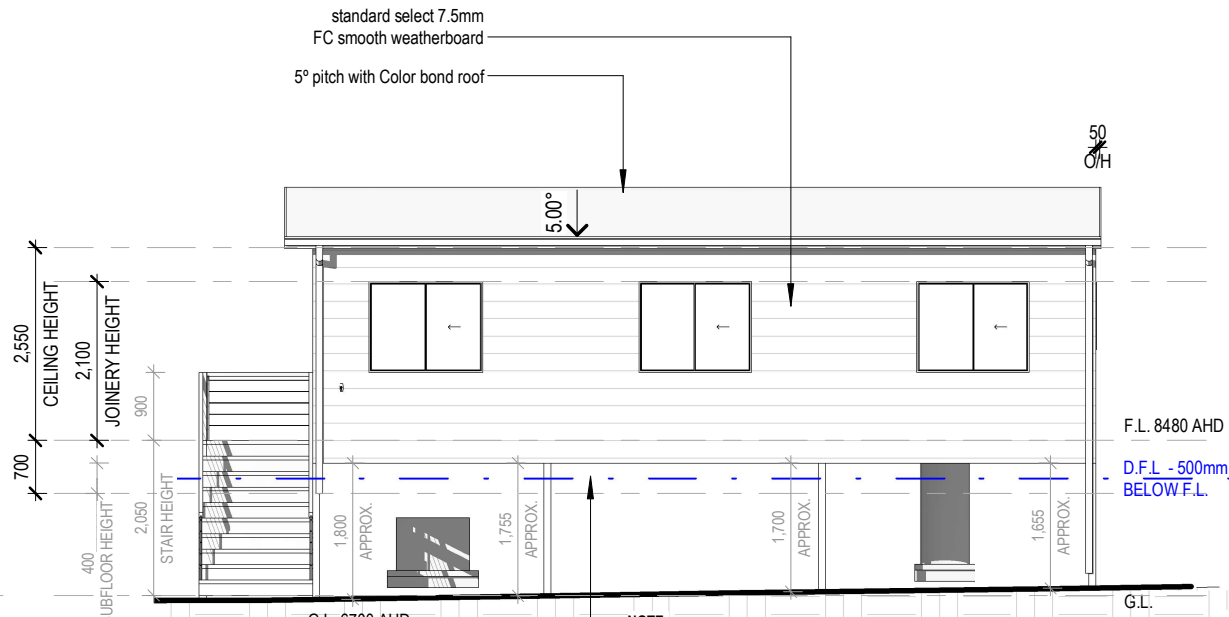


EST EXTERNAL WALLS				
Family and Type	Length	Area m2	Function	Comments
Basic Wall: Baseboards	6680	4.01	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Baseboards	10300	6.18	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Stud 90mm weatherboard cladding	6660	38.02	Exterior	standard select 7.5mm FC smooth weatherboard
Basic Wall: Stud 90mm weatherboard cladding	10280	58.26	Exterior	standard select 7.5mm FC smooth weatherboard
Grand total		106.47		

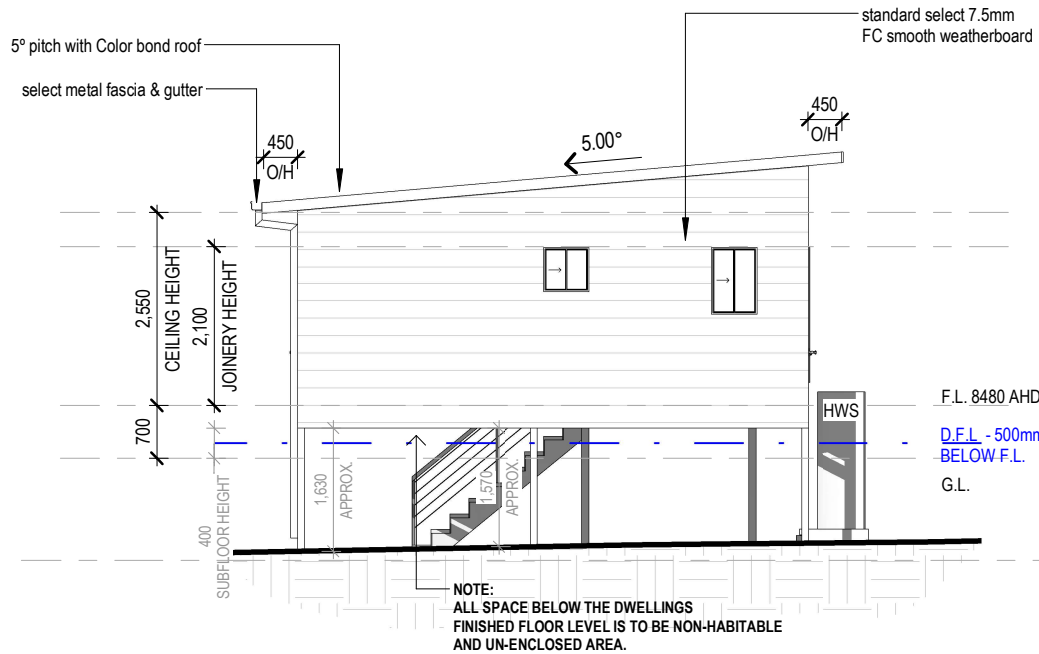
TRIMDEK® cladding has a subtle square-fluted profile, available in long lengths, so on most jobs you can have one sheet from ridge to gutter without end-laps.  
TRIMDEK® cladding is made of high strength steel and despite its lightness, provides excellent spanning and rainwater carrying capacity.  
The strength, spanning ability, lightness and rigidity of TRIMDEK® cladding permits wide support spacings to be used with safety.



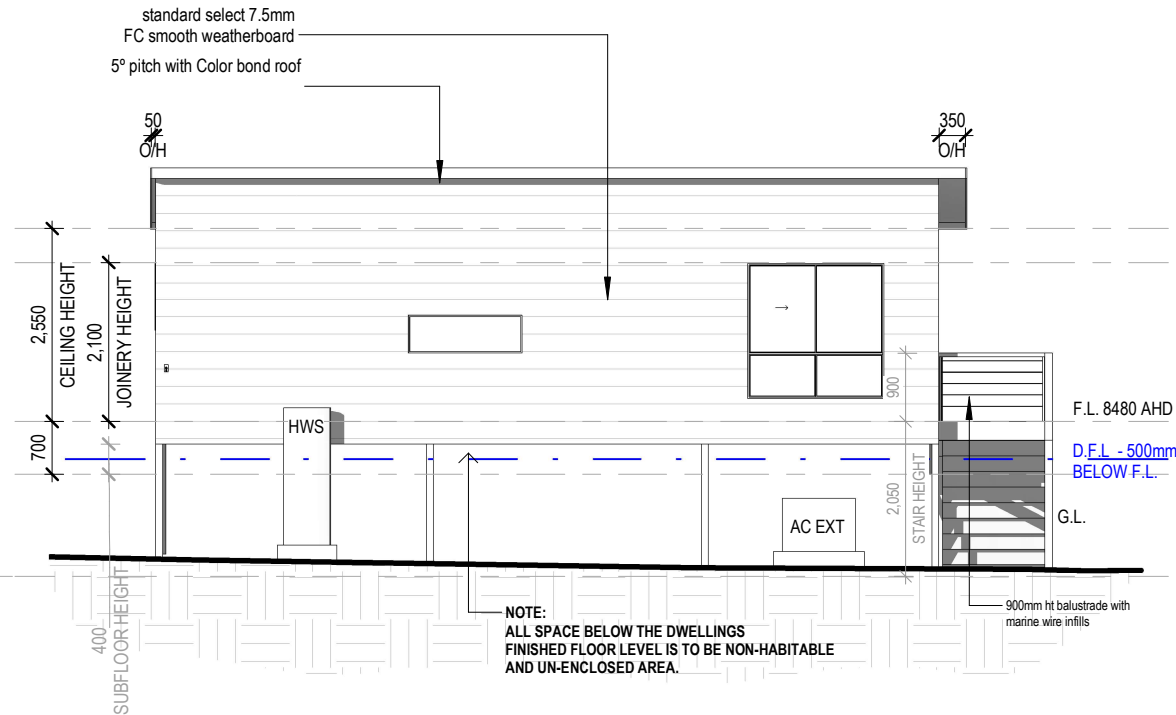
1 Elevation A  
1 : 100



3 Elevation C  
1 : 100



2 Elevation B  
1 : 100



4 Elevation D  
1 : 100

**STRUCTURAL NOTE**  
all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

**TERMITE PROTECTION**  
termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2009 (refer details page) - all select barrier products refer to manufacturers specification and conditions of approval

**TRUSSED ROOF PANEL NOTE**  
all support beams for insulated and fly over roof panels are to be specified by engineer - unless otherwise noted

**GENERAL NOTE**  
all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

22mm ceiling battens at 600mm centres or to engineer/frame supplier detail - 10mm thk gyprock plasterboard. all products installed to manufacturers installation specs.

R3.0 ceiling batts

Colorbond sheet metal roof in select colour

select metal fascia & gutter

roof truss with tap hat battens and 5mm B-4SAGW Bubble aircell

450  
O/H

5.00°

450  
O/H

+ 2,550

1 Ceiling Level

+ 2,100

Joinery Level

all windows minimum 10.48mm thk laminated glass with full perimeter acoustic rated seals

90mm zinc alum steel framing to manufacturer specs

Waterproofing, wet area materials and installation of wet area components and systems are to comply with NCC 2022 Volume Two , Part4 Health and amenity, the Housing Provisions (10.2.1 to 10.2.6 and 10.2.12) and AS 3740.

±0

0 Floor Level

BED 1

ENS

BATH

MIRROR

4.5mm thk F.C. Sheeting with pvc jointing strips

floor joist at 450mm centres or to engineer/frame supplier detail - 18mm particleboard flooring screwed down and 18mm compressed cement sheeting to wet areas. all products installed to manufacturers installation specs.

steel floor joist 100x50 refer to engineer details

700  
APPROX.

steel floor bearer 150x50 refer to engineer details

Duragal post with bottom plates bolted & chemset to footing pad - to engineer detail

90mm Duragal post to engineer detail

concrete footings and reinforcing detail refer engineer design & specification

1

## Section A-A

1 : 50



ROOF PLAN NOTES:

METAL ROOF SHEETING REFER AS1562.3 2006 ROOF FLASHINGS TO AS4654

ARROW DENOTES ROOF FALL.

STRUCTURAL ELEMENTS SUCH AS ROOF FRAMING, LINTELS, TIE DOWN AND BRACING TO AS1684, MANUFACTURERS SPECIFICIATIONS AND ENGINEER DESIGN

ROOFWATER TO BE PIPED VIA 100MM DIA. PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM.

ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL. REFER AS3500.3 2003

DOWNPipes TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.

INSULATION TO CEILING TO BE R3.0 BATTS

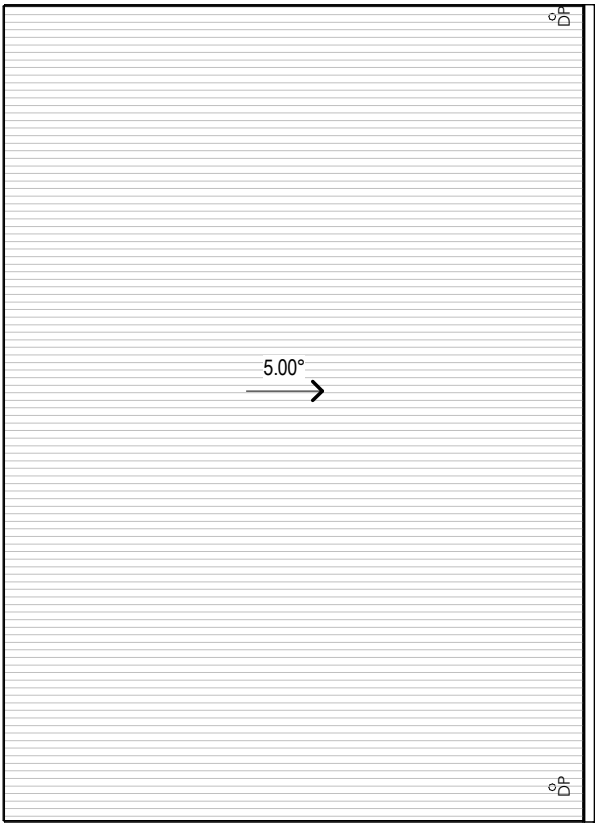
R 1.0 FOIL SARKING TO UNDERSIDE ROOF BATTENS

60MM ANTICON ROOF BLANKET

ONLY NEW DOWNPIPES ARE SHOWN - IN QUANTITIES AND SUGGESTED LOCATION ONLY, SUBJECT TO MOVE ON SITE AS REQUIRED BY BUILDER

ALL ROOFING AND DRAINAGE TO COMPLY WITH THE PROVISIONS OF THE NATIONAL CONSTRUCTION CODE 2019

STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.



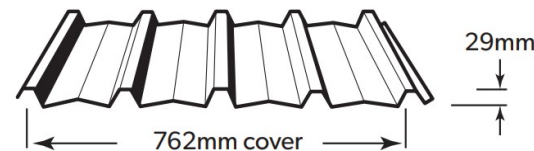
1

Roof Plan

1 : 100

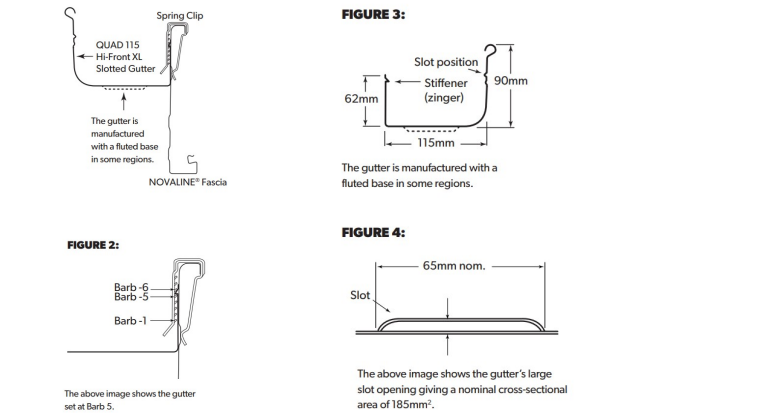
EST ROOF SCHEDULE	
Type	Area m2
Basic Roof	101.69

Next generation ZINCALUME® aluminium/zinc/magnesium alloy coated steel complies with AS 1397:2011 G550, AM125 (550 MPa minimum yield stress, 125g/m2 minimum coating mass). COLORBOND® is pre-painted steel for exterior roofing and walling. It is the most widely used. The painting complies with AS/NZS 2728:2013 and the steel base is an aluminium/zinc alloy-coated steel complying with AS 1397:2011. Minimum yield strength is G550 (550 MPa). Minimum coating mass is AM100 (100g/m2). COLORBOND® Metallic is pre-painted steel for superior aesthetic qualities displaying a metallic sheen. COLORBOND® Ultra is pre-painted steel for severe coastal or industrial environments (generally within about 100-200 metres of the source). The painting complies with AS/NZS 2728:2013 and the steel base is an aluminium/zinc alloy-coated steel complying with AS 1397:2011. Minimum coating mass is AM150 (150g/m2). COLORBOND® Stainless is a pre-painted steel and is used for severe and coastal environments. The painting complies with AS/NZS 2728:2013 and the steel base is a stainless steel complying with AISI/ASTM Type 430; UNS No. S43000. Metallic finishes are available subject to enquiry. The base metal thickness is 0.42 or 0.48mm. The COLORBOND® pre-painted steel complies with AS/NZS 2728:2013.



EST FASCIA & GUTTER	
Type	Amount m
Fascia	36.81
Gutter	10.86

The compliance requirements for roof drainage systems including residential eaves gutter systems may be regulated as building work or plumbing work, depending on the local Building Authority. Where roof drainage systems are regulated as building work, NCC Volume Two or ABCB Housing Provisions Standard applies, and where regulated as plumbing work, NCC Volume Three applies. In practice, the eaves gutter requirements are similar between these references. Per Section A2G2 of NCC Volume Three - Plumbing Code of Australia, a Performance Solution is achieved by demonstrating that the solution is at least equivalent to the Deemed-to-Satisfy Provisions of the NCC. The ABCB Housing Provisions Standard contains Deemed-to-Satisfy Provisions that are considered to be acceptable forms of construction that meet the requirements for complying with Parts H1 to H8 of NCC Volume Two - Building Code of Australia. Per Section 7.4.6(1) of the ABCB Housing Provisions Standard, a slotted gutter with a slot opening area of 1200 mm2 per metre of the gutter, when installed with the lower edge of the slot being 25mm below the top of the fascia, is deemed to satisfy an overflow capacity of 0.5 L/s/m length of gutter for design purposes. LYSAGHT® QUAD 115 HI-FRONT XL SLOTTED GUTTER provides a slot opening area of 2055 mm2 per metre of the gutter, which far exceeds this compliance criterion.



MATERIALITY:

PVC PIPES  
FOR DOWNPIPES

ELECTRICAL PLAN NOTES

1. ALL HEIGHTS ARE TO BE MEASURED FROM THE MAIN FLOOR LEVEL UNLESS OTHERWISE NOTED
2. LIGHT SWITCHES @ 1300MM MAX ABOVE GROUND LEVEL
3. TOP OF METER BOX TO BE 1900 MM MAX ABOVE GROUND LEVEL
4. POWER OUTLETS ARE TO BE POSITIONED TO NEAREST STUD UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH NCC PART 3.7.2 AND AS3786 - 2004. SMOKE DETECTORS 2 OR MORE SHALL BE INTERCONNECTED AS PER NCC PART 3.7.2.
6. ADDITIONAL SMOKE DETECTORS TO BE PLACED IN ALL BEDROOMS AND INTERCONNECTED AS PER NCC REQUIREMENTS.
7. L.E.D. LIGHTING IS RECOMMENDED TO ALL POSSIBLE APPLICATIONS.
8. ALL ELECTRICAL WORK TO COMPLY TO AS3000 - 2003

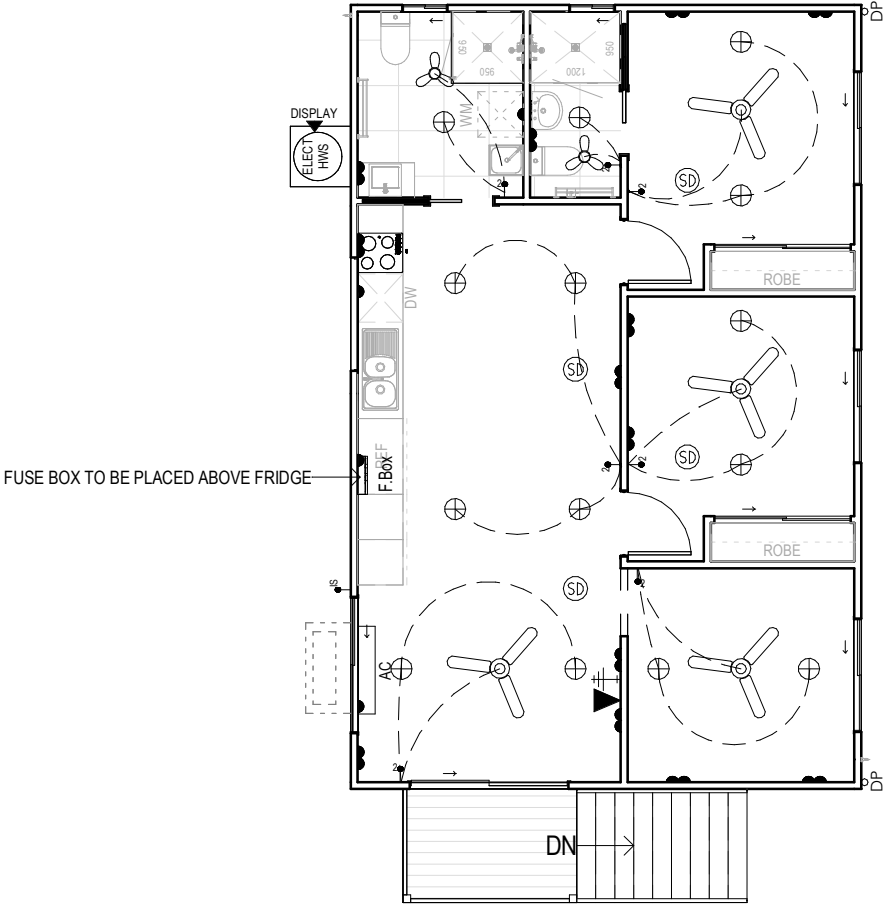
ENERGY EFFICIENT LIGHTING

THIS MEASURE APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTING IS USED FOR AT LEAST 40% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE OCCUPANCY UNIT. (REFER TO DEFINITION OF FLOOR AREA IN PART 29 OF THE QUEENSLAND DEVELOPMENT CODE). THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE A PART OF A HOUSE IS LIT BY MORE THAN ONE LIGHT SOURCE, AND ONE OR MORE OF THOSE SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING AND THEREFORE DOES NOT QUALIFY TOWARDS THE 40% EFFICIENT LIGHTING REQUIREMENT. FOR EXAMPLE, IF A KITCHEN HAS A FLUORESCENT LIGHT AS ITS CENTRAL LIGHT SOURCE AND HALOGEN LIGHTS PROVIDING TASK LIGHTING FOR A KITCHEN BENCH, THEN THE FLOOR AREA OF THE KITCHEN BENCH SHOULD BE SUBTRACTED FROM THE KITCHEN FLOOR AREA WHEN CALCULATING FLOOR AREA LIT BY EFFICIENT LIGHTING.

FINAL ASSESSMENT UPON COMPLETION OF THE BUILDING WILL REQUIRE CONFIRMATION THAT THE CORRECT LIGHTING HAS BEEN INSTALLED IN THE APPROPRIATE LIGHT FITTINGS. IT IS REASONABLE TO ACCEPT THIS CONFIRMATION FROM THE ELECTRICIAN WHO INSTALLED THE LIGHT FITTINGS.

NOTE  
ALL ELECTRICAL EXCEPT SMOKE DETECTORS, IS INDICATIVE ONLY AND TO BE VERIFIED WITH OWNERS, AND BUILDER/ ELECTRICIAN DURING QUOTING AND BUILDING STAGES



1

GF Electrical Plan

1 : 100

EST ELECTRICAL FIXTURES

Type	Count
2 Switches	7
Ceiling Fan	4
dGPO	13
Downlight	16
Exhaust Fan	4
Fuse Box	1
Isolating Switch 1000 AFL	1
Phone Point	1
sGPO	4
Smoke Detector	4
TV Point	1

56

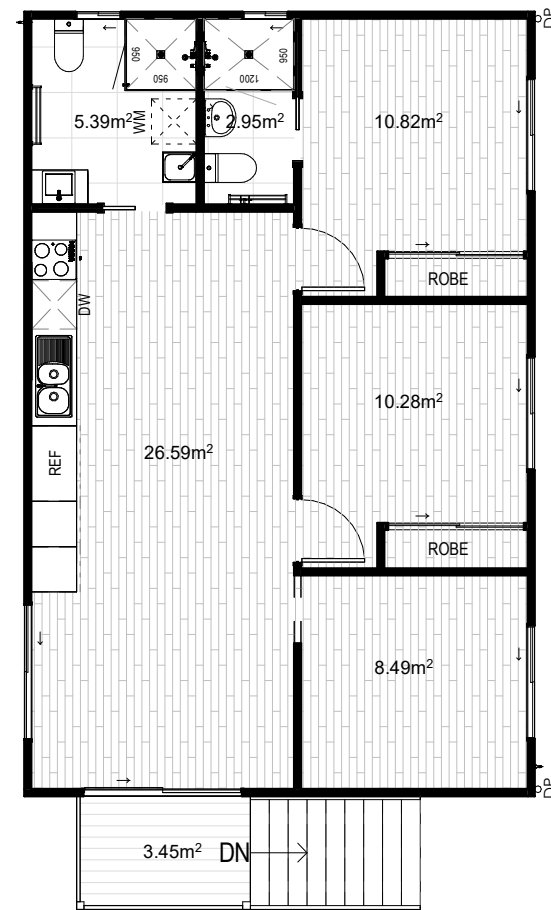
EST AC/HWS

Family and Type	Count
HWS Electric: Elect HWS 170L	1
AC Unit - EXT: AC Ext	1
AC Unit - INT: AC Int	1

ELECTRICAL LEGEND

- 
- 
- CEILING FAN
- 
- CEILING FAN W/ LIGHT
- 
- EXHAUST 3 IN 1
- 
- EXHAUST FAN
- 
- SMOKE ALARM
- 
- HEAT LAMP
- 
- GAS OUTLET
- 
- TV POINT
- 
- DATA/PHONE POINT
- 
- OYSTER LIGHTS MOUNTED
- 
- DOWNLIGHT 240V
- 
- BATTEN HOLDER
- 
- PENDANT
- 
- SINGLE GPO
- 
- DOUBLE GPO
- 
- ROOF SINGLE GPO
- 
- WATERPROOF SINGLE GPO
- 
- WATERPROOF DOUBE GPO
- 
- WALL LIGHT
- 
- FLOOD/SPOT LIGHT
- 
- DOUBLE FLOOD/SPOT LIGHT
- 
- SENSOR
- 
- SGL FLURO TUBE 18W
- 
- DBL FLURO TUBE 36W
- 
- ISOLATION SWITCH
- 
- SWITCH

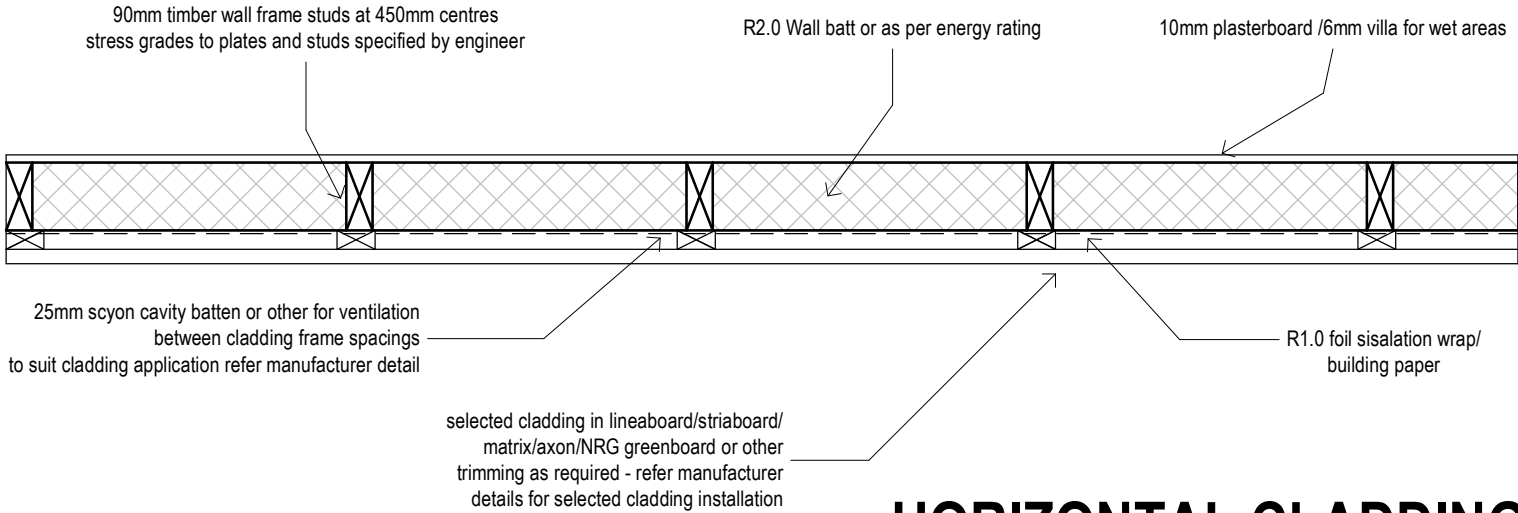
ELECTRICAL POINTS' POSITIONS  
SUBJECT TO CONSTRUCTION  
CONSTRAINTS.



FLOOR COVERINGS (m2)	
MATERIALS / LOCATION	OVERALL AREA: (APPROX.) (m²)
LOUNGE	10.46
LIVING	8.49
BED 2	9.31
BED 1	9.85
DINING	9.40
KITCHEN	6.73
ROBE 2	0.97
ROBE 1	0.97
ENS	2.95
BATH	5.39

EST KITCHEN TILES AREA	
Type	Area m2
Kitchen Splashback	1.18
TOTAL	1.18

 <div>DC House DESIGN &amp; CONSTRUCTION</div>	PREPARED FOR EXCLUSIVE USE FOR DC HOUSE	<b>GENERAL NOTES:</b> - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH	1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY	CLIENT:  <b>DC HOUSE TEAM</b>	DRAWING TITLE:  <b>FLOOR COVERINGS</b>	JOB NO: <b>J2056</b>		DESIGN:  <b>DCH 8</b>
	Ph 07 5635 8990 team@dcchouse.com.au		2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE				SHEET NO: <b>11</b>		
	23-25 Prosper Crescent Burleigh Heads 4220		3. DO NOT SCALE FROM PLAN					SCALE: <b>1 : 100      A3</b>	
	QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974		4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY						
© 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN	5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)	SITE ADDRESS:  <b>26 Berserker St, Berserker, QLD 4701</b>							
	6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u>		ISSUE / DATE: <b>CERTIFICATION ISSUE TUESDAY,13 MAY 2025</b>	REVISION: <b>REVISION J REVISION K REVISION L</b>					

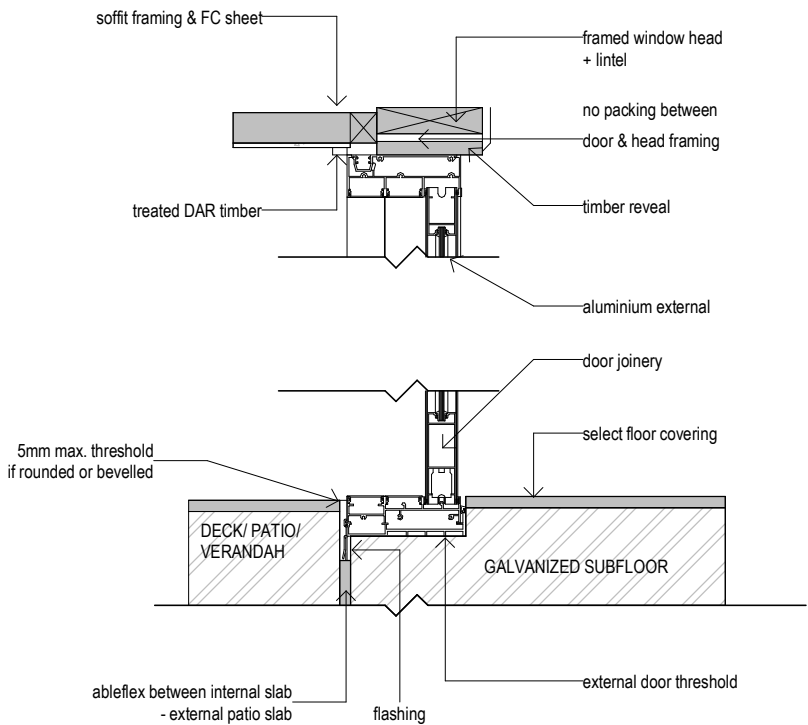


NOTE vermin proofing installed to base of cladding cavity as per manufacturers instructions

1

## HORIZONTAL CLADDING DETAIL

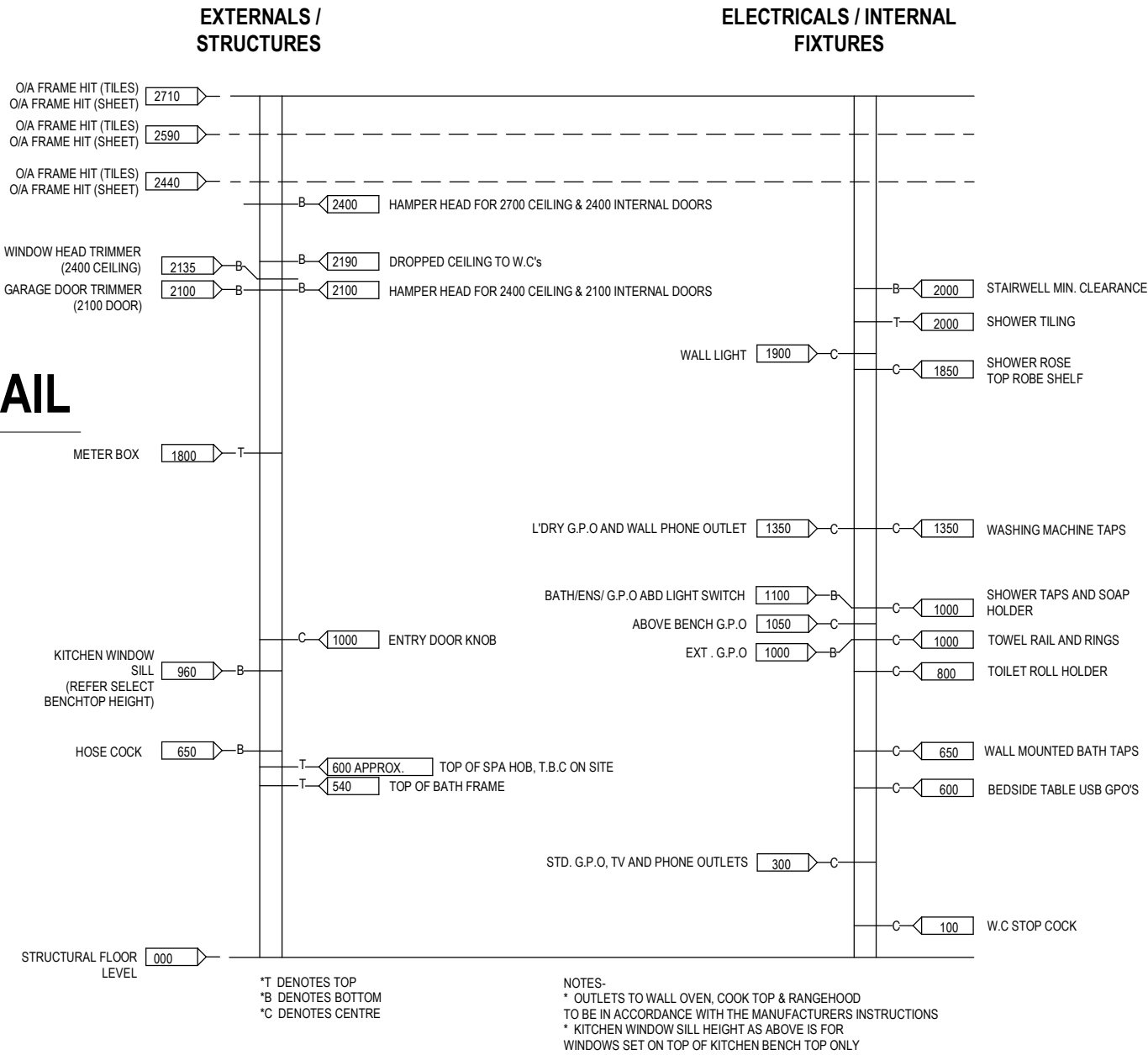
1 : 10 - WITH USE OF CAVITY BATTENS



2

## EXTERNAL DOOR DETAIL

1 : 10 - WITH USE OF CAVITY BATTENS



2740, 2590, and 2440mm high frame

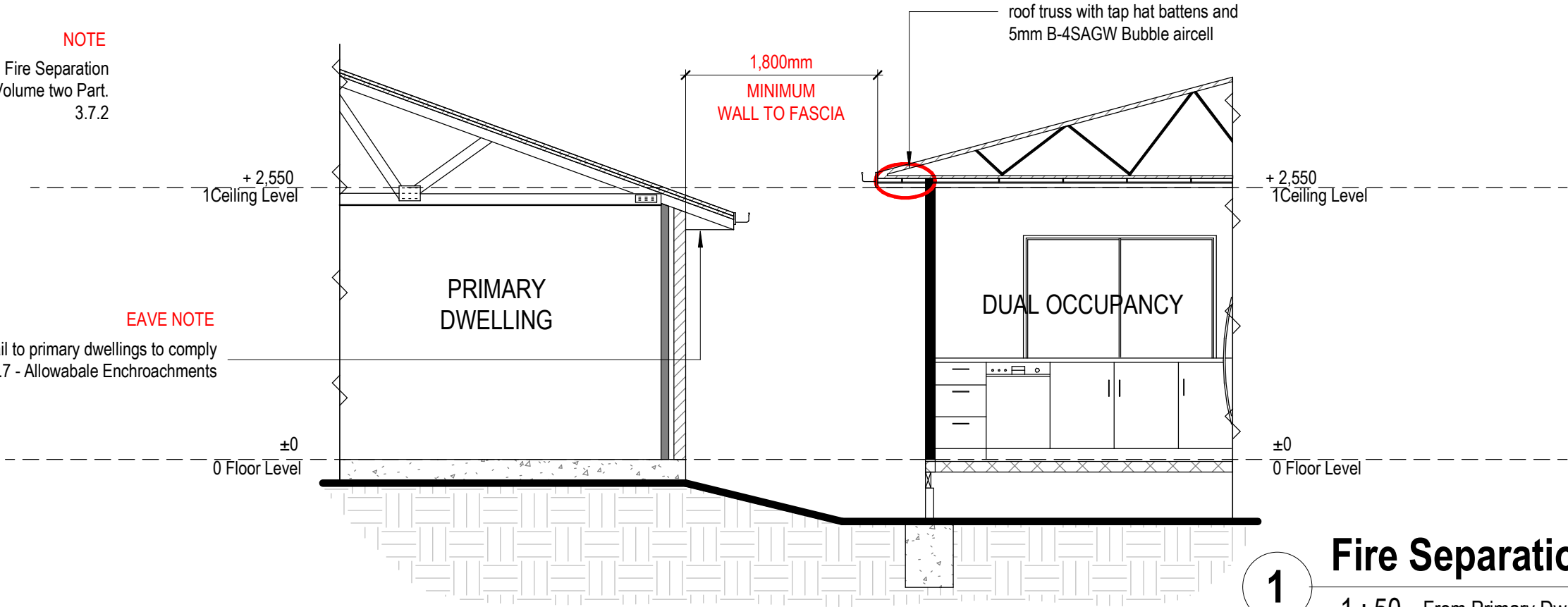
3

## STANDARD HEIGHTS

1 : 20

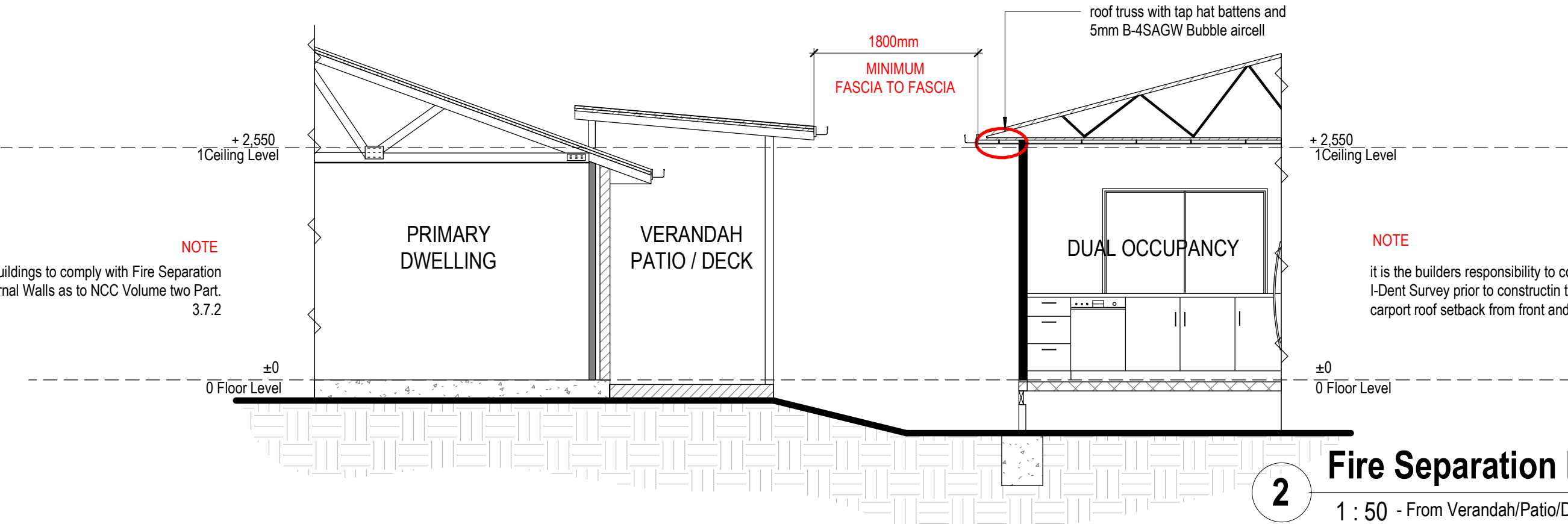
**NOTE**  
all buildings to comply with Fire Separation  
External Walls as to NCC Volume two Part.  
3.7.2

**EAVE NOTE**  
the detail and eave detail to primary dwellings to comply  
with NCC Vol.2 2019 3.7.2.7 - Allowable Enroachments

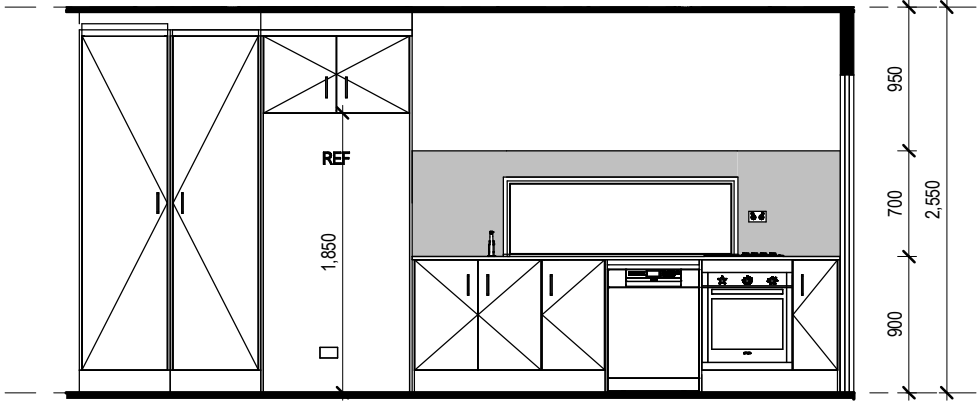
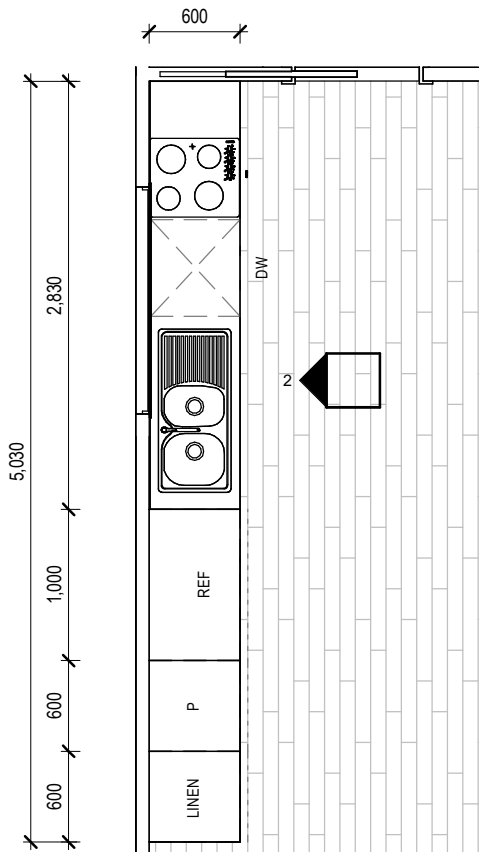


**NOTE**  
all buildings to comply with Fire Separation  
External Walls as to NCC Volume two Part.  
3.7.2

**NOTE**  
it is the builders responsibility to conduct and  
I-Dent Survey prior to constructin to ensure  
carport roof setback from front and side boundaries







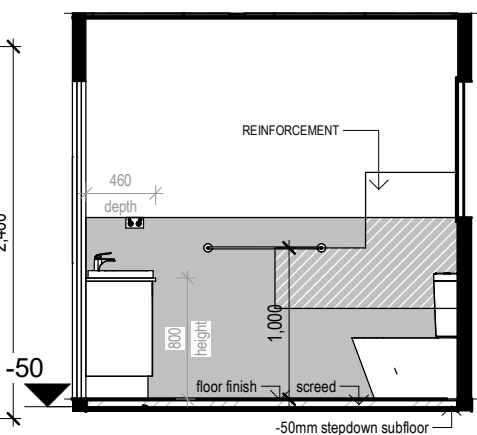
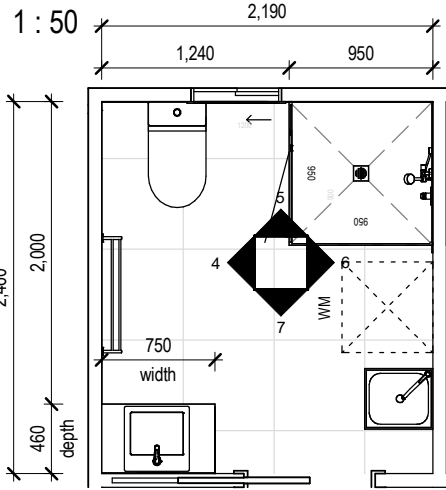
KIT - A  
1 : 50

**NOTE:**  
THIS KITCHEN DESIGN IS FOR DISPLAY ONLY, AND IS NOT  
INDICATIVE OF THE FINAL DESIGN

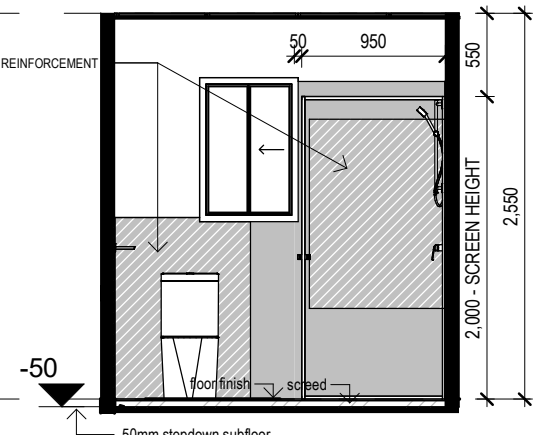
**NOTE:**  
SHOWER TO BE HOBLESS WITH STEP FREE  
ENTRY AND LIP LOWER THAN 5MM

**LEGEND:**  
[Hatched box] LOCATION OF SHEETING FOR WALL  
BEHIND A TOILET PAN, TO A WALL  
ADJACENT TO A TOILET PAN AND FOR  
SHOWER WALLS

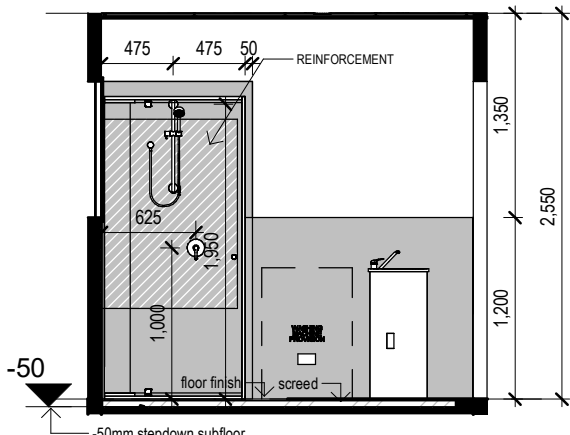
LAYOUT - KIT  
1 : 50



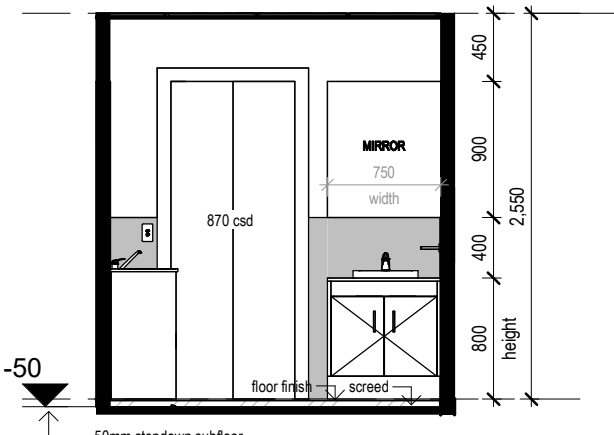
BATH - A  
1 : 50



BATH - B  
1 : 50

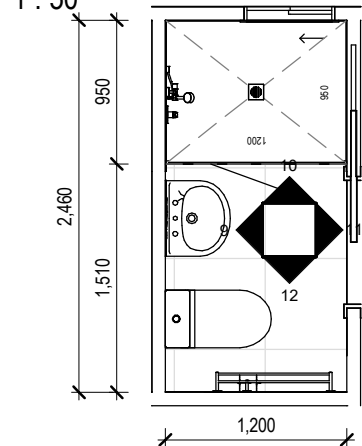


BATH - C  
1 : 50

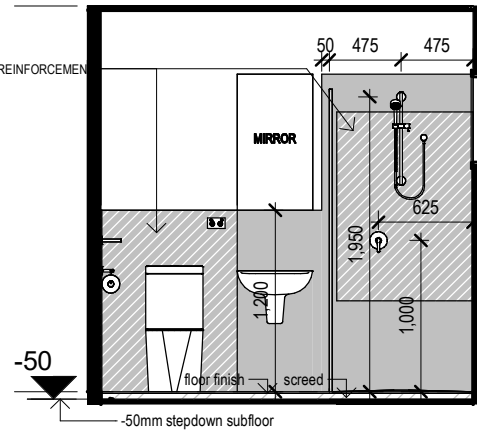


BATH - D  
1 : 50

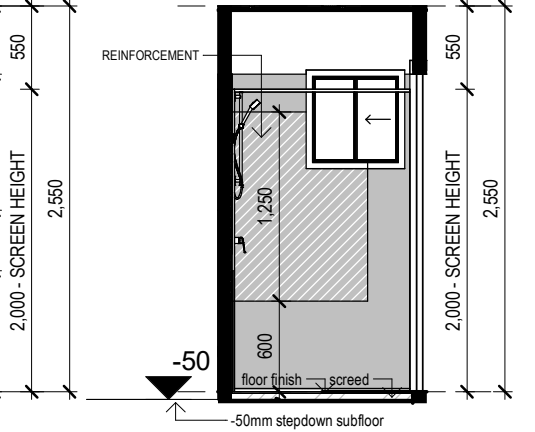
LAYOUT - BATH  
1 : 50



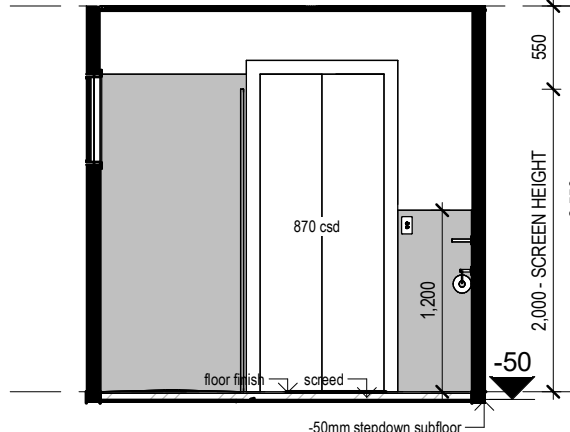
LAYOUT - ENS  
1 : 50



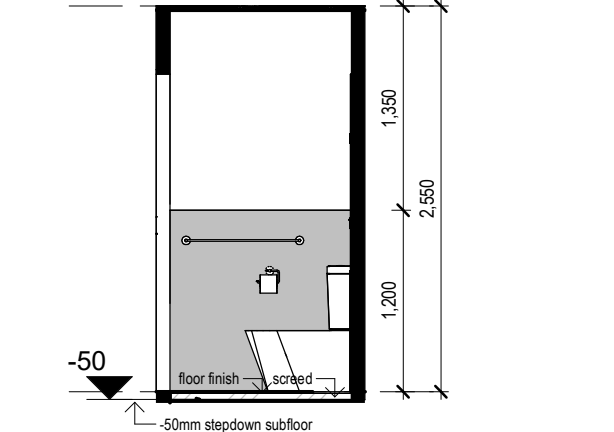
ENS - A  
1 : 50



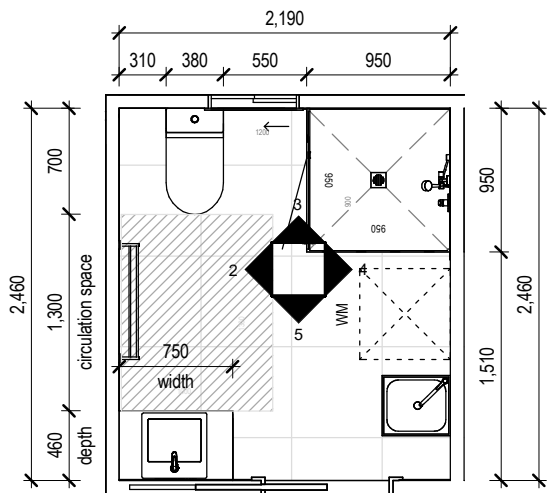
ENS - B  
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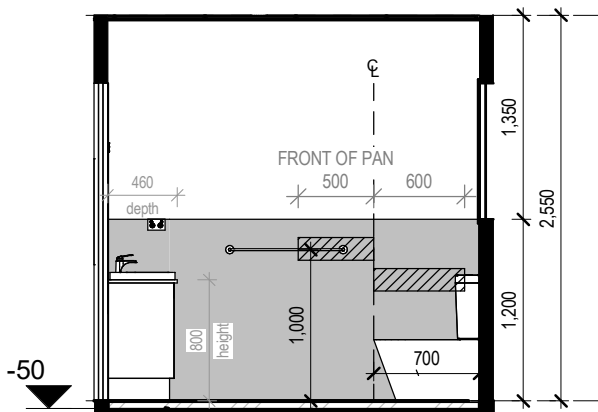
ENS - C  
1 : 50



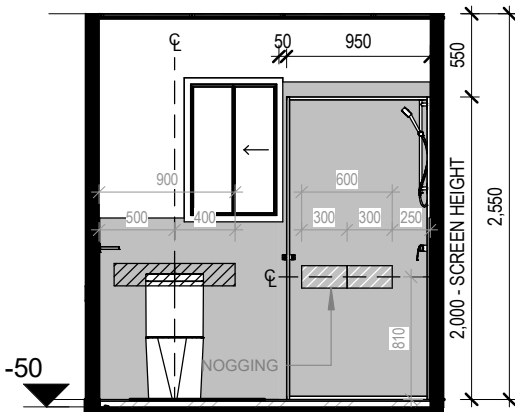
ENS - D  
1 : 50



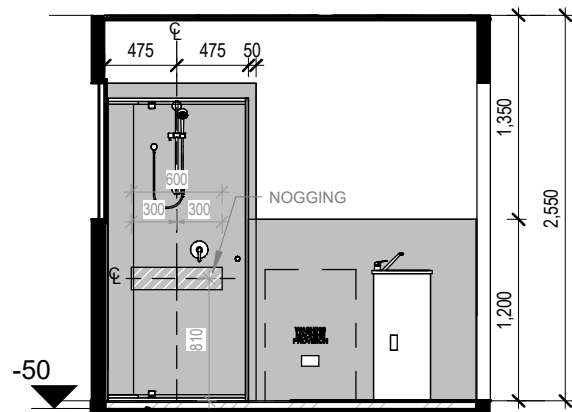
LAYOUT - BATH (detail)  
1 : 50



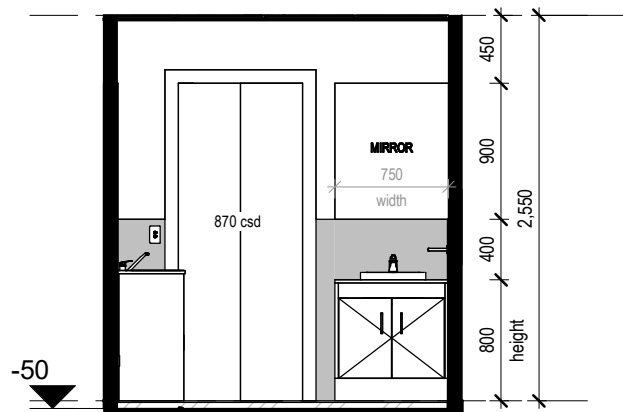
BATH - A (detail)  
1 : 50



BATH - B (detail)  
1 : 50

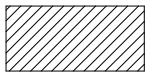


BATH - C (detail)  
1 : 50



BATH - D (detail)  
1 : 50

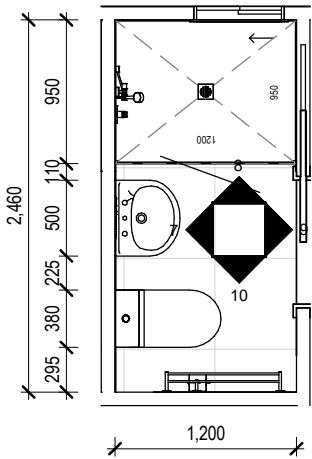
LEGEND:



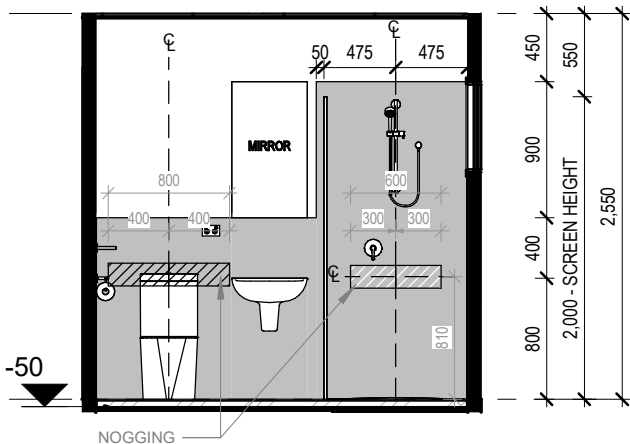
LOCATION OF SHEETING FOR WALL  
BEHIND A TOILET PAN, TO A WALL  
ADJACENT TO A TOILET PAN AND FOR  
SHOWER WALLS

NOTE:

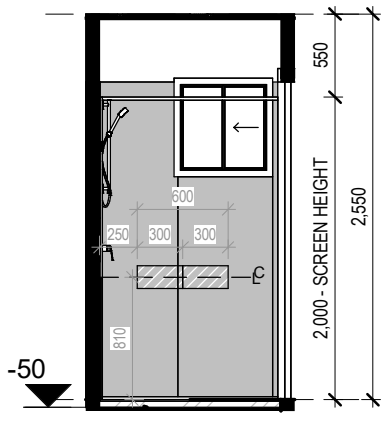
SHOWER TO BE HOBLESS WITH STEP FREE  
ENTRY AND LIP LOWER THAN 5MM



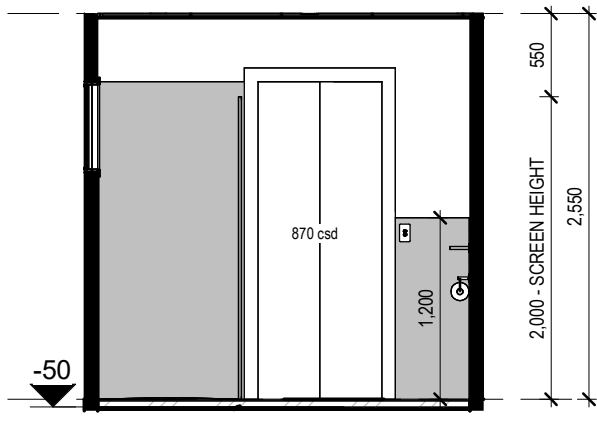
LAYOUT - ENS (detail)  
1 : 50



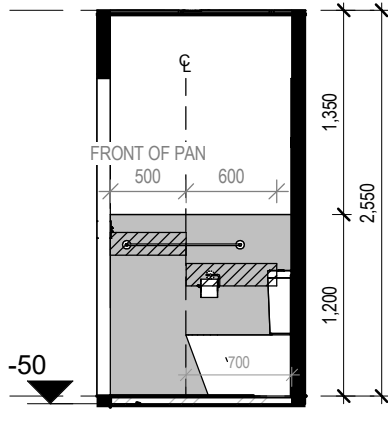
ENS - A (detail)  
1 : 50



ENS - B (detail)  
1 : 50



ENS - C (detail)  
1 : 50



ENS - D (detail)  
1 : 50



Our Ref: CE25039/Proposed Carport – Flood Statement Rev B  
Contact: Lloyd Moloney/Derek Arrowsmith

DC House C/- HPC Planning  
Level 4, Central Tower One  
56 Scarborough St  
SOUTHPORT QLD 4215

12 June 2025

Attention: Mr Todd Grubb

## **Proposed Dual Occupancy @ 26 Berserker St (Lot 31 RP600722) BERSERKER QLD 4701 – Flood Statement**

### **Desktop Review**

Moloney & Sons Engineering (MSE) has been engaged by HPC Planning to provide the following Flood Statement in relation to the newly proposed Dual Occupancy dwelling at 26 Berserker St BERSERKER QLD 4701.



Figure 1 Site Locality

Please refer APPENDIX A for the proposed site layout and plans by DC House Design & Construction.





In accordance with the online ArcGIS Mapping by the Rockhampton Regional Council (RRC) and Local Catchment Flood Overlays 4.4 v, the subject property parcel has been identified as being at risk of flood in a 1% AEP Fitzroy River and Local Creek flooding event and impacted by the North Rockhampton & Fitzroy River Flood Study Overlays. Furthermore, as shown in Figure 2 below the property was previously affected in the 2011 Rockhampton Flood.



Figure 2 Rockhampton 2011 Flood Imagery (RRC Online Mapping)

In support of the subject Material Change of Use application for Dual Occupancy at 26 Berserker Street, we provide the following advice in relation to appropriate hydraulic & flood plain management strategies. This development falls subject to the Flood Hazard Overlay governed by the Defined Flood Event (DFE), in this scenario the Rockhampton Regional Council adopts the 1% AEP as the planning standard for the management of development within the Flood Hazard Overlay area.

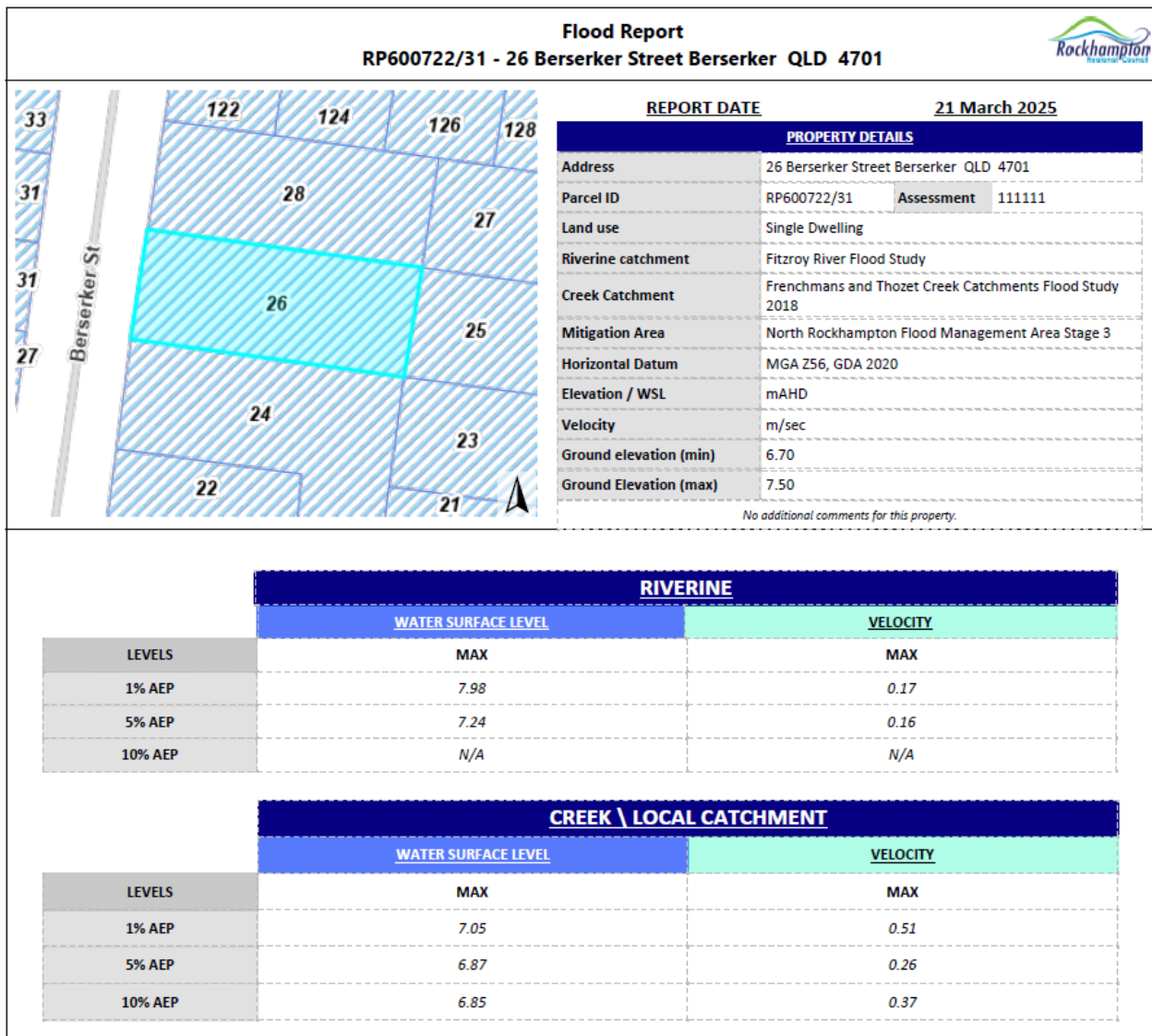


Figure 3 Local & Riverine Peak Flood Results

In accordance with RRC online mapping and the above Figure 3 flood search results the property parcel maintains an approx. natural ground level of RL6.7-7.5m AHD. As the subject property parcel is subject to Riverine Flooding from the Fitzroy River, the slow-moving Riverine 1% AEP Flood impacts will govern in respect to the development. It is noted the existing dwelling is a raised dwelling on stumps, it's finished floor level is not known at the time of writing this report.

### Recommendations

In accordance with the Queensland Urban Drainage Manual for Class 1 & 10 Buildings the newly proposed 70sqm dwelling is to be constructed on steel stumps with a finished floor level of not less than DFE +500mm, necessitating a proposed finished floor level (FFL) of  $\geq 8.48\text{m AHD}$ . It should be noted that all space below the raised dwelling finished floor level is to be non-habitable and un-enclosed area. The development is also to ensure there is zero 'filling' works carried out as part of the construction.

As the proposed carport is to be constructed as a slab on ground (with no filling works) and a finished level to remain as per the existing ground level, any potential afflux (if at all) from this development would be limited to the steel columns from the newly proposed dwelling. Therefore, it would be expected any potential displacement afflux in the event of Riverine Flooding could be in the order of  $\leq 0.067\text{m}^3$ , this displacement is considered neither significant nor notable.





## **Conclusion**

It is the professional opinion of Moloney and Sons Engineering that the construction of the proposed dual occupancy unit and specified FFLs in Appendix A in relation to 26 Berserker St along with the adoption of the abovementioned recommendations the development is expected to have nil to negligible impacts on its immediate surrounding neighbours, which would give rise to any worsening in the way of adverse or actionable damage due to the proposed FLL's and slow-moving/low velocity flooding inundation impacts.

We thank you for your continued assistance with this project and for the efforts that have been expended to reach a mutually agreeable outcome. If you should have any questions at all, please do not hesitate to contact our office and speak with the undersigned.

Yours sincerely

Lloyd Moloney  
Managing Director RPEQ 33682

*for & on behalf of*

**MOLONEY & SONS™**  
ENGINEERING

**Encl.** APPENDIX A – Proposed Dual Occupancy

**Cc** None

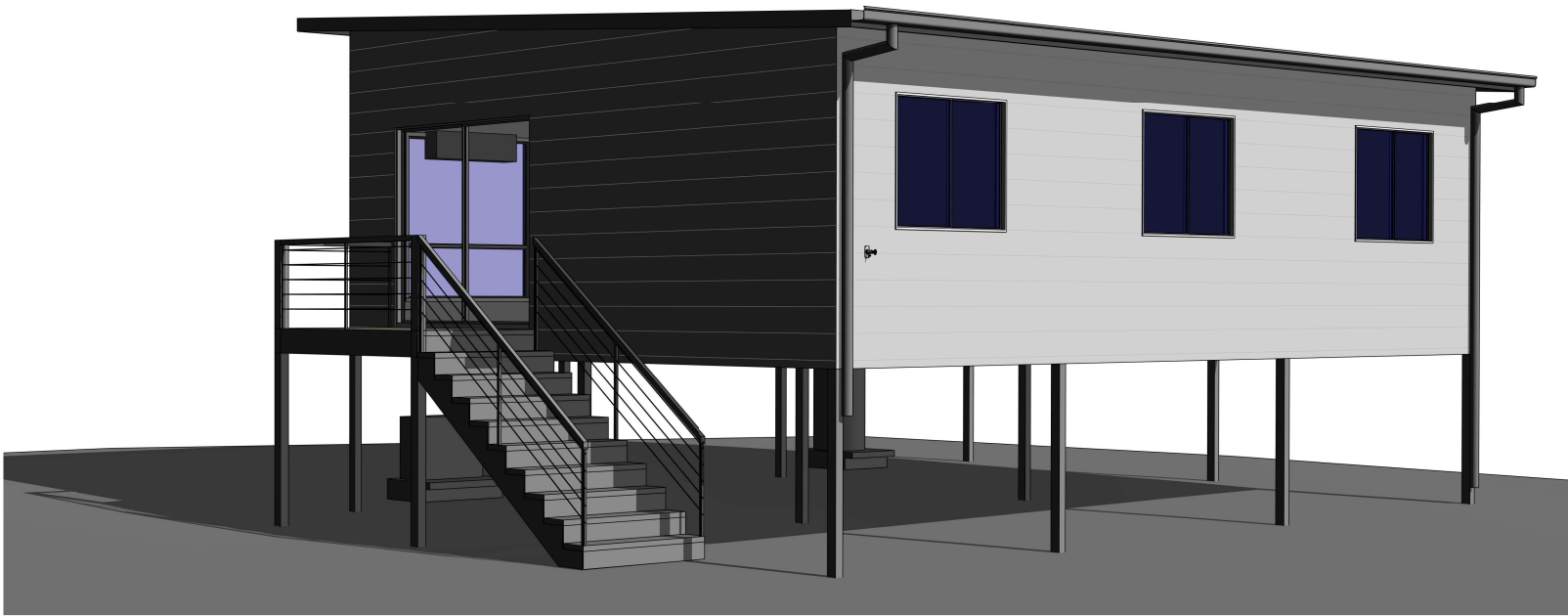


## APPENDIX A



3D View 1 - PROPOSED GRANNY FLAT

DRAWING LIST	
Sheet Name	Sheet Number
PERSPECTIVE	01
GENERAL NOTES	02
GENERAL NOTES	03
SITE	04
GROUND FLOOR PLAN	05
CARPORT PLAN	06
ELEVATIONS	07
SECTION	08
ROOF PLAN	09
ELECTRICAL	10
FLOOR COVERINGS	11
DETAILS	12
FIRE SEPARATION DETAIL	13
CABINETRY DETAIL 1	14
CABINETRY DETAIL 2	15



3D View 2 - PROPOSED GRANNY FLAT

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary

<div><div><div></div><div>DC House</div><div>DESIGN &amp; CONSTRUCTION</div></div><div><div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE</div><div>Ph 07 5635 8990 team@dchouse.com.au</div><div>23-25 Prosper Crescent Burleigh Heads 4220</div><div>QBCC LIC 1310310</div><div>ACN 640 265 974 ABN 19 604 265 974</div><div>© 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div></div></div>	<div>GENERAL NOTES:</div> <div>- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY</div> <div>- WINDOWS DIMENSIONED AS HEIGHT X WIDTH</div> <div>- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH</div>	<div>1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START</div> <div>2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE</div> <div>3. DO NOT SCALE FROM PLAN</div> <div>4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY</div> <div>5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 &amp; AS3600. 1/2009 (A)&amp;(B)</div> <div>6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u></div>	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  DC HOUSE TEAM	DRAWING TITLE:  PERSPECTIVE	JOB NO:  J2056		DESIGN:  DCH 8
			ISSUE / DATE: CERTIFICATION ISSUE TUESDAY,13 MAY 2025				SHEET NO:  01		
			REVISION: REVISION J REVISION K REVISION L				DRAWN BY: KA/MT		
			SITE ADDRESS:  26 Berserker St, Berserker, QLD 4701				CHECKED BY: KA		

# GENERAL NOTES

THIS GENERAL NOTES PAGE REFERS TO CLASS 1 AND 10 BUILDINGS, AND CLASS 2 (BUT IS NOT LIMITED TO) UNDER THE NATIONAL CONSTRUCTION CODE (NCC) 2019. ALL BUILDING WORKS SHALL COMPLY BUT NOT LIMITED TO THE REQUIREMENTS OF THE NCC, THE QUEENSLAND DEVELOPMENT CODE (QDC), THE LOCAL AUTHORITY AND

THE RELEVANT AUSTRALIAN STANDARDS LISTED BELOW. AUSTRALIAN STANDARDS LISTED BELOW APPLY TO ALL BUILDING CLASSES.

DO NOT SCALE FROM PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE IN MILLIMETRES. THE BUILDER & SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF BUILDING WORKS AND ORDERING MATERIALS, AND ARE TO BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE ABOVE MENTIONED PROVISIONS AND REGULATIONS. NOTE SOME PARTS MAY NOT BE RELEVANT TO THIS JOB.

## AUSTRALIAN STANDARDS

- AS2870 - 2011 RESIDENTIAL SLAB AND FOOTING CONSTRUCTION
- AS3660 - 2000 & 2004 BARRIERS FOR SUBTERANNEAN TERMITES
- AS3600 - 2009 CONCRETE STRUCTURES & AS4671 - 2001 REINFORCING STEEL IN CONCRETE AND MASONRY
- AS3700 - 2011 MASONRY IN BUILDINGS
- AS1684 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION 1 & 2 STOREYS / AS1720 - 2010 FOR ALL OTHER TIMBER FRAME STRUCTURES
- AS4055 - 1992 WIND LOADINGS FOR HOUSING
- AS4100 - 1996 STEEL STRUCTURES
- AS2904 - 1995 DAMP PROOF COURSES & FLASHINGS
- AS1562 - 1992 INSTALLATION OF METAL SHEET ROOF AND WALL CLADDING
- AS2050 - 1995 INSTALLATION OF ROOF TILES
- AS3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS1657 - 2013 - STAIRS, LADDERS & PLATFORMS
- AS1859 - 2004 - RECONSTITUTED WOOD BASED PANELS / WET PROCESSED FIBREBOARD
- AS2047 - 2014 - WINDOWS IN BUILDING - SELECTION AND INSTALLATION / AS4505 - 2012 GARAGE DOORS & LARGE ACCESS DOORS
- AS1276 - 1999 - ACOUSTICS & RATING OF SOUND INSULATION IN BUILDINGS

- AS1288 - 2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS3786 - 1993 & 2004 - SMOKE ALARMS
- AS1530 - 2007 FIRE TEST FOR ALL BUILDING MATERIALS
- AS3000 - 2003 ELECTRICAL WIRING
- AS3500 - 2003 & 2012 - PLUMBING & DRAINAGE
- AS5601 SET 2010 - INSTALLATION OF GAS
- AS1576.1 - 2010 SCAFFOLDING GENERAL REQUIREMENTS
- AS4994 - 2009 TEMPORARY ROOF EDGE PROTECTION INSTALLATION
- AS4859 - 2009 MATERIALS FOR THE THERMAL INSULATION OF A BUILDING
- AS2589 - 2007 GYPSUM LINING - PLASTERING APPLICATION
- AS3958 - 2007 INSTALLATION OF CERAMIC TILING
- AS3959 - 2009 - BUILDING IN BUSHFIRE PRONE AREAS
- AS4654 - 2012 - WATERPROOFING MEMBRANES FOR ABOVE GROUND EXTERNAL USE
- AS1668 - 2012 - AIR CONDITIONING & MECHANICAL VENTILATION / AS4254 2012 DUCTWORK
- AS1926 - 2012, 2007, 2010 - SWIMMING POOL SAFETY / BARRIERS
- AS4072 - 2005 - FIRE RESISTANT SEPERATING ELEMENTS

LEGEND	
NCC	NATIONAL CONSTRUCTION CODE (BUILDING CODE)
QDC	QUEENSLAND DEVELOPMENT CODE
AS	AUSTRALIAN STANDARDS
AHD	AUSTRALIAN HEIGHT DATUM
FW	FLOOR WASTE
DP	DOWNPIPE
SD	SLIDING DOOR
CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW
LW	LOUVRE WINDOW
FG	FIXED GLASS
AW	AWNING WINDOW
DH	DOUBLE HUNG WINDOW
SH	SINGLE HUNG WINDOW
WC	WATER CLOSET
WIR	WALK IN ROBE
LB	LOAD BEARING
GL	GROUND LEVEL
FL / MFL	FLOOR LEVEL / MAIN FLOOR LEVEL
FFL	FINISHED FLOOR LEVEL
FRF	FIRE RATED DOOR FURNITURE

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. FOR SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEER'S SOIL TEST.
- ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITES IN ACCORDANCE WITH AS3660.1/2004 (A) & (B) AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING THE TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS 3600.1/2009.
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: ALL ROOMS WITHIN 500mm VERTICAL OFF THE FLOOR, BATHROOMS WITHIN 1500mm VERTICAL OF THE BATH BASE, FULLY GLAZED DOORS, SHOWER SCREENS, WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL.
- WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITHIN MANUFACTURER, FLASHING ALL AROUND.
- ALL GUTTERS TO BE STRAMIT QUEENSLANDER QUAD GUTTERING WITH MIN. 100 X 75 RECTANGULAR OR 100 dia. DOWNPIPES TO SERVICE A MAX. 36m2OF ROOF AREA, IN ACCORDANCE WITH AS3500.2003, THE NCC VOL 2. PART 3.1.2 & 3.5.2, AND THE QDC PART NMP 1.8.
- STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT LOCAL AUTHORITY.
- FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENCED SURVEYOR.
- TILED DECKS OVER LIVEABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUFACTURERS SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.
- ALL WET AREAS TO COMPLY WITH NCC VOL 2. PART 3.8.1 AND AS3740 - 2010. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF WALL.
- FOR BRICK VENEER CONSTRUCTION PROVIDE BRICK TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS.
- SUB-FLOOR VENTILATION MIN. 7500mm2 FOR EXTERNAL WALLS AND 1500mm2 FOR INTERNAL WALLS BELOW BEARER.
- THERMAL INSULATION TO BE MINIMUM R3.0 BATTS TO CEILING AND R1.5 BATTS TO WALLS AND R1.0 REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING. REFER AS4859 - 2009.
- STAIR REQUIREMENTS: MINIMUM TREAD GOING 240mm AND MAXIMUM 355mm, MINIMUM RISER 115mm AND MAXIMUM 190mm. SLOPE RELATIONSHIP IS 2R + G = 550mm - 700mm. SPACE BETWEEN OPEN TREADS TO BE MAXIMUM 125mm. STAIRS MUST NOT BE MORE THAN 18 RISERS IN ONE FLIGHT OR LESS THAN 2 RISERS. LANDINGS TO BE NOT LESS THAN 750mm. STAIRS TO COMPLY WITH NCC VOL 2 PART 3.9.1. AND AS 1657.2013.
- BALLUSTRADING TO BE MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL WITH A MAX OPENING OF 125mm AND IN ACCORDANCE WITH NCC VOL 2 PART 3.9.2. FOR STAINLESS STEEL BALLUSTRADING REFER TABLE 3.9.2.1. OF THE NCC VOL 2.
- PROVIDE LIFT OFF HINGES TO W.C. OR OPEN OUT OR MINIMUM 1200mm CLEARANCE FROM DOOR TO PAN.
- EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE AND AS PER AS1668.2
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF THE EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE AUTHOR.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED. IT IS HIGHLY RECOMMENDED FOR ALL EXISTING ENTRY/EXIT DOOR FURNITURE TO BE ADDRESSED FOR FIRE SAFETY
- ALL CLADDING SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS - MANUFACTURERS SPECS. SUPERSEDE THIS DOCUMENTATION SPECS.

## SITE PLAN & DRAINAGE NOTES

- ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH THE NCC VOL 2. PARTS 3.1.2 & 3.5.2, AS3500.2003 AND QDC NMP1.8.
- ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS TO THE LOCAL AUTHORITY REQUIREMENTS.
- THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING AND SURFACE WATER TO BE CHanneled TO COUNCIL STORMWATER DRAINAGE SYSTEM.
- THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
- ROOFWATER DOWNPIPES TO CONNECT TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER PVC.
- STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80, DISCHARGE TO COMPLY WITH THE LOCAL AUTHORITY REGULATION.
- 2 DOWNPIPES MAXIMUM TO EACH 100mm STORMWATER PIPE, SURFACE PIPES TO BE 100mm IN DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END AND IS TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.
- LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
- VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
- ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS1926.2007.

## FLOOR PLAN NOTES

- THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
- WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE.
- 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STAR WELS RATING. PROVIDE LIFT OFF HINGES TO TOILET DOOR.
- ROBE SHELVES AT 1700mm ABOVE FLOOR WITH RAIL UNDER, WALK IN ROBES AT 1800mm / 2100 FOR DOUBLE RAIL. LINEN, PANTRY AND STORES TO HAVE 4 NUMBERS OF SHELVES BROOM CUPBOARDS SHELF AT 1600mm.
- ALL HANDRAILS TO BE FINISHED AT 1050mm ABOVE FINISHED FLOOR LEVEL.
- PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO RANGEHOOD SPACE & GARAGE DOOR MOTOR. PROVIDE GPO TO FRIDGE SPACE.
- 70mm WALL FRAMES TO HAVE R2.0 WALL BATTS & 90mm FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.5 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 CEILING BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
- DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
- DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

## SUSTAINABILITY NOTES

- WATER SAVINGS TARGETS - CLASS 1 BUILDINGS SUPPLIED DIRECTLY WITH WATER FROM THE RETICULATED TOWN WATER SYSTEM MUST ACHIEVE WATER SAVINGS TARGETS OF 70KL PER YEAR FOR NEW DETACHED HOUSES AND 42KL PER YEAR FOR OTHER NEW CLASS 1 DWELLINGS.
- MINIMUM 4 STAR WELS RATING TAPS ARE TO BE USED INTERNALLY FOR ALL BATHROOM AND KITCHEN TAPS AND ALL WHITEGOODS. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM 4 STAR WELS RATING. SHOWER HEADS ARE TO BE A MINIMUM OF 3 STAR WELS RATING.
- ENERGY EFFICIENCY TO QDC PART 4.1 AND NCC VOL 2. PART 3.12.
- GAS SYSTEM TO BE MINIMUM 5 STAR AGA ENERGY RATING (SUPPLY FROM RETICULATED NATURAL GAS OR LPG BOTTLES).

<div></div> <div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE Ph 07 5635 8990 team@dchouse.com.au 23-25 Prosper Crescent Burleigh Heads 4220 QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974 © 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div>	<div>GENERAL NOTES:</div> <div>- REFRIGIRATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH</div>	<div>1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 &amp; AS3600. 1/2009 (A)&amp;(B) 6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u></div>	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  DC HOUSE TEAM	DRAWING TITLE:  GENERAL NOTES	JOB NO:  J2056		DESIGN:  DCH 8
			ISSUE / DATE: CERTIFICATION ISSUE TUESDAY,13 MAY 2025				SHEET NO:  02		
			REVISION: REVISION J REVISION K REVISION L				DRAWN BY: KA/MT		
			SITE ADDRESS:  26 Berserker St, Berserker, QLD 4701				CHECKED BY: KA		





**SITE GENERAL NOTES:**

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.

4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.

5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.

6. IT IS RECOMMENDED TO OBTAIN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO COMMENCEMENT OF WORK.

7. SEWER TO HOUSE CONNECTION AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, SUBJECT TO SURVEY OR SERVICE LOCATION

**SITE PREPARATION & DRAINAGE NOTES:**

1. ROOFWATER TO BE PIPED VIA 100mm Ø PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL.
3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSF TO BE REVIEWED BY A QUALIFIED CONSULTANT
4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER NCC VOL 2. PART 3.2.
5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO NCC VOL 2. PART 3.5.2.
6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTICING STRUCTURAL ENGINEER (RPEQ).

**TERMITE PROTECTION:**

1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2004 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

**REAL PROPERTY DESCRIPTION**

26 Berserker St, Berserker, QLD 4701

**ADDRESS:**

**SITE AREA:** 1011.57m<sup>2</sup>

**LOT NUMBER:** 31

**PLAN NUMBER:** RP600722

**PARISH:**

**COUNTY:**

**LOCAL AUTHORITY:** Rockhampton City Council

**BUILDING AREA:** 187.07m<sup>2</sup>

**SITE COVERAGE:** 18%

**SURVEYING NOTE**

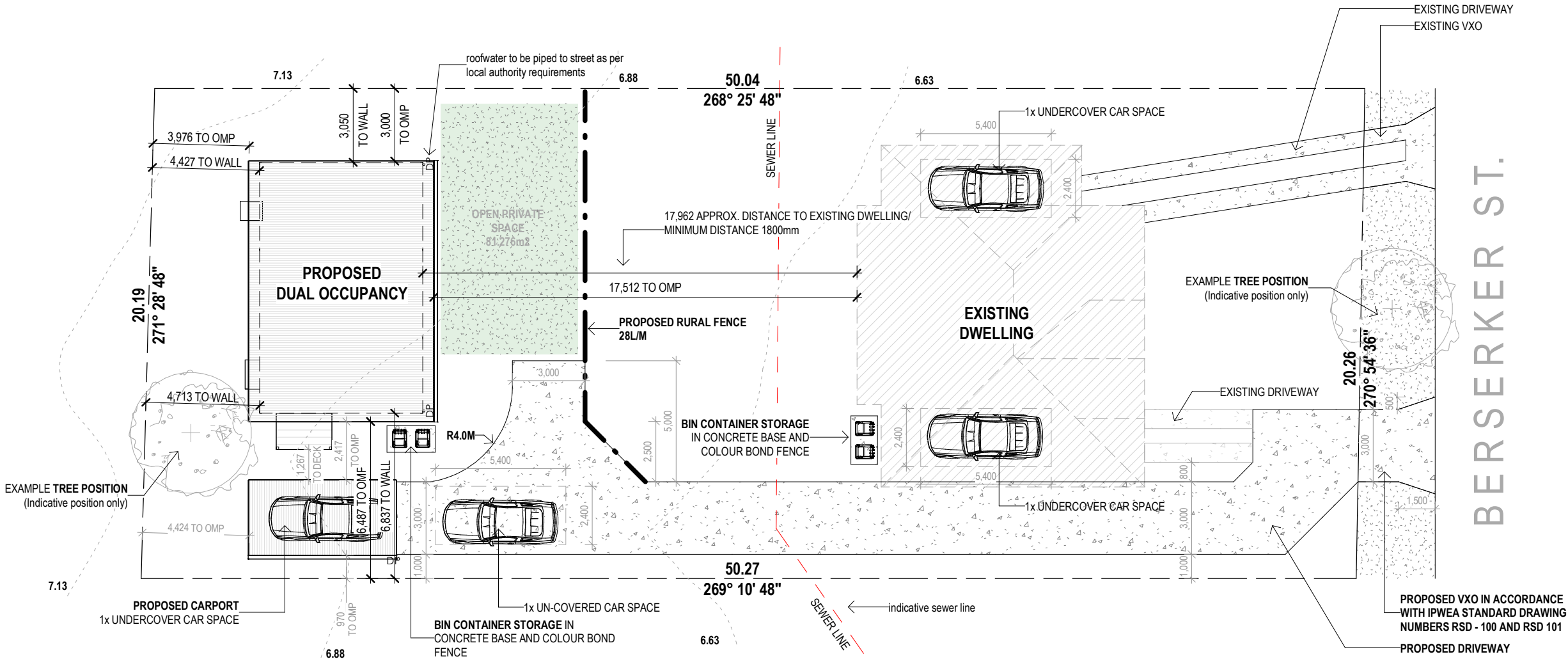
CONTOUR / DETAIL SURVEY / LEVELS NOT PROVIDED BY OWNER.

IT IS RECOMMENDED TO CARRY OUT A DETAIL SURVEY PRIOR TO FINALISING DESIGN, AND ANY DISCREPANCIES RESOLVE WITH THIS OFFICE.

IT IS THE BUILDER'S RESPONSIBILITY TO CONDUCT AN I DENT SURVEY AND SEWER LOCATION PRIOR TO CONSTRUCTION

**DUAL OCCUPANCY NOTES**

- car parking spaces to comply with AS2890.1 - 2 covered and 2 uncovered
- setbacks in accordance with QDC MP1.3
- prior to construction builder to locate sewer line and ensure footing setback is 1200mm minimum from sewer, clearance above sewer connection 2500mm minimum -
- to comply with QDC part MP1.4
- any alteration to existing vehicular crossovers to comply with the local authority requirements



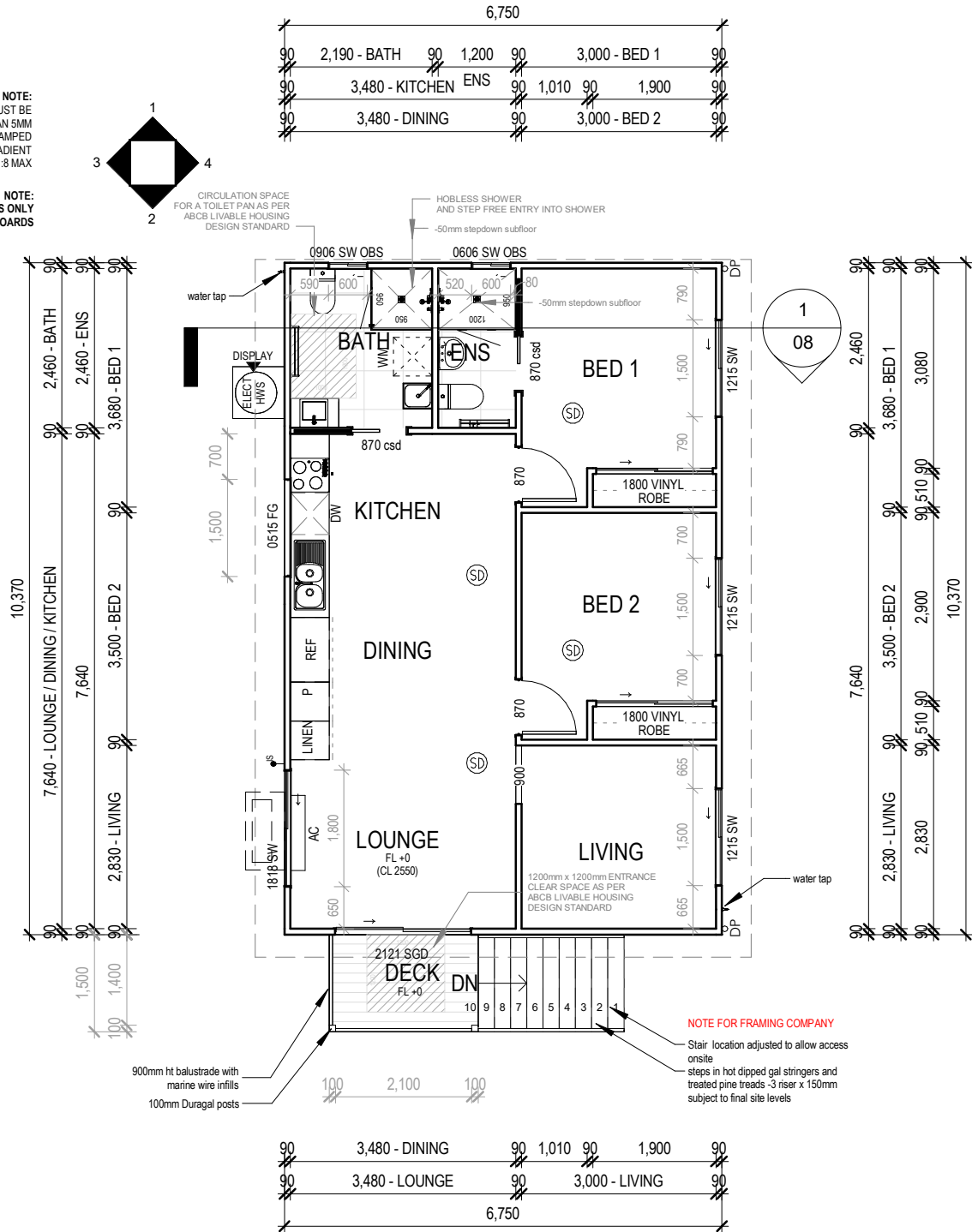
**1** Site Plan  
1 : 200

FLOOR PLAN NOTES

- SOME PARTS MAY NOT BE RELEVANT TO THIS JOB
- DO NOT SCALE FROM PLAN & DO NOT SCALE WINDOW & DOOR LOCATIONS FROM PLAN. IF IN DOUBT CONTACT THE DESIGNER OR BUILDER.
  - THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
  - WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE. CONTACT THIS OFFICE IF IN DOUBT OF WINDOW POSITION.
  - ALL NEW OR REPLACED WINDOWS ARE DIMENSIONED, EXISTING UNCHANGED WINDOWS ARE LEFT UN-DIMENSIONED.
  - 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY.
  - TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STARS WELS RATING.
  - PROVIDE LIFT OFF HINGES TO TOILET DOOR.
  - ROBE SHELVES AT 1700MM ABOVE FLOOR WITH RAIL UNDER. WALK IN ROBES AT 1800MM / 2100 FOR DOUBLE RAIL LINEN, PANTRY AND STORES TO HAVE A 4 NUMBERS OF SHELVES. BROOM CUPBOARDS SHELF AT 1600MM.
  - SQ. SET DOOR HAMPERS ARE TO BE SQUARE SET AND 2100MM HEAD HEIGHT OR TO MATCH INTERNAL DOOR HEIGHTS.
  - ALL HANDRAILS TO BE FINISHED AT 1050MM ABOVE FINISHED FLOOR LEVEL.
  - PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO FRIDGE & RANGEHOOD SPACE.
  - 70MM WALL FRAMES TO HAVE R1.5 WALL BATTS & 90MM FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.0 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
  - DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
  - DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.
  - ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED, IT IS HIGHLY RECOMMENDED FOR BUILDER & OWNERS TO ADDRESS EXISTING ENTRY/EXIT DOOR FURNITURE FOR SAFETY RATING.
  - ALL BATHROOMS TO HAVE FLOOR WASTES IN ACCORDANCE WITH AS3740 OR SHOWERS TO HAVE MINIMUM 900MM WIDE PANEL.
  - STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEANT TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.
  - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME

NOTE:  
THRESHOLDS FOR INTERNAL DOOR MUST BE LEVEL OR HAVE A HEIGHT NO MORE THAN 5MM IF THE LIP IS ROUNDED OR BEVELLED OR BE RAMPED WITH THE DEPTH OF THE DOOR FRAME AND HAVE A GRADIENT 1:8 MAX

NOTE:  
- KITCHENS ARE FOR VISUAL PURPOSES ONLY  
- DECKING BOARDS TO HAVE 8mm MINIMUM GAPS IN BETWEEN BOARDS



# Ground Floor Plan

1 : 100

WALL & CEILING INSULATION

R.20 BATTS TO EXTERNALL WALL 70 & 90MM FRAMES  
R3.0 BATTS TO CEILING  
ALL WALLS AND ROOF FRAME TO HAVE R.10  
SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)  
WEATHER SEALS TO ALL DOORS & WINDOWS  
NOTE: FINAL BUILDING COLOURS MAY EFFECT R-  
VALUES REFER ENERGY REPORT

WALL CLADDING NOTE

PROVIDE CAVITY BATTEN BETWEEN CLADDING AND  
FRAME - SEE DETAILS PAGE  
ALL CLADDINGS TO BE INSTALLED TO  
MANUFACTURER SPECIFICATIONS

FLOOR PLAN LEGEND

- SD SMOKE ALARM PHOTOELECTRIC
- DOWNPIPE LOCATION
- MH MANHOLE LOCATION
- ELECT HWS HOT WATER SERVICE
- ELECT MB ELECTRICAL METERBOARD TBD
- CJ VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8
- NB: SEE GENERAL NOTES FOR ABBREVIATIONS

EST FLOOR AREAS

Names	Area m2
Verandah	3.45
GF LIVING	70.00
	73.45

WINDOWS & EXTERNAL DOORS

Family and Type	Width	Height	Comments
Fixed: 0515 FG	1500	500	External aluminium window and door frames
SGD 2 Panel: 2121 SGD	2100	2100	External aluminium window and door frames
SW 4 Panel: 1818 SW	1800	1800	External aluminium window and door frames
SW: 0606 SW OBS	600	600	External aluminium window and door frames
SW: 0906 SW OBS	600	900	External aluminium window and door frames
SW: 1215 SW	1500	1200	External aluminium window and door frames



PREPARED FOR EXCLUSIVE USE FOR DC HOUSE  
Ph 07 5635 8990 team@dchouse.com.au  
23-25 Prosper Crescent Burleigh Heads 4220  
QBCC LIC 1310310  
ACN 640 265 974 ABN 19 604 265 974  
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GENERAL NOTES:  
- REFRIGIRATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY  
- WINDOWS DIMENSIONED AS HEIGHT X WIDTH  
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

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- DO NOT SCALE FROM PLAN
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- TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)
- ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:  
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:  
CERTIFICATION  
ISSUE  
TUESDAY,13 MAY  
2025

REVISION:  
REVISION J  
REVISION K  
REVISION L

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

26 Berserker St, Berserker, QLD 4701

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE:  
1 : 100 A3

JOB NO:

J2056

SHEET NO:

05

DRAWN BY:

KA/MT

CHECKED BY:

KA

DESIGN:

DCH 8

FLOOR PLAN NOTES

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




WALL & CEILING INSULATION

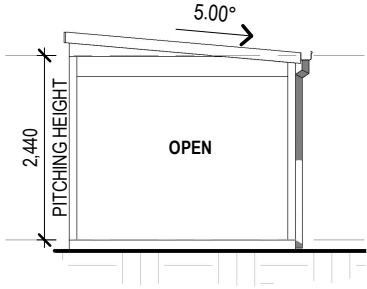
- R.20 BATTS TO EXTERNALL WALL 70 & 90MM FRAMES  
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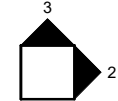
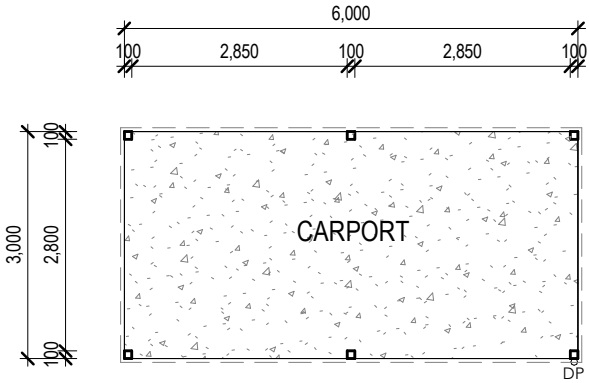
FLOOR PLAN LEGEND

-  SMOKE ALARM  
PHOTOELECTRIC
-  DOWNPIPE LOCATION
-  MANHOLE LOCATION
-  HOT WATER SERVICE
-  ELECTRICAL METERBOARD  
TBD
-  VERTICAL CONSTRUCTION  
JOINTS TO BE CONSTRUCTED  
IN ACCORDANCE WITH BCA  
VOLUME 2 CL. 3.3.1.8
- NB: SEE GENERAL NOTES FOR ABBREVIATIONS



Elevation - A

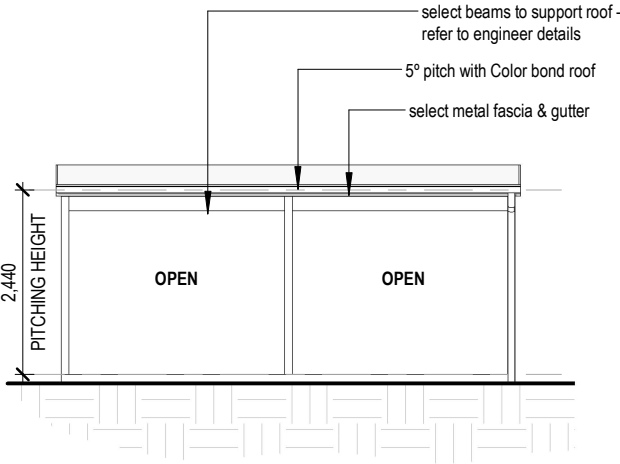
1 : 100



NOTE:  
PROPOSED CARPORT IS TO BE CONSTRUCTED AS A  
SLAB ON GROUND AND A FINISHED LEVEL TO REMAIN  
AS PER THE EXISTING GROUND LEVEL

Proposed Carport Plan

1 : 100



Elevation - B

1 : 100

PREPARED FOR EXCLUSIVE USE FOR DC HOUSE

Ph 07 5635 8990 team@dchouse.com.au

23-25 Prosper Crescent Burleigh Heads 4220

QBCC LIC 1310310

ACN 640 265 974 ABN 19 604 265 974

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ISSUE / DATE:

CERTIFICATION

ISSUE

TUESDAY,13 MAY

2025

REVISION:

REVISION J

REVISION K

REVISION L

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

26 Berserker St, Berserker, QLD 4701

DRAWING TITLE:

CARPORT PLAN

SCALE:

1 : 100

A3

JOB NO:

J2056

SHEET NO:

06

DRAWN BY:

KA/MT

CHECKED BY:

KA

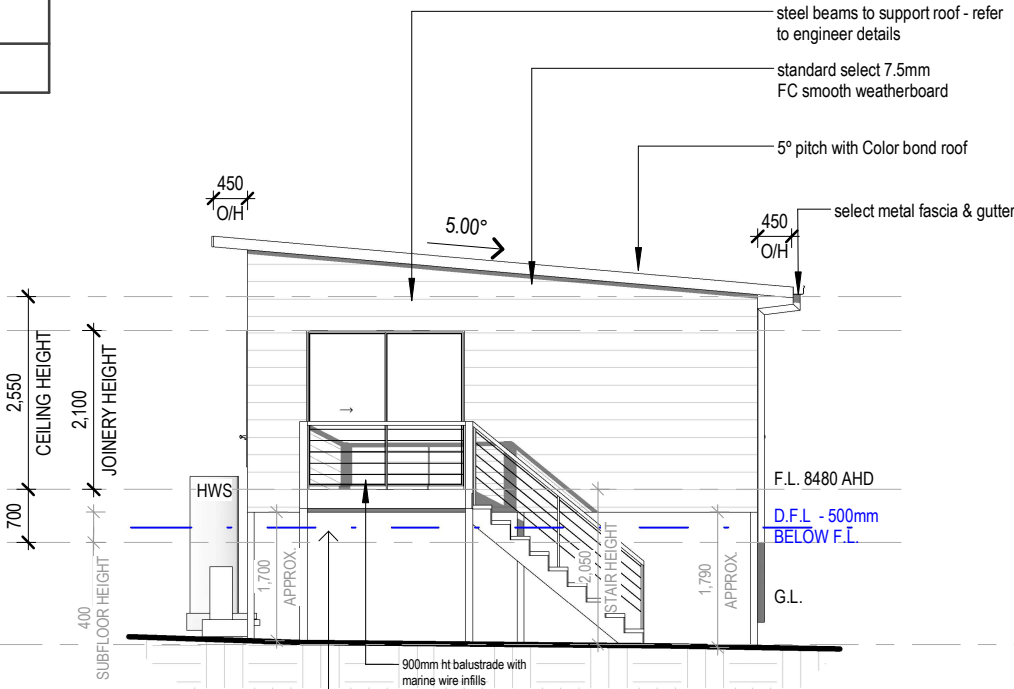
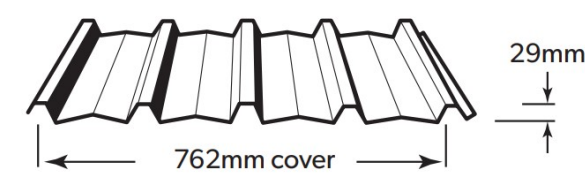
DESIGN:

DCH 8

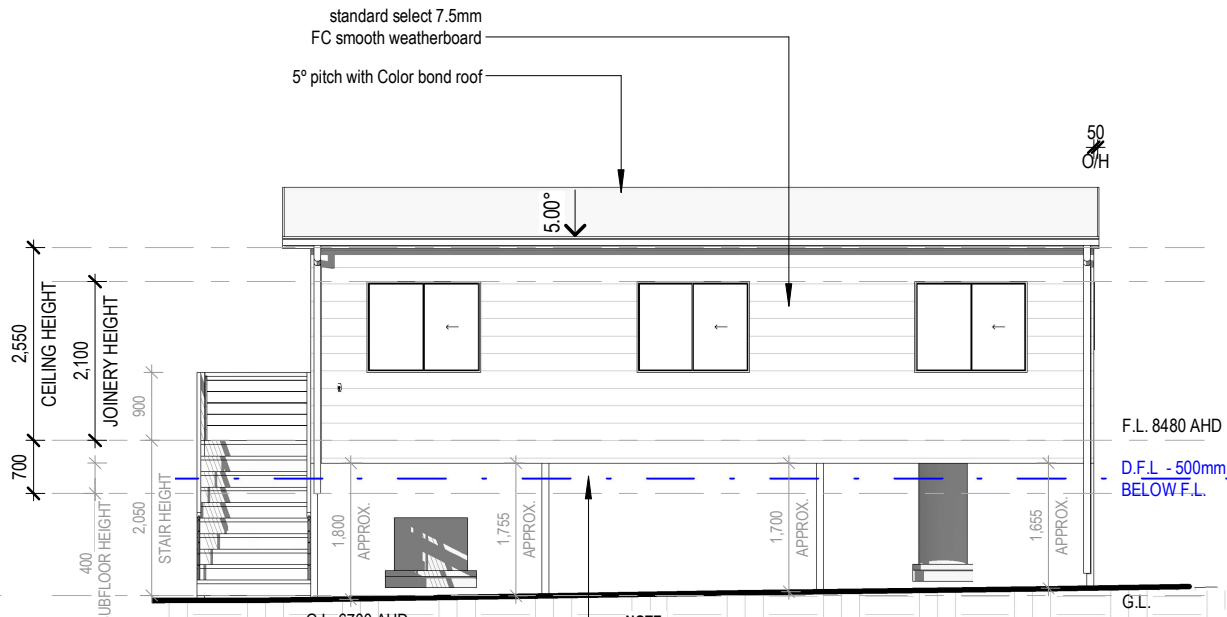


EST EXTERNAL WALLS				
Family and Type	Length	Area m2	Function	Comments
Basic Wall: Baseboards	6680	4.01	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Baseboards	10300	6.18	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Stud 90mm weatherboard cladding	6660	38.02	Exterior	standard select 7.5mm FC smooth weatherboard
Basic Wall: Stud 90mm weatherboard cladding	10280	58.26	Exterior	standard select 7.5mm FC smooth weatherboard
Grand total		106.47		

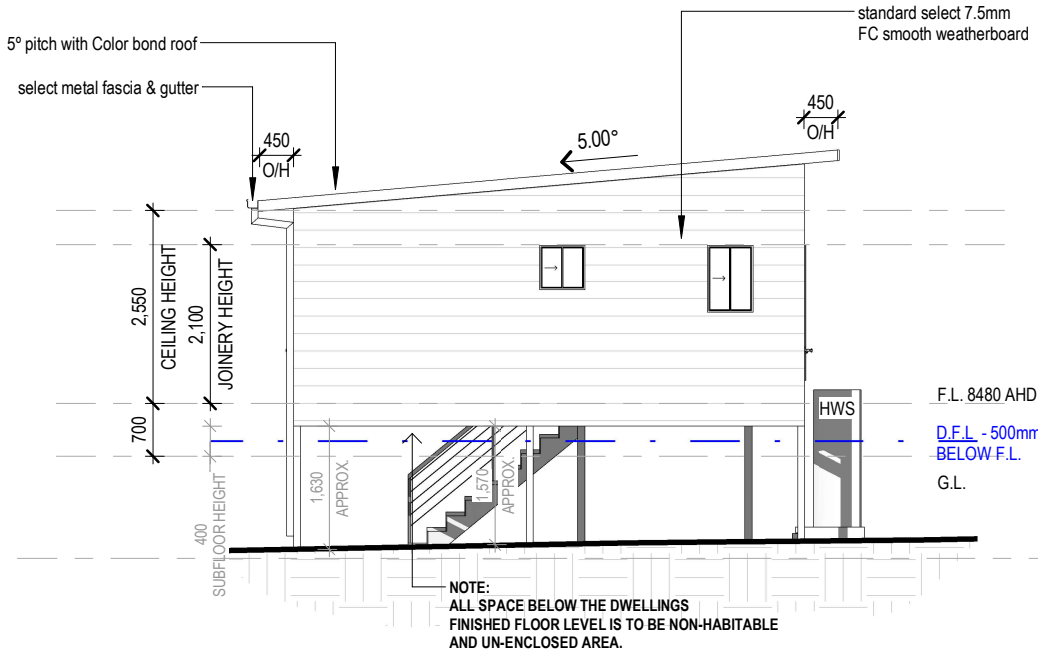
TRIMDEK® cladding has a subtle square-fluted profile, available in long lengths, so on most jobs you can have one sheet from ridge to gutter without end-laps.  
TRIMDEK® cladding is made of high strength steel and despite its lightness, provides excellent spanning and rainwater carrying capacity.  
The strength, spanning ability, lightness and rigidity of TRIMDEK® cladding permits wide support spacings to be used with safety.



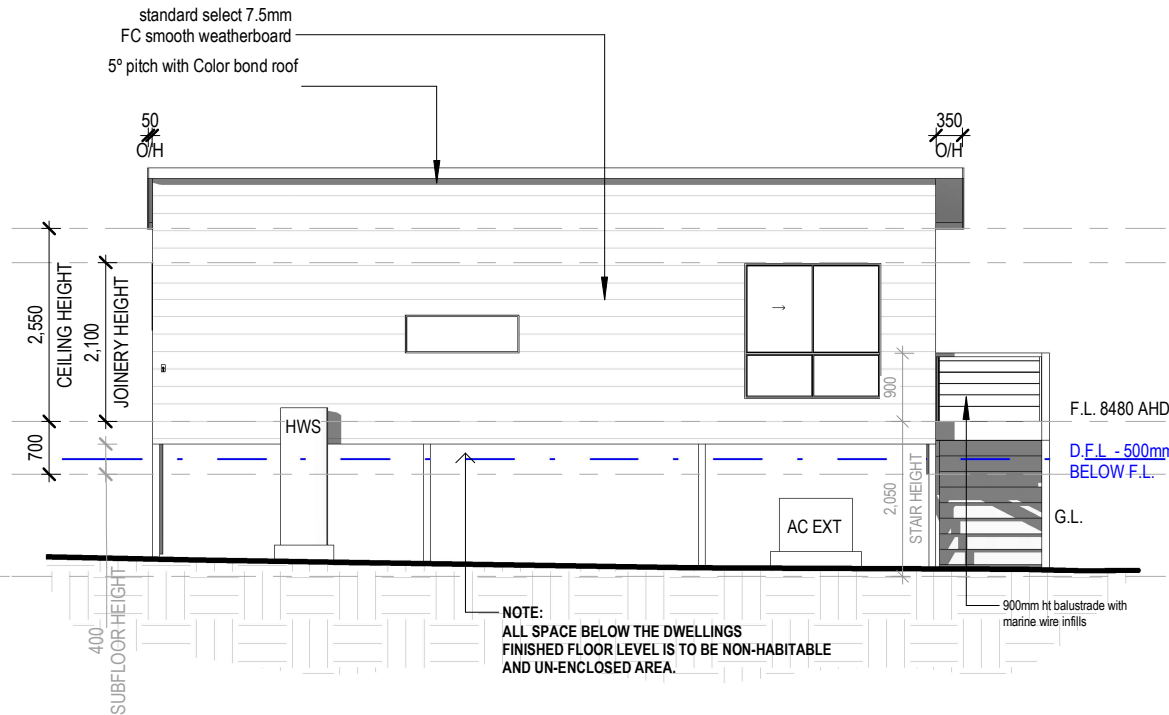
1 Elevation A  
1 : 100



3 Elevation C  
1 : 100



2 Elevation B  
1 : 100



4 Elevation D  
1 : 100

**STRUCTURAL NOTE**  
all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

**TERMITE PROTECTION**  
termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2009 (refer details page) - all select barrier products refer to manufacturers specification and conditions of approval

**TRUSSED ROOF PANEL NOTE**  
all support beams for insulated and fly over roof panels are to be specified by engineer - unless otherwise noted

**GENERAL NOTE**  
all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

22mm ceiling battens at 600mm centres or to engineer/frame supplier detail - 10mm thk gyprock plasterboard. all products installed to manufacturers installation specs.

R3.0 ceiling batts

Colorbond sheet metal roof in select colour

select metal fascia & gutter

roof truss with tap hat battens and 5mm B-4SAGW Bubble aircell

450  
O/H

5.00°

450  
O/H

+ 2,550

1 Ceiling Level

+ 2,100

Joinery Level

all windows minimum 10.48mm thk laminated glass with full perimeter acoustic rated seals

90mm zinc alum steel framing to manufacturer specs

Waterproofing, wet area materials and installation of wet area components and systems are to comply with NCC 2022 Volume Two , Part4 Health and amenity, the Housing Provisions (10.2.1 to 10.2.6 and 10.2.12) and AS 3740.

±0

0 Floor Level

BED 1

ENS

BATH

MIRROR

4.5mm thk F.C. Sheeting with pvc jointing strips

floor joist at 450mm centres or to engineer/frame supplier detail - 18mm particleboard flooring screwed down and 18mm compressed cement sheeting to wet areas. all products installed to manufacturers installation specs.

steel floor joist 100x50 refer to engineer details

700  
APPROX.

steel floor bearer 150x50 refer to engineer details

Duragal post with bottom plates bolted & chemset to footing pad - to engineer detail

90mm Duragal post to engineer detail

concrete footings and reinforcing detail refer engineer design & specification

1

## Section A-A

1 : 50



ROOF PLAN NOTES:

METAL ROOF SHEETING REFER AS1562.3 2006 ROOF FLASHINGS TO AS4654

ARROW DENOTES ROOF FALL.

STRUCTURAL ELEMENTS SUCH AS ROOF FRAMING, LINTELS, TIE DOWN AND BRACING TO AS1684, MANUFACTURERS SPECIFICIATIONS AND ENGINEER DESIGN

ROOFWATER TO BE PIPED VIA 100MM DIA. PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM.

ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL. REFER AS3500.3 2003

DOWNPipes TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.

INSULATION TO CEILING TO BE R3.0 BATTS

R 1.0 FOIL SARKING TO UNDERSIDE ROOF BATTENS

60MM ANTICON ROOF BLANKET

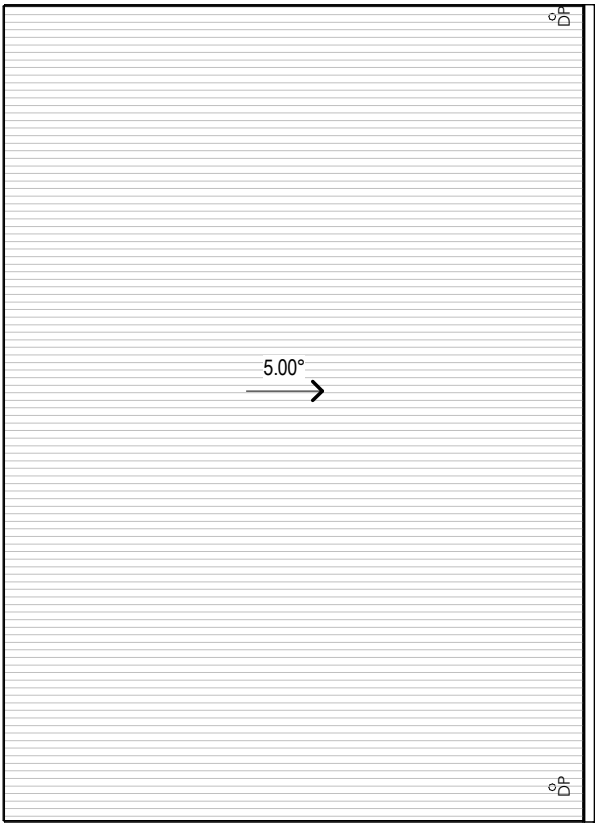
ONLY NEW DOWNPIPES ARE SHOWN - IN QUANTITIES AND SUGGESTED LOCATION ONLY, SUBJECT TO MOVE ON SITE AS REQUIRED BY BUILDER

ALL ROOFING AND DRAINAGE TO COMPLY WITH THE PROVISIONS OF THE NATIONAL CONSTRUCTION CODE 2019

STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING

WITHIN 500 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO

1KM TO HAVE COLORBOND ULTRA.



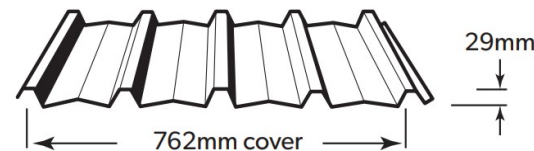
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Roof Plan

1 : 100

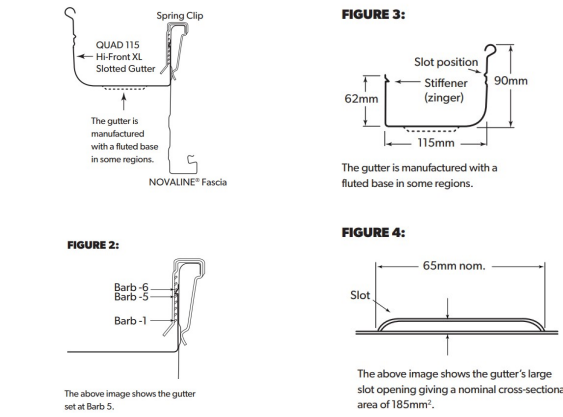
EST ROOF SCHEDULE	
Type	Area m2
Basic Roof	101.69

Next generation ZINCALUME® aluminium/zinc/magnesium alloy coated steel complies with AS 1397:2011 G550, AM125 (550 MPa minimum yield stress, 125g/m2 minimum coating mass). COLORBOND® is pre-painted steel for exterior roofing and walling. It is the most widely used. The painting complies with AS/NZS 2728:2013 and the steel base is an aluminium/zinc alloy-coated steel complying with AS 1397:2011. Minimum yield strength is G550 (550 MPa). Minimum coating mass is AM100 (100g/m2). COLORBOND® Metallic is pre-painted steel for superior aesthetic qualities displaying a metallic sheen. COLORBOND® Ultra is pre-painted steel for severe coastal or industrial environments (generally within about 100-200 metres of the source). The painting complies with AS/NZS 2728:2013 and the steel base is an aluminium/zinc alloy-coated steel complying with AS 1397:2011. Minimum coating mass is AM150 (150g/m2). COLORBOND® Stainless is a pre-painted steel and is used for severe and coastal environments. The painting complies with AS/NZS 2728:2013 and the steel base is a stainless steel complying with AISI/ASTM Type 430; UNS No. S43000. Metallic finishes are available subject to enquiry. The base metal thickness is 0.42 or 0.48mm. The COLORBOND® pre-painted steel complies with AS/NZS 2728:2013.



EST FASCIA & GUTTER	
Type	Amount m
Fascia	36.81
Gutter	10.86

The compliance requirements for roof drainage systems including residential eaves gutter systems may be regulated as building work or plumbing work, depending on the local Building Authority. Where roof drainage systems are regulated as building work, NCC Volume Two or ABCB Housing Provisions Standard applies, and where regulated as plumbing work, NCC Volume Three applies. In practice, the eaves gutter requirements are similar between these references. Per Section A2G2 of NCC Volume Three - Plumbing Code of Australia, a Performance Solution is achieved by demonstrating that the solution is at least equivalent to the Deemed-to-Satisfy Provisions of the NCC. The ABCB Housing Provisions Standard contains Deemed-to-Satisfy Provisions that are considered to be acceptable forms of construction that meet the requirements for complying with Parts H1 to H8 of NCC Volume Two - Building Code of Australia. Per Section 7.4.6(1) of the ABCB Housing Provisions Standard, a slotted gutter with a slot opening area of 1200 mm2 per metre of the gutter, when installed with the lower edge of the slot being 25mm below the top of the fascia, is deemed to satisfy an overflow capacity of 0.5 L/s/m length of gutter for design purposes. LYSAGHT® QUAD 115 HI-FRONT XL SLOTTED GUTTER provides a slot opening area of 2055 mm2 per metre of the gutter, which far exceeds this compliance criterion.



MATERIALITY:

PVC PIPES  
FOR DOWNPIPES

ELECTRICAL PLAN NOTES

1. ALL HEIGHTS ARE TO BE MEASURED FROM THE MAIN FLOOR LEVEL UNLESS OTHERWISE NOTED
2. LIGHT SWITCHES @ 1300MM MAX ABOVE GROUND LEVEL
3. TOP OF METER BOX TO BE 1900 MM MAX ABOVE GROUND LEVEL
4. POWER OUTLETS ARE TO BE POSITIONED TO NEAREST STUD UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH NCC PART 3.7.2 AND AS3786 - 2004. SMOKE DETECTORS 2 OR MORE SHALL BE INTERCONNECTED AS PER NCC PART 3.7.2.
6. ADDITIONAL SMOKE DETECTORS TO BE PLACED IN ALL BEDROOMS AND INTERCONNECTED AS PER NCC REQUIREMENTS.
7. L.E.D. LIGHTING IS RECOMMENDED TO ALL POSSIBLE APPLICATIONS.
8. ALL ELECTRICAL WORK TO COMPLY TO AS3000 - 2003

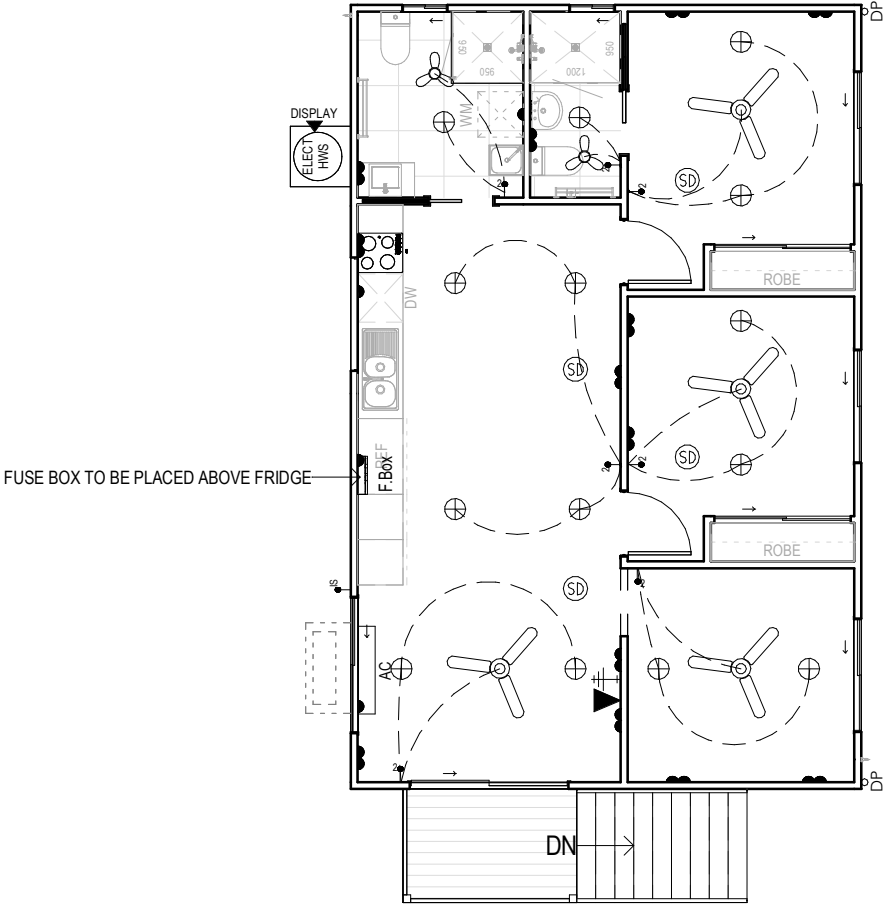
ENERGY EFFICIENT LIGHTING

THIS MEASURE APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTING IS USED FOR AT LEAST 40% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE OCCUPANCY UNIT. (REFER TO DEFINITION OF FLOOR AREA IN PART 29 OF THE QUEENSLAND DEVELOPMENT CODE). THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE A PART OF A HOUSE IS LIT BY MORE THAN ONE LIGHT SOURCE, AND ONE OR MORE OF THOSE SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING AND THEREFORE DOES NOT QUALIFY TOWARDS THE 40% EFFICIENT LIGHTING REQUIREMENT. FOR EXAMPLE, IF A KITCHEN HAS A FLUORESCENT LIGHT AS ITS CENTRAL LIGHT SOURCE AND HALOGEN LIGHTS PROVIDING TASK LIGHTING FOR A KITCHEN BENCH, THEN THE FLOOR AREA OF THE KITCHEN BENCH SHOULD BE SUBTRACTED FROM THE KITCHEN FLOOR AREA WHEN CALCULATING FLOOR AREA LIT BY EFFICIENT LIGHTING.

FINAL ASSESSMENT UPON COMPLETION OF THE BUILDING WILL REQUIRE CONFIRMATION THAT THE CORRECT LIGHTING HAS BEEN INSTALLED IN THE APPROPRIATE LIGHT FITTINGS. IT IS REASONABLE TO ACCEPT THIS CONFIRMATION FROM THE ELECTRICIAN WHO INSTALLED THE LIGHT FITTINGS.

NOTE  
ALL ELECTRICAL EXCEPT SMOKE DETECTORS, IS INDICATIVE ONLY AND TO BE VERIFIED WITH OWNERS, AND BUILDER/ ELECTRICIAN DURING QUOTING AND BUILDING STAGES



1 GF Electrical Plan  
1 : 100

EST ELECTRICAL FIXTURES

Type	Count
2 Switches	7
Ceiling Fan	4
dGPO	13
Downlight	16
Exhaust Fan	4
Fuse Box	1
Isolating Switch 1000 AFL	1
Phone Point	1
sGPO	4
Smoke Detector	4
TV Point	1

56

EST AC/HWS

Family and Type	Count
HWS Electric: Elect HWS 170L	1
AC Unit - EXT: AC Ext	1
AC Unit - INT: AC Int	1

ELECTRICAL LEGEND

SOLAR PANEL

CEILING FAN

CEILING FAN W/ LIGHT

EXHAUST 3 IN 1

EXHAUST FAN

SMOKE ALARM

HEAT LAMP

GAS OUTLET

TV POINT

DATA/PHONE POINT

OYSTER LIGHTS MOUNTED

DOWNLIGHT 240V

BATTEN HOLDER

PENDANT

SINGLE GPO

DOUBLE GPO

ROOF SINGLE GPO

WATERPROOF SINGLE GPO

WATERPROOF DOUBE GPO

WALL LIGHT

FLOOD/SPOT LIGHT

DOUBLE FLOOD/SPOT LIGHT

SENSOR

SGL FLURO TUBE 18W

DBL FLURO TUBE 36W

ISOLATION SWITCH

SWITCH

ELECTRICAL POINTS' POSITIONS  
SUBJECT TO CONSTRUCTION  
CONSTRAINTS.

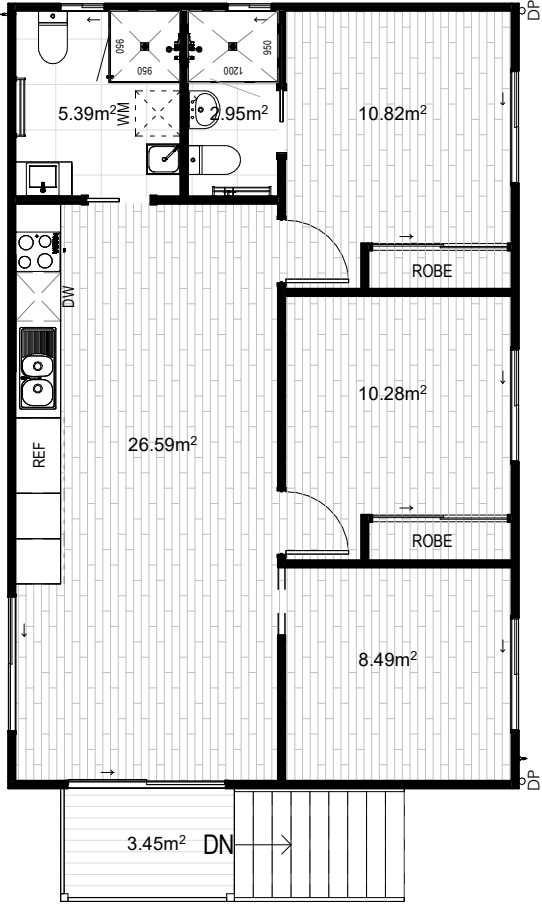
**FLOOR COVERING & TILING NOTES:**  
1.FLOOR TILE HATCHING SHOWN - INDICATES AREA TO BE TILED ONLY AND NOT THE FINISHED LAYOUT  
  
2. THESE DIMENSIONS ARE A PRICING GUIDE ONLY AND ALL AREAS AND SIZES MUST BE CHECK MEASURED ON SITE PRIOR TO FABRICATION OR CUTTING  
  
3. TRANSITIONS BETWEEN FLOOR COVERINGS TO BE CENTRALISED WITH DOOR THICKNESS

NOTE: 90mm Eko decking mod wood decking

DECKING

HYBRID FLOORING

WET AREA TILES

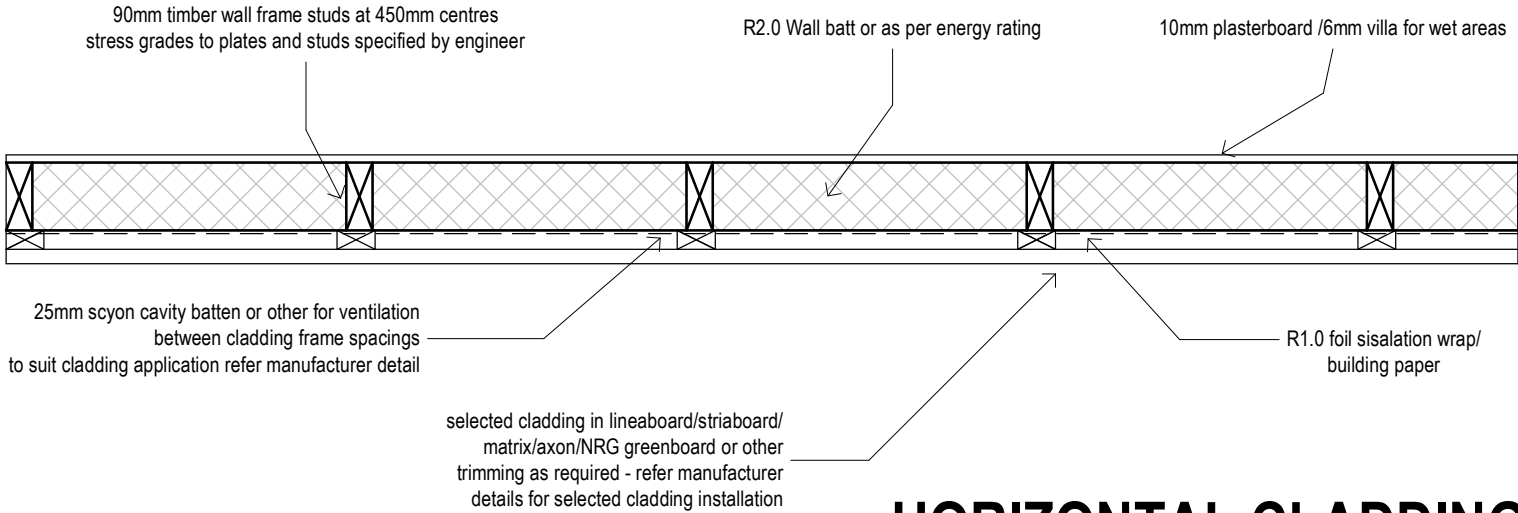


Decking Schedule		
Comments	Description	Area
	Verandah	3.45 m²

FLOOR COVERINGS (m2)	
MATERIALS / LOCATION	OVERALL AREA: (APPROX.) (m²)
LOUNGE	10.46
LIVING	8.49
BED 2	9.31
BED 1	9.85
DINING	9.40
KITCHEN	6.73
ROBE 2	0.97
ROBE 1	0.97
ENS	2.95
BATH	5.39

EST ENSUITE TILES AREA		EST BATHS TILES AREA	
Type	Area m2	Type	Area m2
Ens Shower	6.33	Bath Wall Tiles	6.26
Ens Vanity Splashback	0.20	Bath Vanity Splashback	0.46
Ens Wall Tiles	3.63	Bath Shower	4.20
TOTAL	10.16	TOTAL	10.92

EST KITCHEN TILES AREA	
Type	Area m2
Kitchen Splashback	1.18
TOTAL	1.18

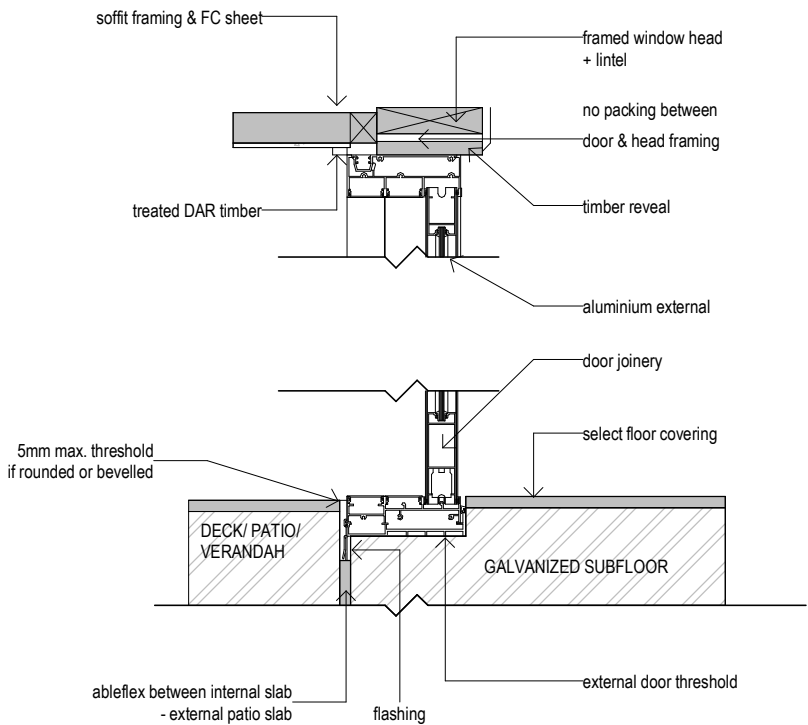


NOTE vermin proofing installed to base of cladding cavity as per manufacturers instructions

1

## HORIZONTAL CLADDING DETAIL

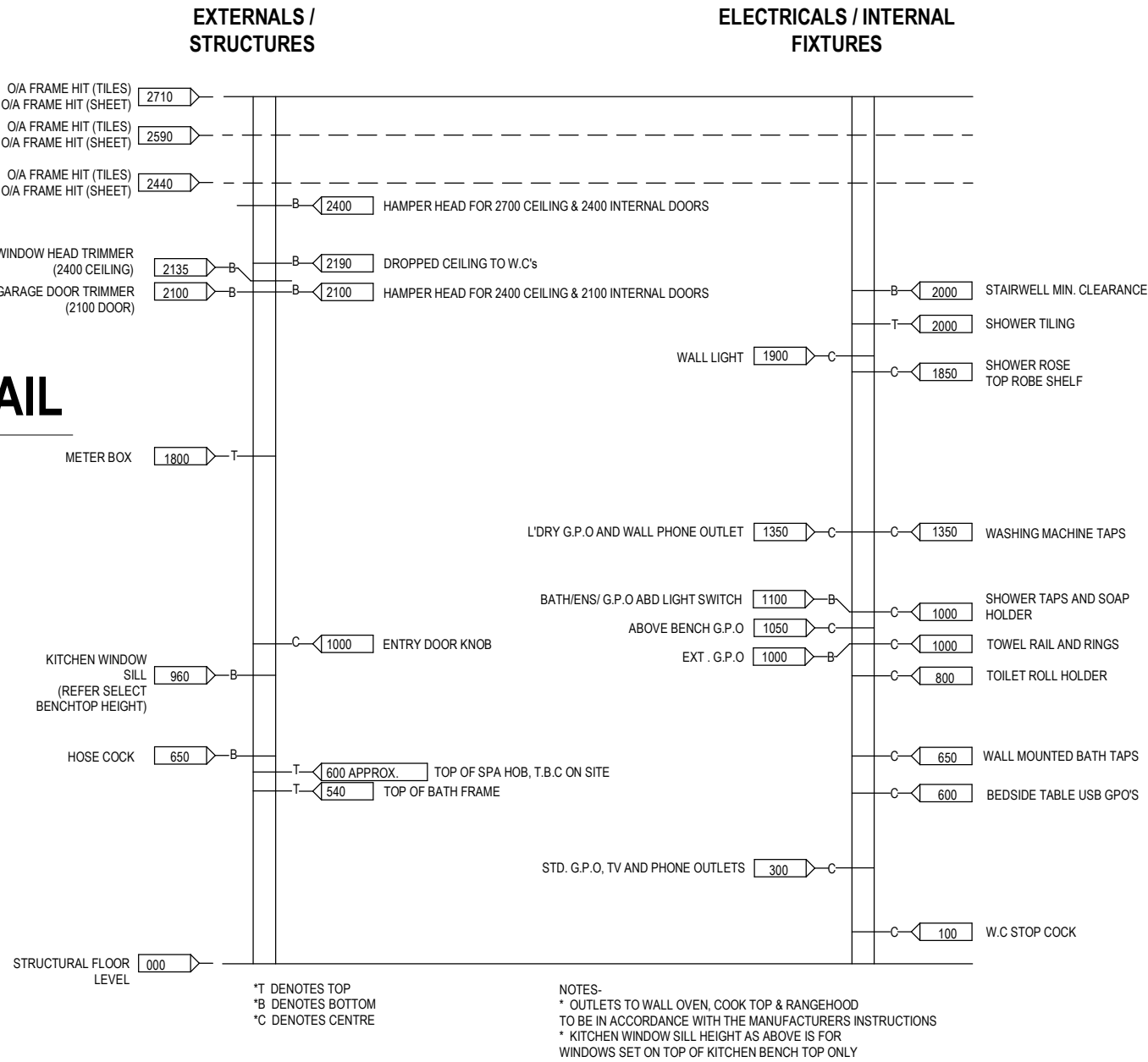
1 : 10 - WITH USE OF CAVITY BATTENS



2

## EXTERNAL DOOR DETAIL

1 : 10 - WITH USE OF CAVITY BATTENS



2740, 2590, and 2440mm high frame

3

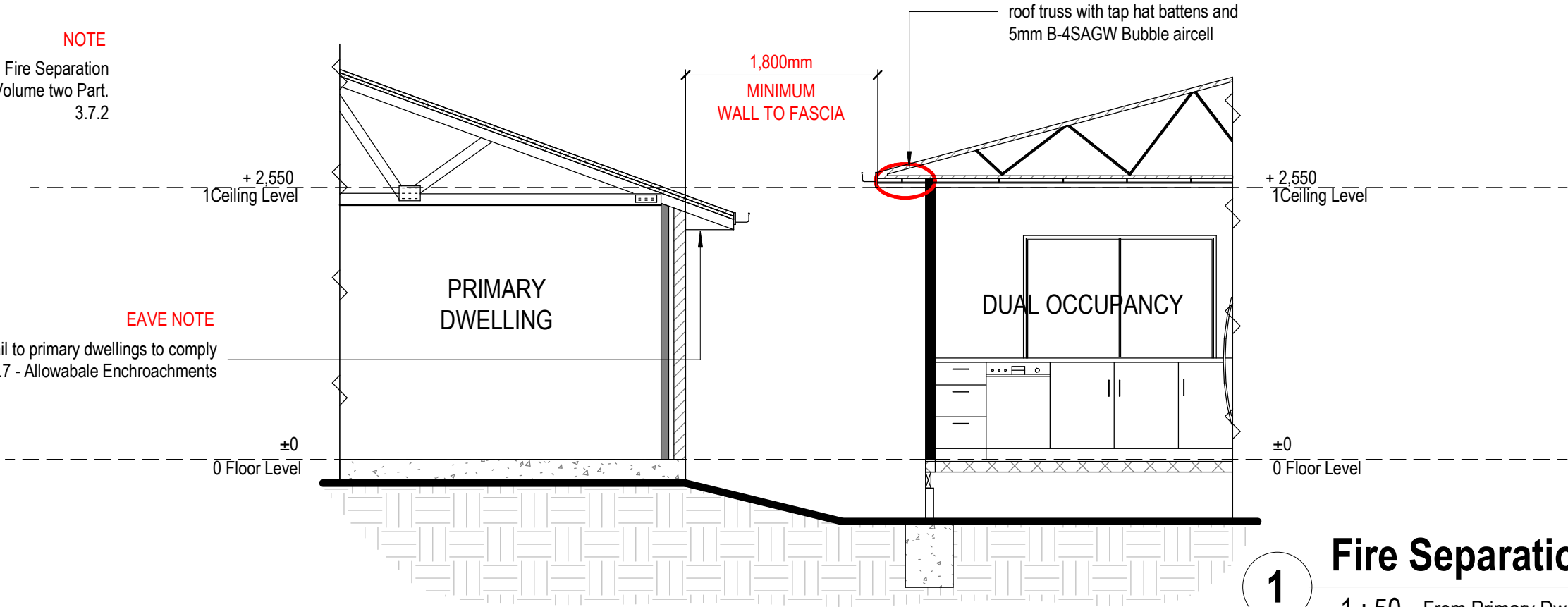
## STANDARD HEIGHTS

1 : 20



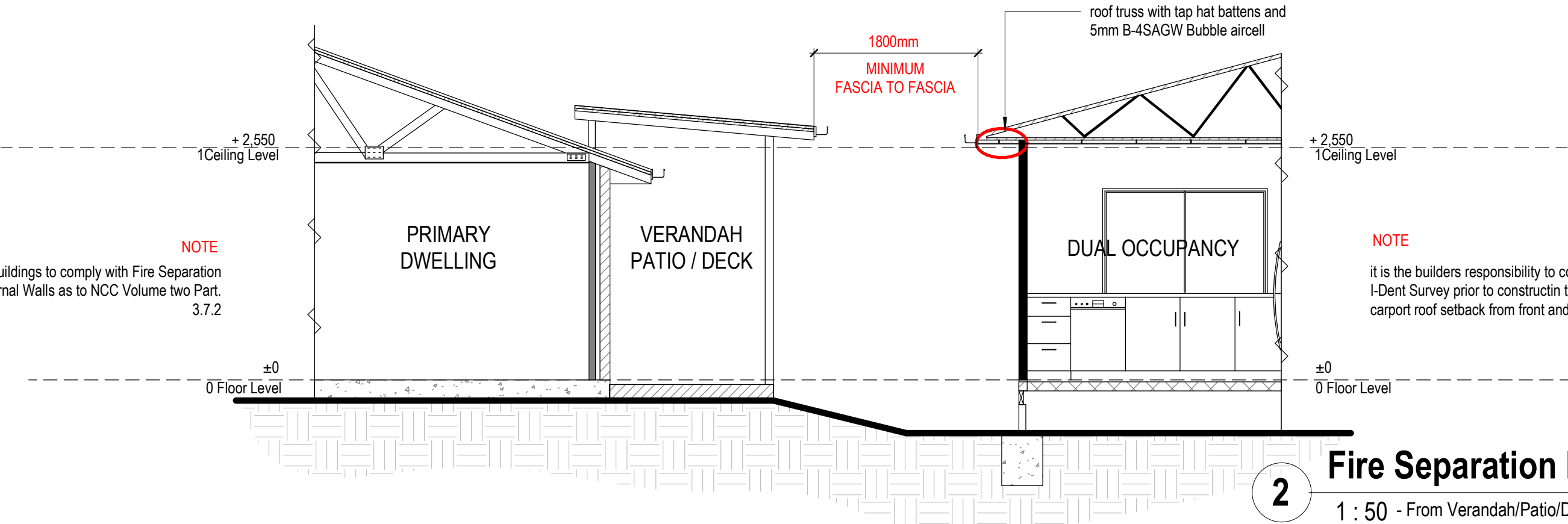
**NOTE**  
all buildings to comply with Fire Separation  
External Walls as to NCC Volume two Part.  
3.7.2

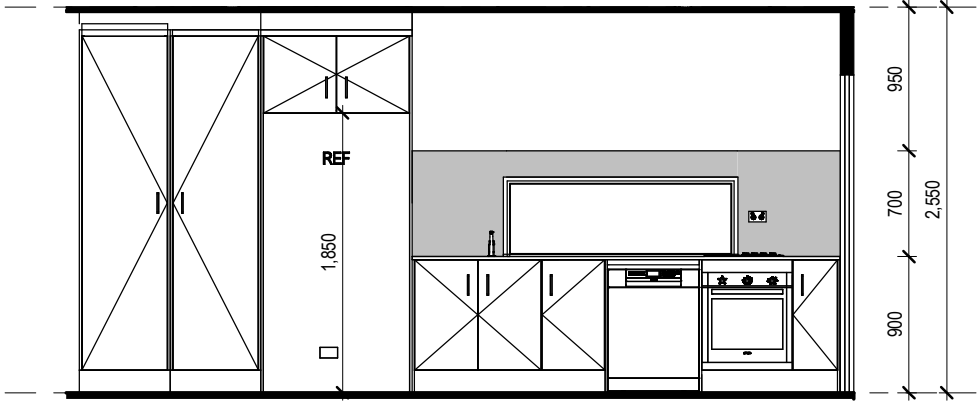
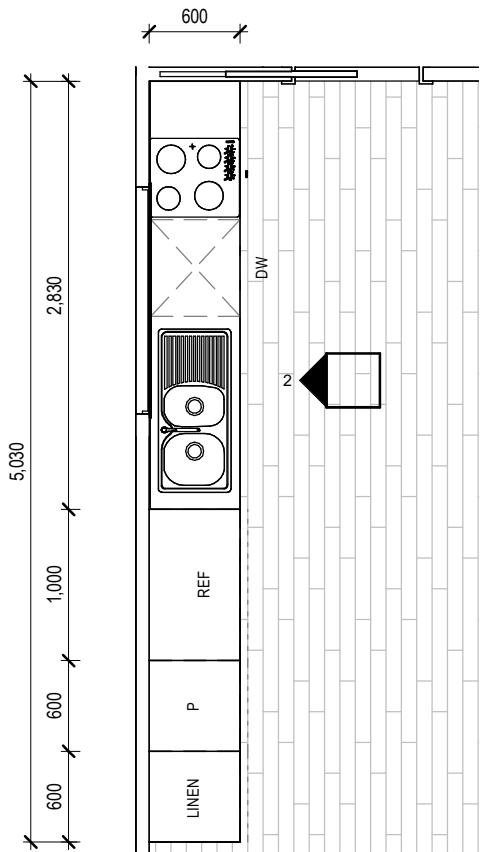
**EAVE NOTE**  
the detail and eave detail to primary dwellings to comply  
with NCC Vol.2 2019 3.7.2.7 - Allowable Enroachments



**NOTE**  
all buildings to comply with Fire Separation  
External Walls as to NCC Volume two Part.  
3.7.2

**NOTE**  
it is the builders responsibility to conduct and  
I-Dent Survey prior to constructin to ensure  
carport roof setback from front and side boundaries



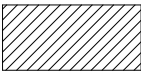


KIT - A  
1 : 50

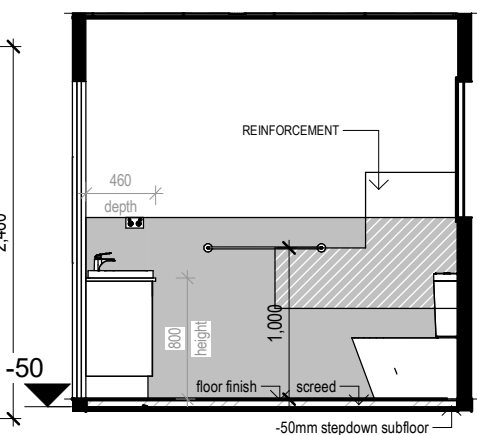
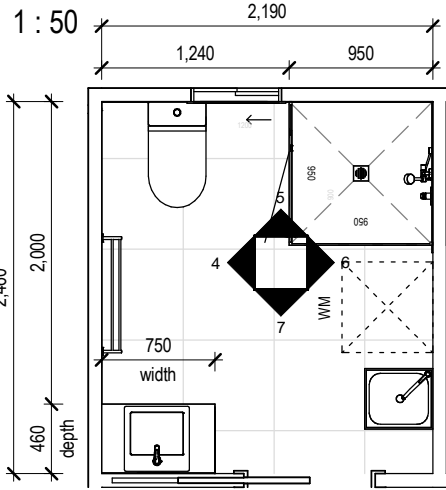
**NOTE:**  
THIS KITCHEN DESIGN IS FOR DISPLAY ONLY, AND IS NOT  
INDICATIVE OF THE FINAL DESIGN

**NOTE:**  
SHOWER TO BE HOBLESS WITH STEP FREE  
ENTRY AND LIP LOWER THAN 5MM

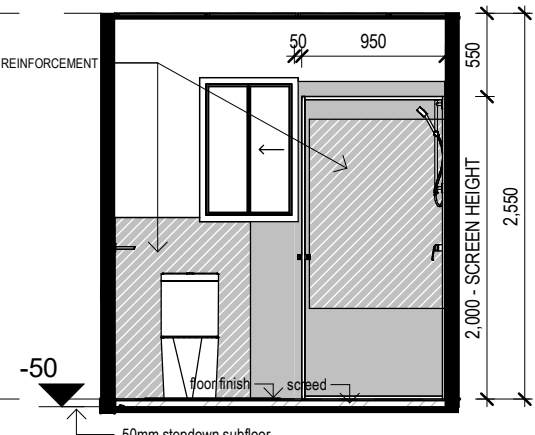
**LEGEND:**

 LOCATION OF SHEETING FOR WALL  
BEHIND A TOILET PAN, TO A WALL  
ADJACENT TO A TOILET PAN AND FOR  
SHOWER WALLS

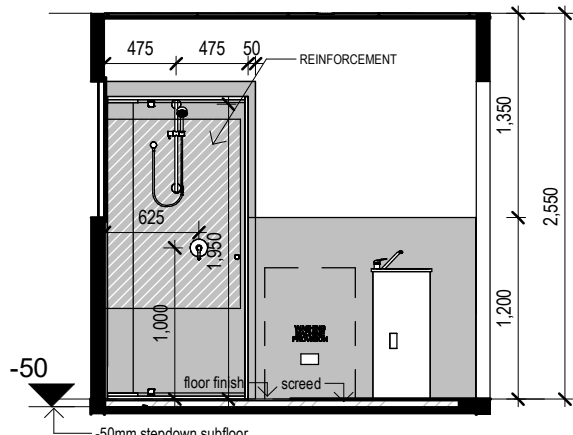
LAYOUT - KIT  
1 : 50



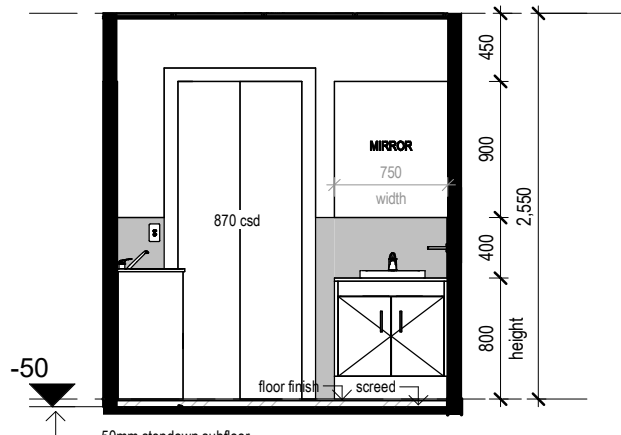
BATH - A  
1 : 50



BATH - B  
1 : 50

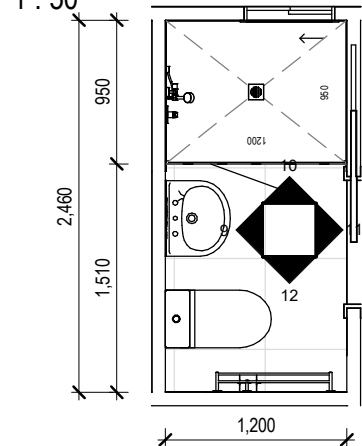


BATH - C  
1 : 50

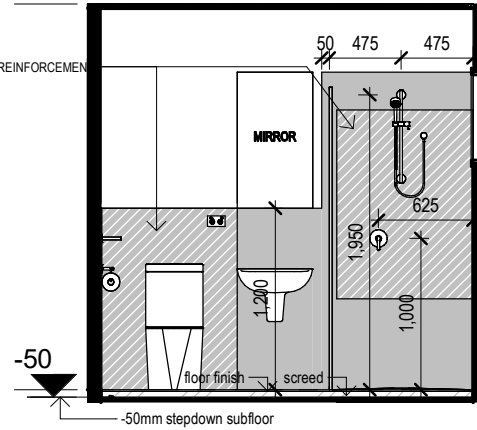


BATH - D  
1 : 50

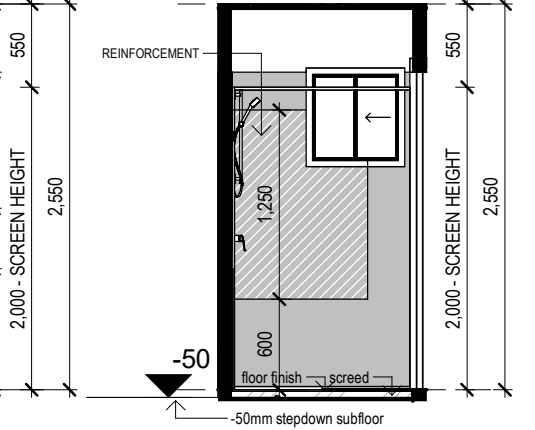
LAYOUT - BATH  
1 : 50



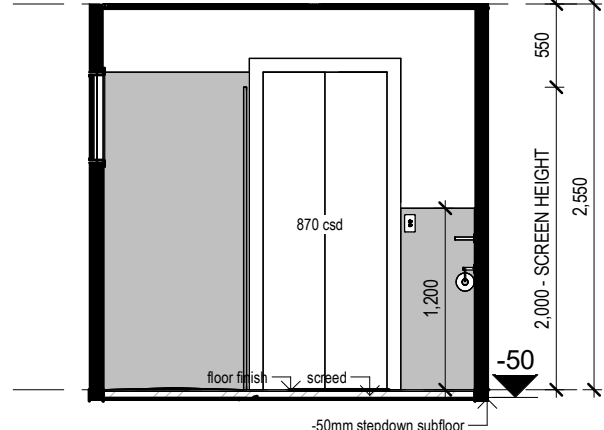
LAYOUT - ENS  
1 : 50



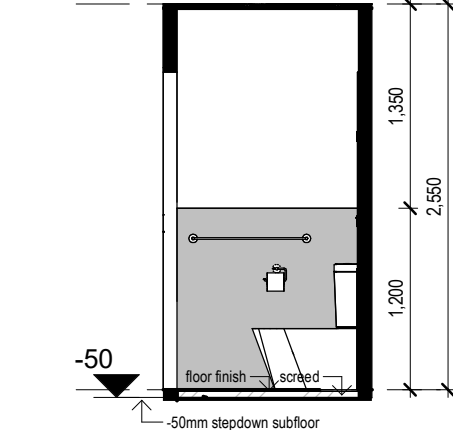
ENS - A  
1 : 50



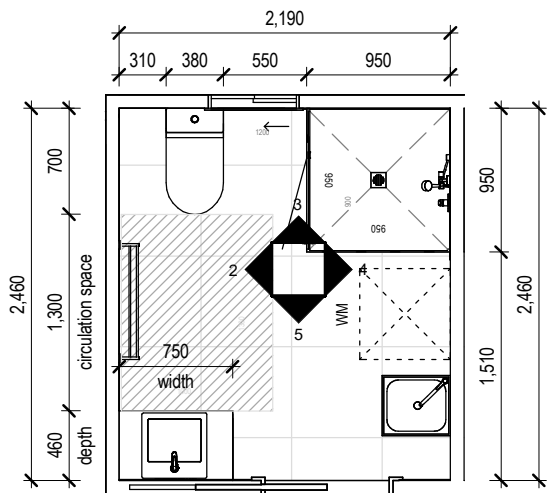
ENS - B  
1 : 50



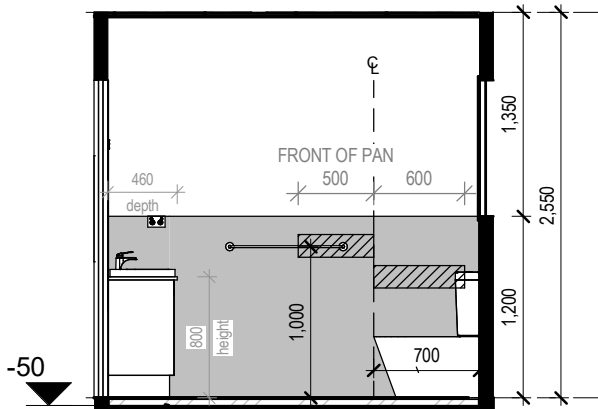
ENS - C  
1 : 50



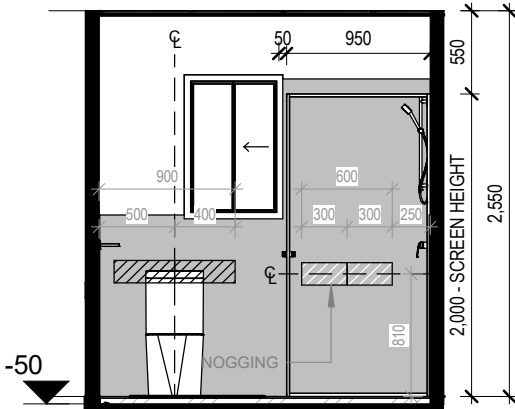
ENS - D  
1 : 50



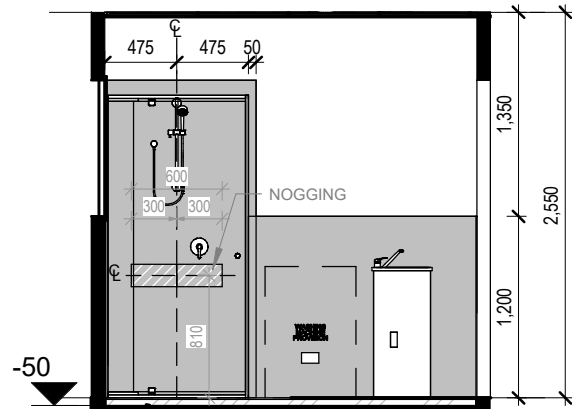
LAYOUT - BATH (detail)  
1 : 50



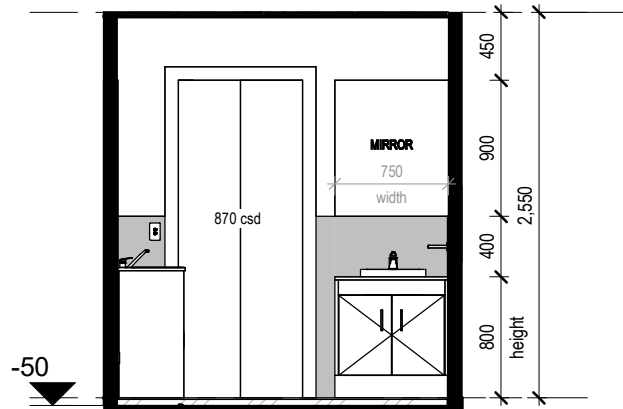
BATH - A (detail)  
1 : 50



BATH - B (detail)  
1 : 50

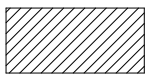


BATH - C (detail)  
1 : 50



BATH - D (detail)  
1 : 50

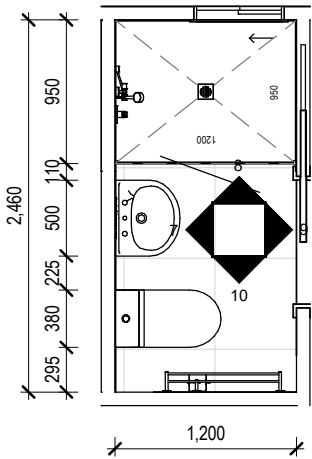
LEGEND:



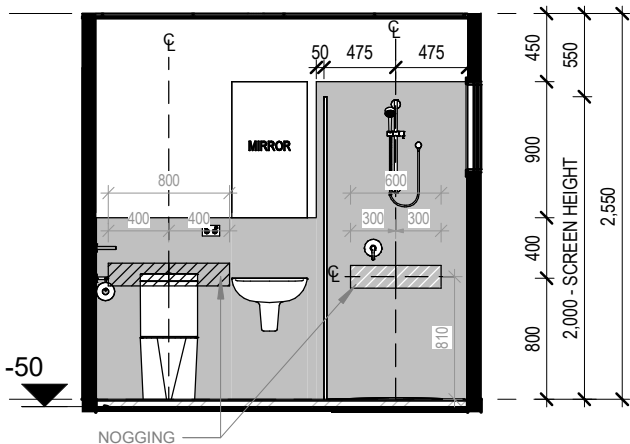
LOCATION OF SHEETING FOR WALL  
BEHIND A TOILET PAN, TO A WALL  
ADJACENT TO A TOILET PAN AND FOR  
SHOWER WALLS

NOTE:

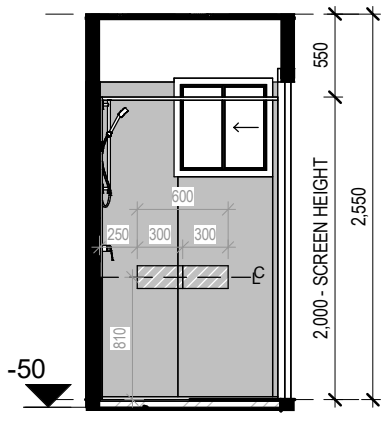
SHOWER TO BE HOBLESS WITH STEP FREE  
ENTRY AND LIP LOWER THAN 5MM



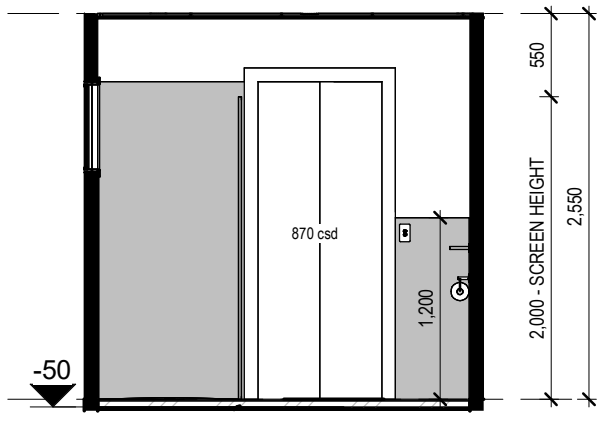
LAYOUT - ENS (detail)  
1 : 50



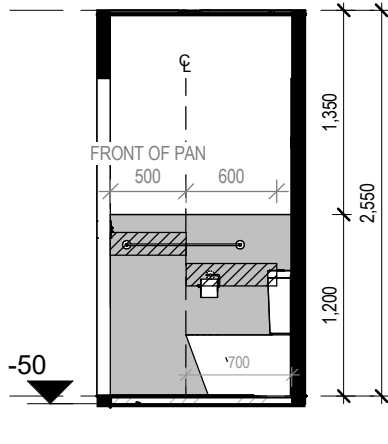
ENS - A (detail)  
1 : 50



ENS - B (detail)  
1 : 50



ENS - C (detail)  
1 : 50



ENS - D (detail)  
1 : 50

# Technical Memorandum

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<b>Subject:</b>	<b>26 BERSERKER STREET, BERSERKER</b> <b>TRAFFIC ENGINEERING RESPONSE</b>		
<b>Prepared for:</b>	Rockhampton Regional Council	<b>Date:</b>	6 June 2025
<b>Attention:</b>	Sophie Muggeridge Mohit Paudyal	<b>Our Ref:</b>	80569

Further to your pre-lodgement written advice, SITE Traffic was engaged to re-design the proposed access arrangement to better align with relevant standards and Council's codes.

Our revised design for the proposed northern access is provided attached, which provides a better outcome for both the existing dwelling and proposed dual occupancy.

An internal turn area is provided for the dual occupancy to allow vehicles to enter and exit in a forward motion.

Vehicle access arrangements to both of the existing dwelling's garages will remain unchanged.

Vehicle swept path analysis for a larger B99 (worst-case scenario) are also provided in the attached plans demonstrating adequate access and manoeuvring areas are provided. In this regard it is noted that only smaller B85 swept paths are required for domestic properties.

Yours Faithfully,  
*SITE Traffic Pty Ltd*

**Harry Hunt**  
Associate Director  
Senior Traffic Engineer  
RPEQ 27009

## SITE Traffic Pty Ltd

**SITE INTEGRATED TRAFFIC ENGINEERING**

ABN: 33 651 657 091

a TTS Group company

### Brisbane

Level 1, 16 McDougall Street  
PO Box 1279  
Milton QLD 4064  
tel (07) 3554 1364

[admin@sitetraffic.com.au](mailto:admin@sitetraffic.com.au) | [www.sitetraffic.com.au](http://www.sitetraffic.com.au)

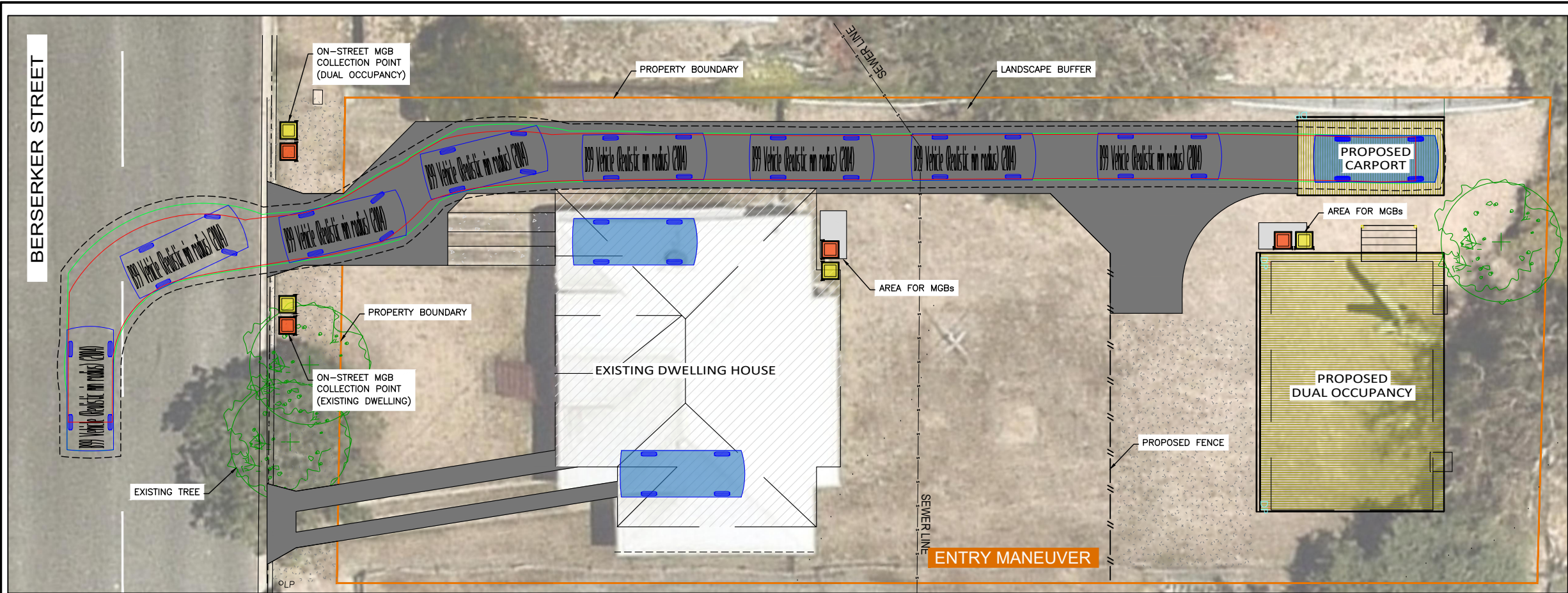
### Gold Coast

Level 15, Corporate Centre One  
2 Corporate Court  
Bundall QLD 4217  
tel (07) 5591 9575

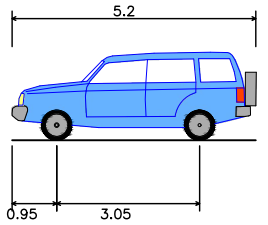








DESIGN VEHICLE:



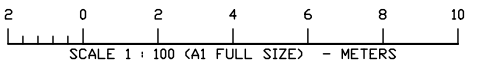
B99 VEHICLE

Overall Length	5.200m
Overall Width	1.940m
Overall Body Height	1.878m
Min Body Ground Clearance	0.272m
Lock-to-lock time	4.00s
Track Width	1.840m
Curb to Curb Turning Radius	6.250m

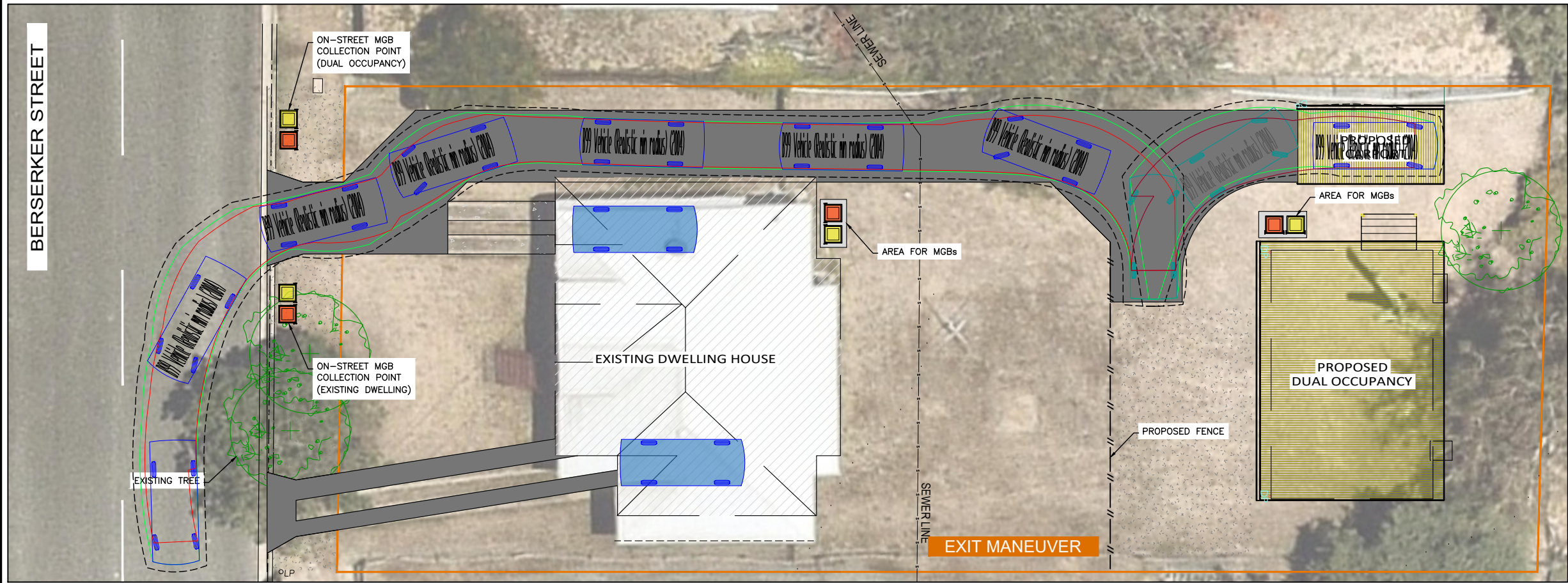
LEGEND

- VEHICLE BODY (FORWARD)
- VEHICLE BODY (REVERSE)
- VEHICLE OVERHANG
- WHEEL TRACK
- 300mm VEHICLE SAFETY CLEARANCE

DESIGN SPEED



FOR COUNCIL APPROVAL



 SITE INTEGRATED TRAFFIC ENGINEERING	SITE TRAFFIC PTY LTD ABN: 33 651 657 091 BRISBANE L1, 16 McDougall St Milton QLD 4064 Tel: (07) 3554 1364 GOLD COAST L15, 2 Corporate Crt Bundall QLD 4217 Tel: (07) 5591 9575 www.sitetrffic.com.au Email: admin@sitetrffic.com.au	NORTHPOINT 	CLIENT  DESIGNED M MRSIC CERTIFIED H HUNT DATE 06.06.2025 RPEQ 27009	PROJECT NAME 26 Berserker Street Berserker QLD 4701 VEHICLE SWEEP PATH ANALYSIS PLAN	DRAWING NUMBER 80509 - 002	
					SHEET 2 OF 2 PROJECT NUMBER 80507	REVISION A



## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

### 6.2.1 Low density residential zone code

**Table 6.2.1.3.1 Development outcomes for assessable development and requirements for accepted development (part)**

Performance outcomes	Acceptable outcomes	Solution	Response
<b>Where involving a new building or expansion to an existing building</b>			
<b>Built form</b>			
<b>PO1</b> Development does not adversely impact on the urban form of the surrounding low density residential area and significant scenic landscape features, having regard to the scale and height of buildings and site cover.	<b>AO1.1</b> The height of buildings and structures does not exceed: (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent. <b>AND</b>	<b>Complies with AO1.1</b>	The proposed Dual Occupancy is a single storey dwelling with maximum height of approximately 5.35m.
	<b>AO1.2</b> Site cover does not exceed fifty (50) per cent of the total site area.	<b>Complies with AO1.2</b>	As per the Site Plan, the site cover is 18%.
<b>Caretaker's accommodation</b>			
<b>PO2</b> The development does not compromise the productivity of the use.	<b>AO2.1</b> No more than one (1) caretaker's accommodation is established on the site.	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
<b>Dual occupancy</b>			
<b>PO3</b> The dual occupancy is designed and sited in a manner that: (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents;	<b>AO3.1</b> The number of dwellings does not exceed one (1) unit per 300 square metres total site area. <b>AND</b>	<b>Complies with AO3.1</b>	The proposed development results in one (1) dwelling unit per 506m <sup>2</sup> .
	<b>AO3.2</b> Each dwelling is provided with a private open space area which:	<b>Will comply with AO3.2</b>	The proposal provides ample open space area for each dwelling, which will be sufficiently dimensioned in accordance with AO3.2.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<p>(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents;</p> <p>(d) has access to open space; and</p> <p>(e) does not compromise the character and amenity of the surrounding area.</p> <p>Editor's note—Figure 6.2.1.3.1a — Site plans for dual occupancies provides guidance</p>	<p>(a) is directly accessible from a habitable room; and</p> <p>(b) if located:</p> <ul style="list-style-type: none"> <li>(i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or</li> <li>(ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</li> </ul> <p><b>AND</b></p>		
	<p><b>AO3.3</b></p> <p>Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) carports and garages are set back a minimum of six (6) metres from all road frontages;</li> <li>(b) building walls are set back a minimum of three (3) metres from all road frontages;</li> <li>(c) verandahs are set back a minimum of one (1) metre from all road frontages;</li> <li>(d) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level;</li> <li>(e) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</li> </ul> <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p>	<b>Complies with PO3.</b>	Refer to section 5.6.2.4 of the Town Planning Report for detailed compliance.



## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
	<b>AND</b>		
	<b>AO3.4</b> Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3. <b>AND</b>	<b>Complies with AO3.4</b>	The subject site has an area of 1,012 square metres and road frontage of 20.26m, therefore complying with Table 6.2.1.3.3 for Dual Occupancy developments.
	<b>AO3.5</b> A minimum of one (1) habitable room that fronts the primary street frontage. <b>AND</b>	<b>Complies with AO3.5</b>	A minimum of one (1) habitable room fronts the primary street frontage.
	<b>AO3.6</b> A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.	<b>Complies with AO3.6</b>	Pedestrian entry and door is visible and accessible from the frontage. Pedestrian entrance is not accessed through a garage or carport.
<b>PO4</b> The development is located and designed so that buildings and structures make provision for: (a) privacy and noise attenuation; (b) integration with the streetscape and built form; and (c) separation from an adjoining industrial zone or industrial use.	<b>AO4.1</b> Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <b>AND</b>	<b>Will comply with AO4.1</b>	The proposal will ensure that any new front boundary fencing complies with limits listed under AO4.1, if proposed.
	<b>AO4.2</b> Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.	<b>Not applicable</b>	The site does not adjoin an industrial zone or land use.
<b>Home based business</b>			
<b>PO5</b>	<b>AO5.1</b> The home-based business has a maximum gross floor area of fifty (50) square metres	<b>Not applicable</b>	The proposal is for a Dual Occupancy.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<p>Development for a home-based business is operated, designed and sited in a manner that:</p> <p>(a) is small in scale and intensity;</p> <p>(b) does not adversely affect the safety and private recreation needs of adjoining premises;</p> <p>(c) does not adversely affect the streetscape and street function; and</p> <p>(d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>(except for a bed and breakfast accommodation or home-based care).</p> <p>AND</p>		
	<p><b>AO5.2</b></p> <p>The home-based business is carried out within an existing building or structure.</p> <p>AND</p>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<p><b>AO5.3</b></p> <p>Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home-based child care).</p> <p>AND</p>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<p><b>AO5.4</b></p> <p>The home-based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<p><b>AO5.5</b></p> <p>A maximum of one (1) worker, not residing in the dwelling house, is employed in the home-based business.</p> <p>AND</p>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<p><b>AO5.6</b></p> <p>The home-based business contains visitor parking within the site.</p> <p>AND</p>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<p><b>AO5.7</b></p> <p>The home-based business where for bed and breakfast accommodation:</p>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
	(a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights. <b>AND</b>		
	<b>AO5.8</b> Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise. <b>AND</b>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO5.9</b> No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight. <b>AND</b>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO5.10</b> The home-based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight. <b>AND</b>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO5.11</b> Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i> , as updated from time to time.	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
<b>Sales office</b>			
<b>PO6</b> The development for a sales office is temporary in nature having regard to length of time and operation of the use.	<b>AO6.1</b> Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.	<b>Not applicable</b>	The proposal is for a Dual Occupancy.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<b>Short-term accommodation</b>			
<b>PO7</b> Development for short-term accommodation is established only in existing dwellings which maintain the appearance of an ordinary dwelling in the zone.	<b>PO7.1</b> Short-term accommodation uses are carried out within an existing dwelling. <b>AND</b>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO7.2</b> There is no external signage.	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
<b>PO8</b> Development for short-term accommodation is of a small, domestic scale, accommodating a small number of people for very short periods.	<b>PO8.1</b> The combined total number of persons does not exceed five (5) at any one time. <b>AND</b>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO8.2</b> Guests stay a maximum of fourteen (14) consecutive nights.	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
<b>PO9</b> Development for short-term accommodation does not cause nuisance or otherwise adversely impact on the amenity of the neighbourhood.	<b>AO9.1</b> Noise levels do not exceed acoustic quality objectives under the Environmental Protection (Noise) Policy 2008, schedule 1 as updated from time to time. <b>AND</b>	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO9.2</b> Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.	<b>Not applicable</b>	The proposal is for a Dual Occupancy.
<b>Where in the residential stables precinct when involving an animal keeping (stables only) use</b> Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.			
<b>P10</b> On any lot that accommodates a stable: (a) the amenity of the precinct is maintained to a reasonable level especially in regards to issues such as noise, odour, light and dust;	<b>AO10.1</b> The number of non-racehorses kept on the lot at any one time does not exceed the density of one (1) non-racehorse per 800 square metres of lot area. <b>AND</b>	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.



## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
(b) the stable does not adversely affect the <u>streetscape</u> within the precinct; (c) a sufficient number of stalls are provided within a stable to prevent the overcrowding of horses; and (d) a sufficient number of day yards are provided to allow the proper spelling, exercise or training of horses.	<b>AO10.2</b> Stables are designed so that all doors and windows are orientated away from any house on an adjoining lot to reduce the potential for creating a noise or odour nuisance. <b>AND</b>	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.
	<b>AO10.3</b> Stalls and day yards as part of an animal keeping (stables only) use have a minimum area of nine (9) square metres. <b>AND</b>	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.
	<b>AO10.4</b> Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.
<b>PO11</b> Stables and day yards are designed to minimise the negative environmental impacts as a result of solid and liquid waste.	<b>AO11.1</b> AO11.1.1 All liquid waste is drained into the reticulated sewerage system. <b>OR</b> AO11.1.2 Where the development involves the stabling of less than six (6) horses at any one time, stables are constructed in a manner whereby the stalls and any other area hosed out frequently: (a) opens directly onto a grassed area that measures three (3) metres in width perpendicular to the area being hosed out; or (b) drains directly to a concrete spoon drain of a sufficient size able to move all water and other matter (including waste) to an area of turf measuring no less than three (3) metres by three (3) metres.	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<b>PO12</b> Stables are designed in a safe manner and do not create traffic or parking impacts on the immediate area or normal vehicle movements.	<b>AO12.1</b> Stables are designed to provide an area on site at least thirty (30) square metres with dimensions of at least three (3) metres by ten (10) metres, where horses can be loaded or unloaded to or from a vehicle. <b>AND</b>	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.
	<b>AO12.2</b> A horse float is provided on the site that measures at least three (3) metres by five (5) metres, which is directly accessible to a street frontage.	<b>Not applicable</b>	The proposal does not involve an animal keeping land use.

**Table 6.2.1.3.2 Development outcomes for assessable development (part)**

Performance outcomes	Acceptable outcomes	Solution	Response
<b>Built form - additional provisions</b>			
<b>PO13</b> The development is located and designed so that buildings and structures make provision for: (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. Editor's note—Figure 6.2.1.3.2a — Development site plan provides guidance.	<b>AO13.1</b> Minimum setbacks are in accordance with the following: (a) carports and garages are set back a minimum of six (6) metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the side boundary setback is a minimum of: (i) 1.5 metres for a wall up to 4.5 metres high; or (ii) two (2) metres for a wall up to 7.5 metres high; or (iii) 2.5 metres for any part of a wall over 7.5 metres;	<b>Complies with PO13.</b>	The proposal is generally compliant with the provisions of AO13.1, however involves a minor shortfall of the 4m rear setback. Refer to section 5.6.2.4 of the Town Planning Report for detailed compliance.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
	<p>(e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>(f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p><b>AND</b></p>		
	<p><b>AO13.2</b></p> <p>The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p><b>AND</b></p>	<b>Complies with AO13.2</b>	Pedestrian entry and door is visible and accessible from the frontage. Pedestrian entrance is not accessed through a garage or carport.
	<p><b>AO13.3</b></p> <p>The maximum length of any exterior wall is twelve (12) metres.</p> <p><b>AND</b></p>	<b>Complies with AO13.3.</b>	The proposal involves a maximum exterior wall of 10.37m for any new works.
	<p><b>AO13.4</b></p> <p>Fencing along the primary street frontage is:</p> <p>(a) a maximum height of 1.2 metres; or</p> <p>(b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p><b>AND</b></p>	<b>Will comply with AO13.1</b>	The proposal will ensure that any new front boundary fencing complies with limits listed under AO4.1, if proposed.
	<p><b>AO13.5</b></p> <p>New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>	<b>Complies with PO13.</b>	The proposal involve establishing a new dwelling to the rear of the property. Plant and equipment is appropriately screened from surrounding viewpoints.
<p><b>PO14</b></p> <p>Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p><b>AO14.1</b></p> <p>Vehicle parking structures are located:</p> <p>(a) behind the front building setback; or</p>	<b>Complies with AO14.1</b>	All vehicle parking spaces are located behind the front boundary setback area.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
	(b) below the front building.		
<p><b>PO15</b></p> <p>Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <ul style="list-style-type: none"> <li>(a) mass and proportion;</li> <li>(b) use of materials, patterns, textures, colours and decorative elements;</li> <li>(c) reflective glass material is not used as the principle construction material;</li> <li>(d) roof shapes include pitches and gables to break up the repetitiveness of buildings;</li> <li>(e) buildings incorporate articulation through the use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance;</li> <li>(f) roof structures are designed to screen any mechanical plant;</li> <li>(g) facade articulation, detailing and window and door proportions;</li> <li>(h) provision made for balconies, verandahs, eaves and parapets; and</li> <li>(i) driveway crossovers, fence style and alignment;</li> <li>(j) emphasis on entry points;</li> <li>(k) development for community or small-scale commercial uses includes an awning over the footpath for the full length of the building's road frontage.</li> </ul> <p>Note—Where a conflict exists PO15 (k) takes precedence.</p>	No acceptable outcome is nominated.	<b>Complies with PO15.</b>	<p>The proposal is for a detached Dual Occupancy development, which retains a typical low-intensity built form that aligns with local development intent. Varied materials, colours, decks/balconies, non-reflective windows, varied roof forms, façade articulation, and finishes are combined across each dwelling to achieve a visually appealing design, which does not cause a repetition effect within Berserker Street. The proposal ensures highly visible entry points to the site, as well as clearly delineated vehicle access. All works can therefore be considered to enhance the built form of the local streetscape.</p>
<b>Land use</b>			
<b>Non-residential development</b>			

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<b>PO16</b> Non-residential development may locate in the low density residential zone when the use can demonstrate the following: <ul style="list-style-type: none"> <li>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood;</li> <li>(b) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</li> <li>(c) is small in scale;</li> <li>(d) is consistent with the surrounding built form and <u>streetscape</u>;</li> <li>(e) the use provides only a convenience function and does not compromise the role and function of existing centres;</li> <li>(f) does not adjoin an existing centre zone;</li> <li>(g) located in proximity to public transport facilities and public transport routes; and</li> <li>(h) minimises impacts on local amenity and the local street network.</li> </ul> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.	<b>Not Applicable</b>	The proposal is for residential development.
<b>PO17</b> The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.	<b>AO17.1</b> Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.	<b>Not Applicable</b>	The proposal is for residential development.
<b>Multiple dwelling, relocatable home park, residential care facility or retirement facility</b>			
<b>PO18</b>	<b>AO18.1</b>	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.



## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<p>Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is located at highly accessible sites:</p> <ul style="list-style-type: none"> <li>(a) that provide for the safety and convenience of people using the premises;</li> <li>(b) in proximity to centres of activity containing shopping, community facilities, and recreation and entertainment areas;</li> <li>(c) in proximity to public transport facilities and public transport routes; and</li> <li>(d) that can minimise impacts on local amenity and the local street network.</li> </ul>	<p>Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is within 200 metres (measured according to the shortest route a person may reasonably and lawfully take by vehicle or on foot, that has been constructed for the purposes of walking or driving) of the following:</p> <ul style="list-style-type: none"> <li>(a) a public transport stop; and</li> <li>(b) a neighbourhood centre zone, local centre zone, district centre zone, major centre zone, principal centre zone, or specialised centre zone; or</li> <li>(c) a park or sport and recreation zone; or</li> <li>(d) a major hospital or CQUniversity.</li> </ul> <p><b>AND</b></p>		
	<p><b>AO18.2</b></p> <p>Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility has direct access to a minor urban collector road or higher order road.</p>	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.
<p><b>PO19</b></p> <p>Residential development is designed and sited in a manner that:</p> <ul style="list-style-type: none"> <li>(a) is of an appropriate scale and size that reflects the purpose of the zone;</li> <li>(b) is attractive in appearance, climate responsive and functional in design, and safe for residents;</li> <li>(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; and</li> <li>(d) does not compromise the character and amenity of the surrounding area.</li> </ul>	<p><b>AO19.1</b></p> <p>The number of dwellings does not exceed one (1) unit per 250 square metres total site area.</p> <p><b>AND</b></p>	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.
	<p><b>AO19.2</b></p> <p>Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> <li>(a) is directly accessible from a habitable room;</li> <li>(b) is located or screened from main living areas or private open space of adjoining dwellings; and</li> <li>(c) if located: <ul style="list-style-type: none"> <li>(i) at ground level, has a minimum area (inclusive of verandahs, patios and</li> </ul> </li> </ul>	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
	terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or  (ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.  <b>AND</b>		
	<b>AO19.3</b> A minimum of one (1) habitable room overlooks the primary street frontage. <b>AND</b>	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.
	<b>AO19.4</b> Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.
<b>PO20</b> Communal open space is provided for residents to allow for a range of activities.	<b>AO20.1</b> A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.  Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.	<b>Not Applicable</b>	The proposal is for a Dual Occupancy.
<b>Effects of development</b>			
<b>PO21</b> The development minimises adverse impacts on the amenity of adjoining land uses and the surrounding area.	<b>AO21.1</b> Non-residential land uses operate between the hours of 07:00 and 22:00. <b>AND</b>	<b>Not Applicable</b>	The proposal is for residential development.
	<b>AO21.2</b> For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear	<b>Not Applicable</b>	The proposal is for residential development.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
	property boundaries.		
<b>PO22</b> Outdoor lighting maintains the amenity of any adjoining residential zoned premise and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	<b>AO22.1</b> Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.	<b>Will Comply with AO22.1.</b>	Outdoor lighting will be designed, installed and maintained in accordance with AO22.1.
<b>PO23</b> Development is located and designed to respond to the on-site and surrounding landscape and topography such that: (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features	No acceptable outcome is nominated.	<b>Complies with PO23.</b>	The subject site is a flat allotment which is void of significant vegetation or other natural assets. The proposal is not anticipated to affect the items listed within PO23.
<b>Streetscape and landscaping</b>			
<b>PO24</b> Landscaping and streetscaping is provided to: (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land uses or from the street; (e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and	<b>AO24.1</b> Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area. <b>AND</b> <b>AO24.2</b> Where adjoining a non-residential zone, landscaping provides: (a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and	<b>Not Applicable</b>	The proposal is for residential development.
		<b>Not Applicable</b>	The proposal does not adjoin non-residential development.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
(f) allow shading for pedestrian comfort.	(b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary. <b>AND</b>		
	<b>AO24.3</b> Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid fence along the side and rear property boundaries.  Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.	<b>Not Applicable</b>	The proposal does not adjoin non-residential development.
<b>PO25</b> Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.	<b>AO25.1</b> Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by SC6.12 — Landscape design and street trees planning scheme policy.	<b>Not Applicable</b>	The proposal does not involve any visually significant vegetation, with the exception of a street tree at the front of the site. The proposal does not involve impacts to this design.
<b>Structure planning for urban development</b>			
<b>PO26</b> New development within greenfield areas for urban purposes on lots greater than five (5) hectares: (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, bicycle, public transport and private vehicle connections;	No acceptable outcome is nominated.  Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.	<b>Not Applicable</b>	The proposal is for a Dual Occupancy development which does not involve structure planning considerations.

## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<ul style="list-style-type: none"> <li>(e) provides linkages between residential areas and open space, centres and public facilities;</li> <li>(f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area);</li> <li>(g) collocates higher density residential uses in and around centres, high order roads and other transport facilities;</li> <li>(h) avoids and manages impacts of natural hazard;</li> <li>(i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site;</li> <li>(j) facilitates environmentally and climate responsive design; and</li> <li>(k) provides a well dispersed network of open space.</li> </ul>			
<b>Where in the Fitzroy River Accommodation Precinct</b> Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.			
<b>PO27</b> Non-residential uses are directly associated with boating activities on the Fitzroy River and are small in scale.	<b>PO27.1</b> Food and drink outlet(s) and shop(s) are limited to 150 square metres gross floor area. <b>AND</b>	<b>Not Applicable</b>	The proposal is not located within the Fitzroy River Accommodation Precinct.
	<b>AO27.2</b> Retail uses primarily sell goods associated with boating activities. <b>AND</b>	<b>Not Applicable</b>	The proposal is not located within the Fitzroy River Accommodation Precinct.
	<b>AO27.3</b> Outdoor sales or other outdoor activities are limited to 200 square metres total use area. Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats/pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.	<b>Not Applicable</b>	The proposal is not located within the Fitzroy River Accommodation Precinct.



## Part 6 Zone Codes

### 6.2.1 Low density residential zone code

Performance outcomes	Acceptable outcomes	Solution	Response
<b>PO28</b> The use is not for the purposes of a stand-alone office, shopping centre, showroom or hardware and trade supplies.	No acceptable outcome is nominated.	<b>Not Applicable</b>	The proposal is not located within the Fitzroy River Accommodation Precinct.
<b>PO29</b> Outdoor sales activities are limited to the hiring and leasing of boats and associated equipment and does not involve the sale of products.	No acceptable outcome is nominated.	<b>Not Applicable</b>	The proposal is not located within the Fitzroy River Accommodation Precinct.
<b>Where in the residential stables precinct when involving an animal keeping (stables only) use</b> Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.			
<b>PO30</b> Development for animal keeping (stables only) is consolidated within and does not expand beyond the boundaries of the residential stables precinct.	No acceptable outcome is nominated.	<b>Not Applicable</b>	The proposal does not involve any Animal Keeping land use activities.

## Part 8 Overlay Codes

### 8.2.2 Airport environs overlay code

### 8.2.2 Airport environs overlay code

**Table 8.2.2.3.1 Development outcomes for assessable development and requirements for accepted development (part)**

Performance outcomes	Acceptable outcomes	Solution	Response
<b>Operational airspace (obstacle limitation surface)</b> Editor's note— Refer to overlay map overlay map OM-2A			
<b>PO1</b> Development does not involve permanent, temporary or transient physical obstruction (natural or man-made) of operational airspace.	<b>AO1.1</b> Development does not allow the following to penetrate the airport's operational airspace as identified on overlay map OM-2A: (a) buildings or structures (including antennae and any cranes or construction equipment used); or (b) wind farms or wind monitoring equipment; or (c) landscaping that at maturity would infringe on the operational airspace; or (d) recreational or sporting activities that include parachuting, hot air-ballooning and hang-gliding. Note—Building heights on the airport obstacle limitation surface overlay map OM-2A prevail over building heights detailed in zone codes. Editor's note—Development which includes a building, structure or landscaping which will exceed the heights identified on airport obstacle limitation surface overlay map OM-2A may be referred by Council to the airport operator whose advice and decision on the proposal may be adopted by Council.	<b>Complies with AO1.1</b>	The proposal does not involve any features which exceed 30m in height, and protrude into airport operational airspace.

### 9.3.9 Works code

**Table 9.3.9.3.1 Development outcomes for assessable development and requirements for accepted development**

Performance outcomes	Acceptable outcomes	Solution	Response
<b>Access driveways</b>			
<p><b>PO1</b></p> <p>Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ul style="list-style-type: none"> <li>(a) the size of the parking area;</li> <li>(b) the volume, frequency and type of vehicle traffic;</li> <li>(c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access;</li> <li>(d) the type of use and the implications on parking and circulation for example long-term or short-term car parking;</li> <li>(e) frontage road function and conditions; and</li> <li>(f) the capacity and function of the adjoining street system.</li> </ul>	<p><b>AO1.1</b></p> <p>New access driveways are not located within:</p> <ul style="list-style-type: none"> <li>(a) twenty-five (25) metres of a signalised road intersection;</li> <li>(b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and</li> <li>(c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.</li> </ul>	<p><b>Complies with AO1.1</b></p>	<p>The proposal is not located within any of the prescribed distances listed within AO1.1.</p>
<p><b>PO2</b></p> <p>Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p><b>AO2.1</b></p> <p>New access driveways:</p> <ul style="list-style-type: none"> <li>(a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs;</li> <li>(b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; must be sealed and to a formed road;</li> <li>(c) are not constructed over an access point to equipment under the control of a regulatory authority, including stormwater pits, water meters, hydrants and telephone pits; and</li> <li>(d) where an access chamber is to be incorporated within the driveway, are raised</li> </ul>	<p><b>Complies with AO2.1.</b></p>	<p>The proposal is not located within any of the prescribed distances listed within AO2.1.</p>

## Part 9 Development Codes

### 9.3.9 Works code

Performance outcomes	Acceptable outcomes	Solution	Response
	or lowered to match the surface level of the driveway are provided with a trafficable lid.		
<b>PO3</b> Access driveways and cross-falls within the verge are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	<b>AO3.1</b> New access driveways and cross-falls within the verge are constructed in compliance with the Capricorn Municipal Development Guidelines.	<b>Complies with PO3.</b>	The proposal involves a second vehicle crossing upon an allotment with a frontage under 30m. Notwithstanding, the proposed vehicle crossing does not affect the level of any footpaths, and will allow safe and functional access to the street.  Refer to Appendix C for further information.
<b>PO4</b> An access driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	<b>AO4.1</b> New access driveways have a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.	<b>Complies PO4.</b>	The proposed access driveway will not cause any ponding, or result in water entering a building.
<b>Parking, access and transport</b>			
<b>PO5</b> Provision is made for on-site vehicle parking: (a) to meet the demand likely to be generated by the development; and (b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.  Editor's note—SC6.6 — Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.	<b>AO5.1</b> <b>AO5.1.1</b> On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code.  <b>OR</b> <b>AO5.1.2</b> Where a change of use of existing premises is proposed and involves not more than minor building work, the existing number of on-site car parks is retained or increased.	<b>Complies with AO5.1.1</b>	As per the Site Plan, the proposed development provides a total of four (4) on-site car parking spaces. Specifically, the existing dwelling provides a total of two (2) on-site car parking spaces, both of which are covered beneath the dwelling.  The proposed Dual Occupancy also provides a total of two (2) on-site car parking spaces, one (1) covered space within the proposed single open carport and one (1) uncovered space, provided in tandem arrangement.  Refer to Proposal Plans.

## Part 9 Development Codes

### 9.3.9 Works code

Performance outcomes	Acceptable outcomes	Solution	Response
<b>PO6</b> Car parking areas are designed to: (a) be clearly defined, marked and signed; (b) be convenient and accessible; (c) be safe for vehicles, pedestrians and cyclists; and (d) provide spaces which meet the needs of people with disabilities.	<b>AO6.1</b> AO6.1.1 The car parking areas are sealed and designed in accordance with Australian Standard AS 2890, as updated from time to time. OR AO6.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of on-site car parks is maintained or improved.	<b>Will Comply with AO6.1.1</b>	The proposed car parking areas are to be sealed and designed in accordance with Australian Standard AS 2890.
<b>PO7</b> Parking access arrangements are appropriate for: (a) the capacity of the parking area; (b) the volume, frequency and type of vehicle usage; and (c) the function and characteristics of the access road and adjoining road network.	<b>AO7.1.1</b> Parking access is provided in accordance with Australian Standard AS 2890, as updated from time to time. OR <b>AO7.1.2</b> Where a change of use of existing premises is proposed and involves not more than minor building work, the existing parking access is maintained or improved.	<b>Will Comply with AO7.1.1</b>	The proposed parking access is to be provided in accordance with Australian Standard AS 2890.



## Part 9 Development Codes

### 9.3.9 Works code

Performance outcomes	Acceptable outcomes	Solution	Response
<b>PO8</b> Landscaping is provided to soften the visual impact of car parking areas and to provide shading.	<b>AO8.1</b> AO8.1.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate: (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks. Editor's note—SC6.12 — Landscaping design and street trees planning scheme policy provides sources for determining appropriate species and planting standards. OR AO8.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of landscaping is maintained or improved.	<b>Complies with AO8.1.</b>	The proposal involves a total of 1 uncovered carparking space, necessitating 1 shade tree. This will be provided adjacent to the carparking area in accordance with AO8.1.1.
<b>PO9</b> Provision is made for the on-site loading, unloading, manoeuvring and access by service vehicles that: (a) is adequate to meet the demands generated by the development; (b) is designed to accommodate service vehicle requirements; (c) is wholly contained within the site; and (d) does not unduly impede vehicular, cyclist and pedestrian safety and convenience within the site.	<b>AO9.1</b> AO9.1.1 New development is designed to ensure service vehicles do not perform reversing movements onto public roads. <b>AND</b> AO9.1.2 Access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890. <b>OR</b>	<b>Not Applicable</b>	The proposal is for a Dual Occupancy and does not require service vehicle access.
	<b>AO9.2</b> Where a change of use of existing premises is proposed and involves not more than minor building work, the existing provision for service	<b>Not Applicable</b>	The proposal is for a Dual Occupancy and does not require service vehicle access.

## Part 9 Development Codes

### 9.3.9 Works code

Performance outcomes	Acceptable outcomes	Solution	Response
	vehicles is maintained or improved.		
<b>PO10</b> Development is located on roads that are appropriate for the nature of traffic (including vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.	<b>AO10.1</b> AO10.1.1 The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines. OR AO10.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing infrastructure fronting the proposed development is maintained or improved.	<b>Not Applicable</b>	The proposal adjoins a major urban collector, which is adequately designed in accordance with the PSP. No changes to the infrastructure fronting the site are proposed.
<b>Infrastructure</b>			
<b>PO11</b> A water supply is provided that is adequate for the current and future needs of the development.	<b>AO11.1</b> Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines. Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome. Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.	<b>Will Comply with AO11.1</b>	The proposed development will be connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.
<b>PO12</b> Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.	<b>AO12.1</b> Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.	<b>Complies with AO12.1</b>	The proposed development will ensure water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.

## Part 9 Development Codes

### 9.3.9 Works code

Performance outcomes	Acceptable outcomes	Solution	Response
	<p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p><b>AND</b></p>		
	<p><b>AO12.2</b></p> <p>Where within a water supply planning area, staged developments are connected to the water supply network and operational, prior to the commencement of the use or endorsement of the survey plan.</p>	<b>Not Applicable</b>	The proposal is not a staged development.
<p><b>PO13</b></p> <p>Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p><b>AO13.1</b></p> <p>Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p>	<b>Complies with AO13.1</b>	The proposed development will be connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.
<p><b>PO14</b></p> <p>Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p><b>AO14.1</b></p> <p>Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p><b>AND</b></p>	<b>Complies with AO14.1</b>	The proposed development will ensure waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.
	<p><b>AO14.2</b></p> <p>Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of</p>	<b>Not Applicable</b>	The proposal is not a staged development.

## Part 9 Development Codes

### 9.3.9 Works code

Performance outcomes	Acceptable outcomes	Solution	Response
	the survey plan.		
<b>PO15</b> Development is located and designed in a manner that does not result in adverse flood affects to the site and on adjoining properties.	<b>AO15.1</b> The development does not result in an increase in flood level, flood water velocity or flood duration on upstream, downstream or adjacent properties. <b>AND</b>	<b>Will Comply with AO15.1</b>	The proposal is not altering any land condition and will not result in an increase in flood level, flood water velocity or flood duration on upstream, downstream or adjacent properties.
	<b>AO15.2</b> Roof and surface water is conveyed to the kerb and channel or an inter-allotment drainage system in accordance with Australian Standard AS/NZ 3500.3.2, and the Queensland Urban Drainage Manual as updated from time to time.	<b>Will comply with AO15.2</b>	Based on the Site Plan notes, the proposed Dual Occupancy will discharge roofwater via 100m PVC pipe to Council's stormwater drainage system or on site rain water tank, if applicable. The proposal will ensure roof and surface water is managed in accordance with Australian Standard AS/NZ 3500.3.2, and the Queensland Urban Drainage Manual as updated from time to time. It is noted that the subject site includes a slope toward Berserker Street, which will allow for a LPoD to be achieved. Refer to Site Preparation & Drainage Notes for further details.
<b>Waste Management</b>			
<b>PO16</b> Provision is made for waste management that is appropriate to the use, protects the health and safety of people and the environment. Editor's note—Applicants should also be aware that any provision for disposal of any trade waste is to be made in accordance Council's Trade Waste Policy supporting the <i>Water Act 2000</i> , <i>Water Supply (Safety and Reliability) Act 2008</i> and the <i>Plumbing and Drainage Act 2018</i> .	<b>AO16.1</b> The development provides a bin container storage area that has a sealed pad and is screened to the height of the bins. <b>AND</b>	<b>Complies with AO16.1</b>	A sealed and screened bin container storage area has been provided for both dwellings. Refer to Proposal Plans.
	<b>AO16.2</b> On sites in an industrial zone that are greater than 2,000 square metres in area, provision is made for refuse collection vehicles to access the collection area and to enter and leave the	<b>Not Applicable</b>	The site is not located within an industrial zone.

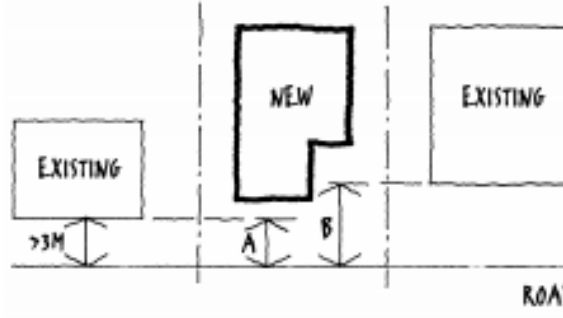
## Part 9 Development Codes

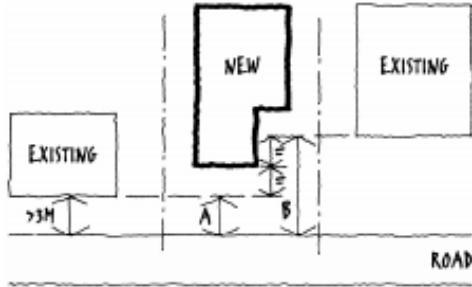
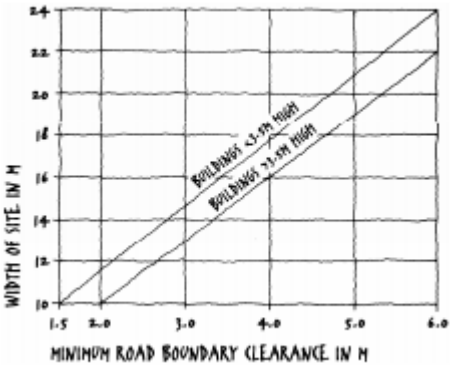
### 9.3.9 Works code

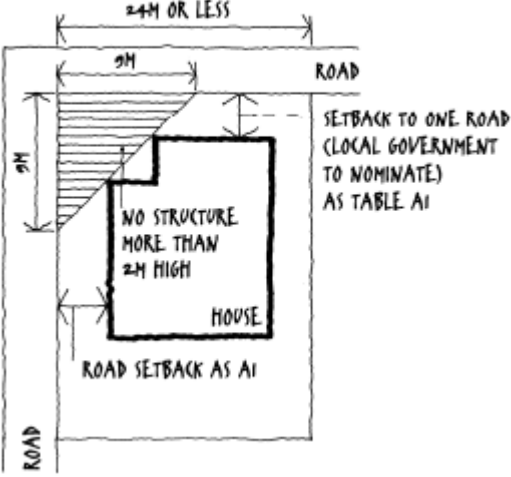
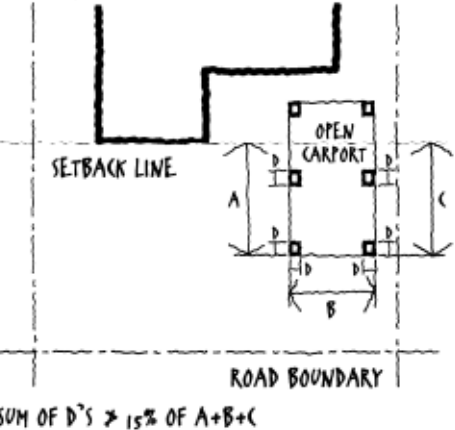
Performance outcomes	Acceptable outcomes	Solution	Response
	<u>site</u> in a forward direction without having to make more than a three-point turn.		
<b>Erosion and Sediment Control</b>			
<b>PO17</b> Development ensures that all reasonable and practical measures are taken to manage the impact of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, to protect water quality and environmental values.	<b>AO17.1</b> AO17.1.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines. OR AO17.1.2 No filling or excavation is occurring on the site.	<b>Complies with PO17.</b>	The proposal involves very minimal filling and excavation, which will ensure that erosion and sediment impacts are minimised. Notwithstanding, all industry best-practices will be implemented through any earthworks carried out on the property.



## MP 1.2 – Design and Siting Standard for Duplex Housing – Performance criteria and acceptable solutions

Performance Criteria	Acceptable Solutions	Solution	Response
<b>Element 1 – Design and Siting of Buildings and Structures</b>			
<b>Buildings and Structure</b>			
<p><b>P1</b></p> <p>The location of a <i>building</i> or structure facilitates an acceptable streetscape, appropriate for –</p> <ul style="list-style-type: none"> <li>(a) the bulk of the <i>building</i> or structure; and</li> <li>(b) the road boundary <i>setbacks</i> of neighboring buildings or structures; and</li> <li>(c) the outlook and views of neighbouring residents; and</li> <li>(d) nuisance and safety to the public</li> </ul> <p><b>Figure 1</b></p>  <p>WHERE B LESS A IS NOT MORE THAN 2M SETBACK = ANY DISTANCE BETWEEN A AND B</p>	<p><b>A1</b></p> <ul style="list-style-type: none"> <li>(a) For a <b>duplex, garage or carport</b> the minimum road setback is: <ul style="list-style-type: none"> <li>(i) 6m; or</li> <li>(ii) where there are existing detached dwellings on both adjoining lots and at least one of the detached dwellings or duplex is setback from the road between 3m and 6m, and the difference between their road setbacks is- <ul style="list-style-type: none"> <li>(A) not more than 2m- a distance between the two buildings (<b>Figure 1</b>); or</li> <li>(B) more than 2m- the average of the road setbacks of the adjacent buildings (<b>Figure 2</b>); and</li> </ul> </li> </ul> </li> <li>(b) For a corner lot, the minimum road setbacks are- <ul style="list-style-type: none"> <li>(i) as for A1(a)(i); or</li> <li>(ii) where the lot has an average depth of 24m or less – <ul style="list-style-type: none"> <li>(A) for the nominated road frontage – as in <b>Table A1</b>; and</li> <li>(B) for the other road frontage - as for A1(a)(i); and</li> <li>(C) ) no building or structure over 2m high is built within a 9m by 9m truncation at the corner of the 2 road frontages (<b>Figure 3</b>).</li> </ul> </li> </ul> </li> </ul>	<b>Not applicable</b>	<p>Road boundary setbacks are regulated by the <i>Rockhampton Region Planning Scheme 2015</i> (v5). Refer to the Low Density Residential Zone Code responses.</p>

Performance Criteria	Acceptable Solutions	Solution	Response
<p><b>Figure 2</b></p>  <p>WHERE B LESS A IS 2M OR MORE SETBACK = AVERAGE DISTANCE BETWEEN A AND B</p> <p><b>Table A1</b></p>  <p>WIDTH OF SITE IN M</p> <p>MINIMUM ROAD BOUNDARY CLEARANCE IN M</p>	<p>(c) For <b>open carports</b>, the minimum road setback may be less than required by A(i)(a) if –</p> <ul style="list-style-type: none"> <li>(i) the aggregate perimeter dimension of walls, solid screens, and supports located within the setback does not exceed 15% of the total perimeter dimension (along the line of supports) of that part of the carport within the same setback (<b>Figure 4</b>); and</li> <li>(ii) there is no alternative on-site location for a garage or carport that – <ul style="list-style-type: none"> <li>(A) complies with A(i)(a); and</li> <li>(B) will allow vehicular access having a minimum width of 2.5m; and</li> <li>(C) has a maximum gradient of 1 in 5.</li> </ul> </li> </ul> <p>(d) For structures the minimum road setbacks are as for A1(a), (b), and (c) except for –</p> <ul style="list-style-type: none"> <li>(i) <b>swimming pools</b>, where the minimum distance from the water to the road frontage is – <ul style="list-style-type: none"> <li>(A) where the vertical distance to the coping above the finished ground level is not more than 1.2m – 1.5m; or</li> <li>(B) where a solid wall or fence at least 1.8m high above finished ground level is constructed between the water and the road frontage and the top of the wall or fence is at least 1.0m above the top of the coping of the pool – no requirement; and</li> </ul> </li> <li>(ii) <b>screens, fences, retaining walls or a combination of screens, fences or</b></li> </ul>		

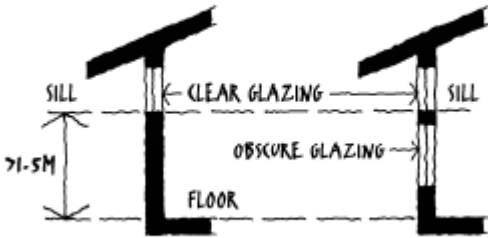
Performance Criteria	Acceptable Solutions	Solution	Response
<p><b>Figure 3</b></p>  <p><b>Figure 4</b></p> 	<p><b>retaining walls</b> not more than 2m in height; and</p> <p>(iii) roofed <b>gatehouses</b> and <b>arches</b> having –</p> <p>(A) a maximum area of 4m<sup>2</sup>; and</p> <p>(B) not more than 2m wide elevation to street; and</p> <p>(C) not more than 3m in height.</p>		

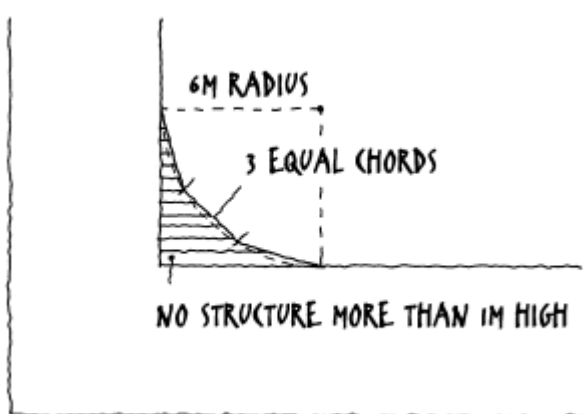
Performance Criteria	Acceptable Solutions	Solution	Response
<p><b>P2</b></p> <p>Buildings and Structures –</p> <p>(a) provide adequate daylight and ventilation to habitable rooms; and</p> <p>(b) allow adequate light and ventilation to habitable rooms of buildings on adjoining lots.</p> <p>(c) do not adversely impact on the amenity and privacy of residents on adjoining lots.</p>	<p><b>A2</b></p> <p>(a) The <b>side and rear boundary clearance</b> for a part of the <i>building or structure</i> is –</p> <p>(i) where the height of that part is 4.5m or less - 1.5m; and</p> <p>(ii) where the height of that part is greater than 4.5m but not more than 7.5m - 2m; and</p> <p>(iii) where the height is greater that 7.5m - 2m plus 0.5m for every 3m or part exceeding 7.5m</p> <p>(b) For a rectangular or near rectangular <b>narrow lot</b> with a 15m or less frontage, the minimum side and rear setbacks for that part are –</p> <p>(i) where the height is not more than 7.5m – in accordance with <b>Table A2</b>; and</p> <p>(ii) where the height is more than 7.5m – 2m plus 0.5m for every 3m or part of 3m by which the height exceeds 7.5m.</p> <p>(c) <b>Structures</b> may be exempted from A2 (a) and (b) where-</p> <p>(i) the <i>structure</i> is not a deck, patio, pergola, verandah or the like other than one permitted under A2 (c) (v)</p> <p>(ii) the structure is not used for entertainment, recreational purposes or the like</p> <p>(iii) a screen, fence or retaining wall or a combination of screens, fences or retaining walls is not more than 2m in height or</p> <p>(iv) a rainwater tank, including any supporting structure such as a stand, is not more than 2.4m high.</p>	<p><b>Complies with A2</b></p>	<p>(a) The overall building height is approximately 5.35m. Accordingly, the proposed dwelling achieves a minimum side boundary setback of 3.0m. The proposed carport provides a 0.97m northern side boundary setback, however the proposed carport complies with A2(d), as demonstrated under A2(d) below.</p> <p>(b) Site is not a narrow lot.</p> <p>(c) Exemption from A2(a) and (b) is not required.</p>

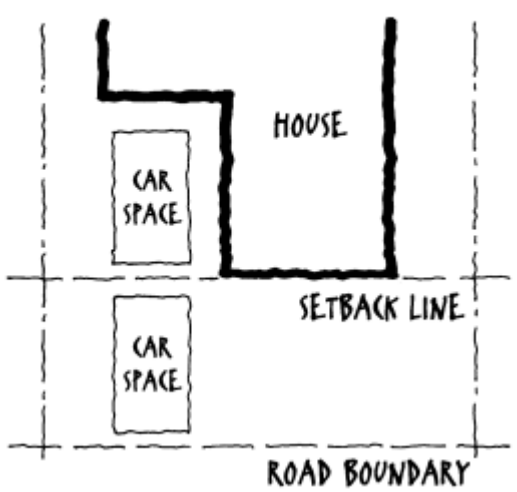
<b>Table A2</b>																																							
<table><tr><th><i>Road Frontage</i></th><th colspan="2"><i>Side and Rear boundary clearances</i></th></tr><tr><th><i>in metres</i></th><th colspan="2"><i>eight in metres</i></th></tr><tr><td></td><td><i>4.5 or less</i></td><td><i>4.5 to 7.5</i></td></tr><tr><td>14.501 – 15.000</td><td>1.425</td><td>1.900</td></tr><tr><td>14.001 – 14.500</td><td>1.350</td><td>1.800</td></tr><tr><td>13.501 – 14.000</td><td>1.275</td><td>1.700</td></tr><tr><td>13.001 – 13.500</td><td>1.200</td><td>1.600</td></tr><tr><td>12.501 – 13.000</td><td>1.125</td><td>1.500</td></tr><tr><td>12.001 – 12.500</td><td>1.050</td><td>1.400</td></tr><tr><td>11.501 – 12.000</td><td>0.975</td><td>1.300</td></tr><tr><td>11.001 – 11.500</td><td>0.900</td><td>1.200</td></tr><tr><td>10.501 – 11.000</td><td>0.825</td><td>1.100</td></tr><tr><td>10.500 or less</td><td>0.750</td><td>1.000</td></tr></table>	<i>Road Frontage</i>	<i>Side and Rear boundary clearances</i>		<i>in metres</i>	<i>eight in metres</i>			<i>4.5 or less</i>	<i>4.5 to 7.5</i>	14.501 – 15.000	1.425	1.900	14.001 – 14.500	1.350	1.800	13.501 – 14.000	1.275	1.700	13.001 – 13.500	1.200	1.600	12.501 – 13.000	1.125	1.500	12.001 – 12.500	1.050	1.400	11.501 – 12.000	0.975	1.300	11.001 – 11.500	0.900	1.200	10.501 – 11.000	0.825	1.100	10.500 or less	0.750	1.000
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10.500 or less	0.750	1.000																																					

Performance Criteria	Acceptable Solutions	Solution	Response
	<ul style="list-style-type: none"> <li>(v) subject to A2 (c) (ii), it is a pergola or other structure which is- <ul style="list-style-type: none"> <li>(A) not enclosed by walls or roofed; and</li> <li>(B) not more than 2.4m in height at the boundary; and</li> <li>(C) primarily ornamental or for horticultural purposes.</li> </ul> </li> <li>(d) <b>Subject to A2(c), class 10a buildings</b> or parts may be within the boundary clearances nominated in A2 (a) and (b) where- <ul style="list-style-type: none"> <li>(i) the height of a part within the boundary clearance is not more than 4.5m and has a mean height of not more than 3.5m; and</li> <li>(ii) the total length of all buildings or parts, of any class, within the boundary clearance is not more than 9m along any one boundary; and</li> <li>(iii) the class 10a buildings or parts within the boundary clearance are located no closer than 1.5m to a required window in a habitable room of an adjoining dwelling.</li> </ul> </li> <li>(e) <b>Swimming pools</b> may be within the boundary clearances nominated in A2(a) and (b) where – <ul style="list-style-type: none"> <li>(i) a solid wall or fence, constructed to prevent water entry onto adjoining lots, at least 1.8m high above finished ground level, is erected between the swimming pool and the boundary of the lot; and</li> <li>(ii) the top of the wall or fence is at least 1.0m above the top of the coping of the pool.</li> </ul> </li> </ul>		<ul style="list-style-type: none"> <li>(d) The proposed open carport provides 0.97m northern side boundary setback. However, the proposed carport complies with A2(d) as demonstrated below: <ul style="list-style-type: none"> <li>(i) The proposed single open carport has a maximum height of 2.9m and has a mean height of 2.75m.</li> <li>(ii) As per the Site Plan, all other buildings along the western boundary clearance provide compliant setbacks. As such, the proposed carport, being a 6m in length ensures compliance with A2(d)(ii).</li> <li>(iii) The proposed single open carport does not adjoin habitable room of the adjoining dwelling to the west.</li> </ul> </li> </ul>



Performance Criteria	Acceptable Solutions	Solution	Response
			(e) Swimming pools are not proposed.
<b>P3</b> Adequate open space is provided for recreation, service facilities and landscaping.	<b>A3</b> The maximum <b>area</b> covered by all <i>buildings</i> and <i>structures</i> roofed with impervious materials, does not exceed 50% of the <i>lot area</i> .	<b>Not applicable</b>	Site cover is regulated by the <i>Rockhampton Region Planning Scheme 2015</i> (v5). Refer to the Low Density Residential Zone Code responses.
<b>P4</b> The height of a building is not to unduly – (a) overshadow adjoining houses; and (b) obstruct the outlook from adjoining lots.	<b>A4</b> For lot slopes- (a) up to 15%, the <b>building height</b> is not more than 8.5m; and (b) of 15% or more, the <i>building height</i> is not more than 10m.	<b>Not applicable</b>	Building height is regulated by the <i>Rockhampton Region Planning Scheme 2015</i> (v5). Refer to the Low Density Residential Zone Code responses.
<b>P5</b> <i>Buildings</i> are sited and designed to provide adequate visual privacy for neighbours.  <b>Figure 5</b>  WINDOW OPENINGS FOR VISUAL PRIVACY	<b>A5</b> Where the distance separating a <i>window</i> or <i>balcony</i> of a <i>detached dwelling</i> from the side or rear boundary is less than 1.5m – (a) a permanent <i>window</i> and a balcony has a <i>window/balcony</i> screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or (b) a <i>window</i> has a sill <i>height</i> more than 1.5m above the adjacent floor level, or (c) a <i>window</i> has obscure glazing below 1.5m ( <b>Figure 5</b> ).	<b>Not Applicable</b>	No permanent windows or balconies are located within 1.5m of the side or rear boundaries.
<b>P6</b>	<b>A6</b> A wall is –	<b>Not Applicable</b>	The proposal does not include any walls within

Performance Criteria	Acceptable Solutions	Solution	Response
The location of a <i>building</i> or <i>structure</i> facilitates normal <i>building</i> maintenance.	(a) set back a minimum of 750mm from the side or rear boundary; or (b) where less than 750mm to the boundary, maintenance free, such as unpainted or untreated masonry or prefinished steel sheeting.		750mm of a side or rear boundary.
<b>P7</b> The size and location of <i>structures</i> on corner sites provide for adequate sight lines. <b>Figure 6</b> 	<b>P7</b> <b>Fences, screens, and retaining walls and other Structures</b> are not more than 1m high within a truncation made by 3 equal chords of a 6m radius curve at the corner of the 2 <i>road frontages</i> ( <b>Figure 6</b> ).	<b>Not Applicable</b>	The proposal is not required to provide a corner truncation.
<b>Element 2 – Space for On Site Parking and Outdoor Living Space</b>			
<b>P8</b> Sufficient space for on-site carparking to satisfy the projected needs of residents and visitors, appropriate for – (a) the availability of public transport; and (b) the availability of on-street parking; and (c) the desirability of on-street parking in respect to the streetscape; and (d) the residents likelihood to have or need a vehicle.	<b>A8</b> For each <i>detached duplex</i> , space is provided for parking two vehicles on the lot and the space has – (a) minimum dimensions as follows: (i) for a single uncovered parking space- 4.9m by 2.6m wide; and (ii) for a single covered parking space- 5m by 3m wide; and	<b>Not Applicable</b>	Car parking on site is regulated by the <i>Rockhampton Region Planning Scheme 2015</i> (v5). Please refer to the Works Code response.

Performance Criteria	Acceptable Solutions	Solution	Response
<p><b>Figure 7</b></p>  <p>The diagram shows a house footprint labeled 'HOUSE' situated between a 'ROAD BOUNDARY' (indicated by a dashed line) and a 'SETBACK LINE' (indicated by a solid line). Two rectangular areas labeled 'CAR SPACE' are shown: one is located behind the setback line, and the other is located between the setback line and the road boundary. The house footprint is L-shaped, with one part of the house behind the setback line and another part extending forward to the setback line.</p>	<ul style="list-style-type: none"> <li>(iii) for a double covered parking space 5 by 5.5m wide; and</li> <li>(iv) for a single garage 6m by 3m wide internally; and</li> <li>(v) for a double garage 6m by 5.7m wide internally.</li> </ul> <p>(b) Car parking spaces may be in tandem, provided one space is behind the road setback required under Element 1 (<b>Figure 7</b>).</p>		
<p><b>P9</b></p> <p>In a duplex, each dwelling has its own individual outdoor living space available which –</p> <ul style="list-style-type: none"> <li>(a) has suitable size and slope is to allow residents to extend their living activities outdoors; and</li> <li>(b) is available for the sole use of the residents of individual dwellings; and</li> <li>(c) is adequately separated from each other to provide visual privacy</li> </ul>	<p><b>A9</b></p> <p>Each dwelling in a duplex has a clearly defined outdoor living space which –</p> <ul style="list-style-type: none"> <li>(a) has an area of at least 16m<sup>2</sup> ; and</li> <li>(b) has no dimension less than 4m; and</li> <li>(c) has access from a living area and</li> <li>(d) has a slope of not more than 1 in 10; and</li> <li>(e) provides visual privacy from another outdoor living space by a window/balcony screen</li> </ul>	<p><b>Not Applicable</b></p>	<p>Outdoor living space is regulated by the <i>Rockhampton Region Planning Scheme 2015</i> (v5). Please refer to the Low Density Residential Zone Code response.</p>
<b>Element 3 – Duplex Requirements in Planning Schemes</b>			
<p><b>P10</b></p> <p>A duplex complies with the relevant qualitative statements of a planning scheme</p>	<p><b>A10</b></p> <p>A duplex complies with the relevant quantifiable standards of a planning scheme</p>	<p><b>Complies with A10</b></p>	<p>The proposed Dual Occupancy (Duplex) complies with the relevant quantifiable standards of</p>

Performance Criteria	Acceptable Solutions	Solution	Response
			<p><i>Rockhampton Region Planning Scheme 2015 (v5).</i></p> <p>Please refer to the attached Town Planning Assessment, Code Compliance Statements responses, and proposal plans for further details.</p>

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b>	<b>30206052</b>	<b>Search Date:</b>	12/02/2025 14:11
<b>Date Title Created:</b>	11/03/1946	<b>Request No:</b>	50863015
<b>Previous Title:</b>	30001051		

#### ESTATE AND LAND

Estate in Fee Simple

LOT 31 REGISTERED PLAN 600722  
Local Government: ROCKHAMPTON

#### REGISTERED OWNER

Dealing No: 723236434 03/05/2024

NICHOLSON HODKINSON HOLDINGS PTY LIMITED A.C.N. 665 290 184TRUSTEE  
UNDER INSTRUMENT 723236434

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 19508021 (POR 32)
2. MORTGAGE No 723236435 03/05/2024 at 16:16  
FIRST MORTGAGE COMPANY HOME LOANS PTY LIMITED A.C.N. 104 268  
448

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*





## Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT  
ASSESSMENT RULES

Application number:	<b>D/82-2025</b>	<i>For further information regarding this notice, please contact:</i>	Michelle Mackay
Date application properly made:	<b>18 June 2025</b>	Phone:	07 4936 8099

### 1. APPLICANT DETAILS

Name:	<b>DC House C/- HPC Planning</b>		
Postal address:	<b>Level 12/126 Margaret Street BRISBANE QLD 4000</b>		
Contact number:	07 3217 5800	Email:	todd.g@hpcplanning.com.au

### 2. PROPERTY DESCRIPTION

Street address:	26 Berserker Street, Berserker
Real property description:	Lot 31 on RP600722

### 3. OWNER DETAILS

Name:	Nicholson Hodgkinson Holdings Pty Ltd Tte
Postal address:	31 Joalah Crescent FERNY HILLS QLD 4055

### 4. DEVELOPMENT APPROVAL SOUGHT

**Development Permit for a Material Change of Use for a Dual Occupancy**

### 5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### 6. REFERRAL AGENCIES

**NIL**

### 7. IMPACT ASSESSMENT

Will Impact Assessment be required?	<b>YES</b>
The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:	
<ul style="list-style-type: none"><li>- Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and</li></ul>	

- Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and
- Giving a notice to all owners of any lots adjoining the premises which are the subject of the application.

#### 8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

#### 9. INFORMATION REQUEST

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

#### 10. SUPERSEDED PLANNING SCHEME

Is the application to be assessed under a Superseded Planning Scheme?
---

<b>NO</b>
-----------

**You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.**

#### 11. ASSESSMENT MANAGER

Name: **Michelle Mackay**  
**PLANNING OFFICER**

Signature:

Date: 30 June 2025





**Rockhampton Office**  
232 Bolsover St, Rockhampton  
**Gracemere Office**  
1 Ranger St, Gracemere  
**Mount Morgan Office**  
32 Hall St, Mount Morgan

7 July 2025

Our reference: D/82-2025  
Enquiries to: Michelle Mackay  
Telephone: 07 4936 8099

DC House  
C/- HPC Planning  
Level 12/126 Margaret Street  
BRISBANE QLD 4000

Dear Sir/Madam

**INFORMATION REQUEST – DEVELOPMENT APPLICATION D/82-2025 FOR MATERIAL CHANGE OF USE FOR DUAL OCCUPANCY – SITUATED AT 26 BERSERKER STREET, BERSERKER DESCRIBED AS LOT 31 ON RP600722**

Council refers to your application received by Council on 16 June 2025.

Council officers have undertaken a detailed assessment of the development application and require you to provide further information to address the following issues:

- 1.0 Please amend driveway design for the northern access to allow a separate access for the proposed new dwelling. The new access should comply with the *Capricorn Municipal Development Guidelines*. Please provide an updated Site Plan showing amended design.

Note: Council Officers will not accept the current access arrangements as per Site Plan. A separate access is to be provided to each occupancy to ensure safety and convenience for all occupants.

Under section 13 of the Development Assessment Rules, the Applicant has three (3) options available in response to this information request. The Applicant must give the Assessment Manager:

1. all of the information requested; or
2. part of the information requested, together with a notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application; or
3. a notice:
  - i. stating the Applicant does not intend to supply any of the information requested; and
  - ii. requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

Response to this further information request should be forwarded to:

[General.Enquiries@rrc.qld.gov.au](mailto:General.Enquiries@rrc.qld.gov.au) or;

Development Assessment Section  
Rockhampton Regional Council  
PO Box 1860  
ROCKHAMPTON QLD 4700

A response needs to be received within a period of three (3) months from the date of this letter, In accordance with section 68 (1) of the *Planning Act 2016* and sections 12 and 13 of the Development Assessment Rules. Please forward your response to this information request to Council at your earliest convenience, in order for the assessment of your application to progress further.

Should you have any queries regarding the above information request, please contact the undersigned on 07 4936 8099.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'mmf.', is positioned above the printed name.

Michelle Mackay  
Planning Officer  
Planning and Regulatory Services

**Information Request Response Form**  
**(to be returned to the Assessment Manager with the response)**

I \_\_\_\_\_ choose to respond to the Assessment Manager's  
Information Request:

☐ in full;

OR

☐ in part, with this notice requiring the Assessment Manager and each referral  
agency to proceed with the assessment of the application;

OR

☐ stating that I do not intend to supply any of the information requested; and  
requiring the Assessment Manager and each referral agency to proceed with the  
assessment of the application.

A copy of the response to the Assessment Manager's information request has been provided  
to all Referral Agencies nominated on the Confirmation Notice.

I understand the requirements of this Information Request as listed above.

Signed : \_\_\_\_\_ Date : \_\_\_\_\_

Position : \_\_\_\_\_





**BRISBANE**  
Level 12, 126 Margaret  
Street, Brisbane, QLD 4000  
t. 07 3217 5800

**GOLD COAST**  
Level 4, Central Tower One,  
56 Scarborough Street,  
Southport, QLD 4215  
t. 07 3101 4157

HPC Ref: 24283  
Council Ref: D/49-2025

24 July 2025

Sent via: email

**Rockhampton Regional Council**  
PO Box 1860  
Rockhampton QLD 4700  
[General.Enquiries@rrc.qld.gov.au](mailto:General.Enquiries@rrc.qld.gov.au)

**Attention: Michelle Mackay**

Dear Sophie,

**Information Request response under Part 3(13) of the *Development Assessment Rules*: Development Application for Material Change of Use for Dual Occupancy on land at 26 Berserker Street, Berserker QLD 4701, also known as Lot 31 on RP600722.**

In response to the Rockhampton Regional Council information request dated 7 July 2025 the following information is provided:

#### **1.0 - Vehicle Crossing**

Please amend driveway design for the northern access to allow a separate access for the proposed new dwelling. The new access should comply with the Capricorn Municipal Development Guidelines. Please provide an updated Site Plan showing amended design. Note: Council Officers will not accept the current access arrangements as per Site Plan. A separate access is to be provided to each occupancy to ensure safety and convenience for all occupants.

**Response:** The proposal plans have been amended to include a modified vehicle crossing layout in the north-western lot corner (see attached plans). As previously agreed with council officers, access to the existing dwelling and proposed Dual Occupancy has been consolidated within a single 6m vehicle crossing. Separate vehicle access to each dwelling has not been achieved, due to a limited clearance width being available for a separate vehicle crossing along the northern side boundary. Notwithstanding, the amended design has been confirmed as generally appropriate by council officers, pursuant to email correspondence on 11 July 2025.

In accordance with Part 3(s13) of the *Development Assessment Rules*, we have provided all of the information requested. Please proceed with the assessment of the application.

Please consider the information request period finished and the Public Notification will commence shortly.

If you have any questions please do not hesitate to contact the office on (07) 3217 5800 or 0457 472 576.

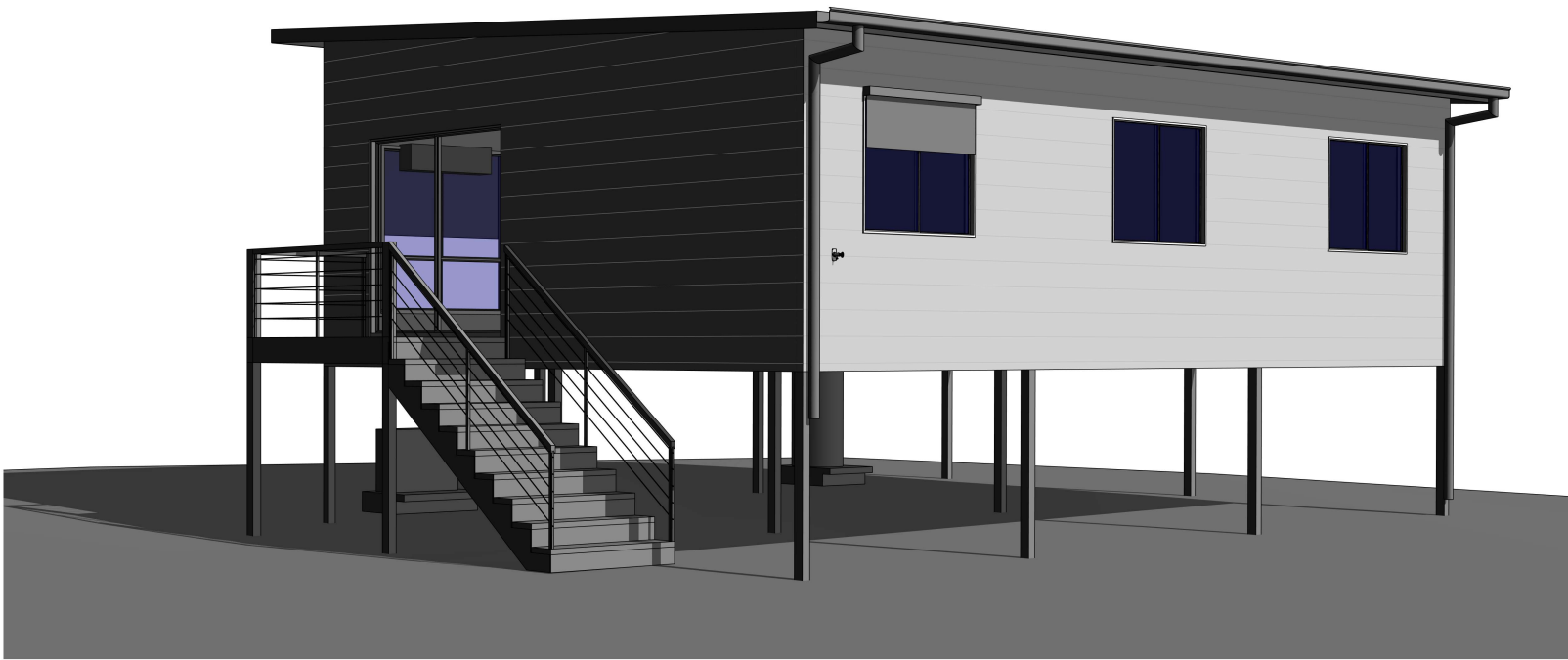
Yours sincerely,  
**HPC Planning**  
A.B.N. 93 670 815 022

**Todd Grubb**  
Town Planner  
[Todd.G@hpcplanning.com.au](mailto:Todd.G@hpcplanning.com.au)



3D View 1 - PROPOSED GRANNY FLAT

DRAWING LIST	
Sheet Name	Sheet Number
PERSPECTIVE	01
GENERAL NOTES	02
GENERAL NOTES	03
SITE	04
GROUND FLOOR PLAN	05
CARPORT PLAN	06
ELEVATIONS	07
SECTION	08
ROOF PLAN	09
ELECTRICAL	10
FLOOR COVERINGS	11
DETAILS	12
FIRE SEPARATION DETAIL	13
CABINETRY DETAIL 1	14
CABINETRY DETAIL 2	15



3D View 2 - PROPOSED GRANNY FLAT

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary

<div>DC House DESIGN &amp; CONSTRUCTION</div> <div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE</div> <div>Ph 07 5635 8990 team@dchouse.com.au</div> <div>23-25 Prosper Crescent Burleigh Heads 4220</div> <div>QBCC LIC 1310310</div> <div>ACN 640 265 974 ABN 19 604 265 974</div> <div>© 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div>	<div>GENERAL NOTES:</div> <div>- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY</div> <div>- WINDOWS DIMENSIONED AS HEIGHT X WIDTH</div> <div>- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH</div>	<div>1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START</div> <div>2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE</div> <div>3. DO NOT SCALE FROM PLAN</div> <div>4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY</div> <div>5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 &amp; AS3600. 1/2009 (A)&amp;(B)</div> <div>6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u></div>	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  DC HOUSE TEAM	DRAWING TITLE:  PERSPECTIVE	JOB NO:  J2056		DESIGN:  DCH 8
			ISSUE / DATE: CERTIFICATION ISSUE FRIDAY,11 JULY 2025				SHEET NO:  01		
			REVISION: REVISION L REVISION M REVISION N				DRAWN BY: KA		
			SITE ADDRESS:  26 Berserker St, Berserker, QLD 4701				CHECKED BY: KA		

# GENERAL NOTES

THIS GENERAL NOTES PAGE REFERS TO CLASS 1 AND 10 BUILDINGS, AND CLASS 2 (BUT IS NOT LIMITED TO) UNDER THE NATIONAL CONSTRUCTION CODE (NCC) 2019. ALL BUILDING WORKS SHALL COMPLY BUT NOT LIMITED TO THE REQUIREMENTS OF THE NCC, THE QUEENSLAND DEVELOPMENT CODE (QDC), THE LOCAL AUTHORITY AND

THE RELEVANT AUSTRALIAN STANDARDS LISTED BELOW. AUSTRALIAN STANDARDS LISTED BELOW APPLY TO ALL BUILDING CLASSES.

DO NOT SCALE FROM PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE IN MILLIMETRES. THE BUILDER & SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF BUILDING WORKS AND ORDERING MATERIALS, AND ARE TO BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE ABOVE MENTIONED PROVISIONS AND REGULATIONS. NOTE SOME PARTS MAY NOT BE RELEVANT TO THIS JOB.

## AUSTRALIAN STANDARDS

- AS2870 - 2011 RESIDENTIAL SLAB AND FOOTING CONSTRUCTION
- AS3660 - 2000 & 2004 BARRIERS FOR SUBTERANNEAN TERMITES
- AS3600 - 2009 CONCRETE STRUCTURES & AS4671 - 2001 REINFORCING STEEL IN CONCRETE AND MASONRY
- AS3700 - 2011 MASONRY IN BUILDINGS
- AS1684 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION 1 & 2 STOREYS / AS1720 - 2010 FOR ALL OTHER TIMBER FRAME STRUCTURES
- AS4055 - 1992 WIND LOADINGS FOR HOUSING
- AS4100 - 1996 STEEL STRUCTURES
- AS2904 - 1995 DAMP PROOF COURSES & FLASHINGS
- AS1562 - 1992 INSTALLATION OF METAL SHEET ROOF AND WALL CLADDING
- AS2050 - 1995 INSTALLATION OF ROOF TILES
- AS3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS1657 - 2013 - STAIRS, LADDERS & PLATFORMS
- AS1859 - 2004 - RECONSTITUTED WOOD BASED PANELS / WET PROCESSED FIBREBOARD
- AS2047 - 2014 - WINDOWS IN BUILDING - SELECTION AND INSTALLATION / AS4505 - 2012 GARAGE DOORS & LARGE ACCESS DOORS
- AS1276 - 1999 - ACOUSTICS & RATING OF SOUND INSULATION IN BUILDINGS

- AS1288 - 2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS3786 - 1993 & 2004 - SMOKE ALARMS
- AS1530 - 2007 FIRE TEST FOR ALL BUILDING MATERIALS
- AS3000 - 2003 ELECTRICAL WIRING
- AS3500 - 2003 & 2012 - PLUMBING & DRAINAGE
- AS5601 SET 2010 - INSTALLATION OF GAS
- AS1576.1 - 2010 SCAFFOLDING GENERAL REQUIREMENTS
- AS4994 - 2009 TEMPORARY ROOF EDGE PROTECTION INSTALLATION
- AS4859 - 2009 MATERIALS FOR THE THERMAL INSULATION OF A BUILDING
- AS2589 - 2007 GYPSUM LINING - PLASTERING APPLICATION
- AS3958 - 2007 INSTALLATION OF CERAMIC TILING
- AS3959 - 2009 - BUILDING IN BUSHFIRE PRONE AREAS
- AS4654 - 2012 - WATERPROOFING MEMBRANES FOR ABOVE GROUND EXTERNAL USE
- AS1668 - 2012 - AIR CONDITIONING & MECHANICAL VENTILATION / AS4254 2012 DUCTWORK
- AS1926 - 2012, 2007, 2010 - SWIMMING POOL SAFETY / BARRIERS
- AS4072 - 2005 - FIRE RESISTANT SEPERATING ELEMENTS

LEGEND	
NCC	NATIONAL CONSTRUCTION CODE (BUILDING CODE)
QDC	QUEENSLAND DEVELOPMENT CODE
AS	AUSTRALIAN STANDARDS
AHD	AUSTRALIAN HEIGHT DATUM
FW	FLOOR WASTE
DP	DOWNPIPE
SD	SLIDING DOOR
CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW
LW	LOUVRE WINDOW
FG	FIXED GLASS
AW	AWNING WINDOW
DH	DOUBLE HUNG WINDOW
SH	SINGLE HUNG WINDOW
WC	WATER CLOSET
WIR	WALK IN ROBE
LB	LOAD BEARING
GL	GROUND LEVEL
FL / MFL	FLOOR LEVEL / MAIN FLOOR LEVEL
FFL	FINISHED FLOOR LEVEL
FRF	FIRE RATED DOOR FURNITURE

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. FOR SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEER'S SOIL TEST.
- ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITES IN ACCORDANCE WITH AS3660.1/2004 (A) & (B) AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING THE TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS 3600.1/2009.
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: ALL ROOMS WITHIN 500mm VERTICAL OFF THE FLOOR, BATHROOMS WITHIN 1500mm VERTICAL OF THE BATH BASE, FULLY GLAZED DOORS, SHOWER SCREENS, WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL.
- WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITHIN MANUFACTURER, FLASHING ALL AROUND.
- ALL GUTTERS TO BE STRAMIT QUEENSLANDER QUAD GUTTERING WITH MIN. 100 X 75 RECTANGULAR OR 100 dia. DOWNPIPES TO SERVICE A MAX. 36m2OF ROOF AREA, IN ACCORDANCE WITH AS3500.2003, THE NCC VOL 2. PART 3.1.2 & 3.5.2, AND THE QDC PART NMP 1.8.
- STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT LOCAL AUTHORITY.
- FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENCED SURVEYOR.
- TILED DECKS OVER LIVEABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUFACTURERS SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.
- ALL WET AREAS TO COMPLY WITH NCC VOL 2. PART 3.8.1 AND AS3740 - 2010. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF WALL.
- FOR BRICK VENEER CONSTRUCTION PROVIDE BRICK TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS.
- SUB-FLOOR VENTILATION MIN. 7500mm2 FOR EXTERNAL WALLS AND 1500mm2 FOR INTERNAL WALLS BELOW BEARER.
- THERMAL INSULATION TO BE MINIMUM R3.0 BATTS TO CEILING AND R1.5 BATTS TO WALLS AND R1.0 REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING. REFER AS4859 - 2009.
- STAIR REQUIREMENTS: MINIMUM TREAD GOING 240mm AND MAXIMUM 355mm, MINIMUM RISER 115mm AND MAXIMUM 190mm. SLOPE RELATIONSHIP IS 2R + G = 550mm - 700mm. SPACE BETWEEN OPEN TREADS TO BE MAXIMUM 125mm. STAIRS MUST NOT BE MORE THAN 18 RISERS IN ONE FLIGHT OR LESS THAN 2 RISERS. LANDINGS TO BE NOT LESS THAN 750mm. STAIRS TO COMPLY WITH NCC VOL 2 PART 3.9.1. AND AS 1657.2013.
- BALLUSTRADING TO BE MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL WITH A MAX OPENING OF 125mm AND IN ACCORDANCE WITH NCC VOL 2 PART 3.9.2. FOR STAINLESS STEEL BALLUSTRADING REFER TABLE 3.9.2.1. OF THE NCC VOL 2.
- PROVIDE LIFT OFF HINGES TO W.C. OR OPEN OUT OR MINIMUM 1200mm CLEARANCE FROM DOOR TO PAN.
- EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE AND AS PER AS1668.2
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF THE EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE AUTHOR.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED. IT IS HIGHLY RECOMMENDED FOR ALL EXISTING ENTRY/EXIT DOOR FURNITURE TO BE ADDRESSED FOR FIRE SAFETY
- ALL CLADDING SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS - MANUFACTURERS SPECS. SUPERSEDE THIS DOCUMENTATION SPECS.

## SITE PLAN & DRAINAGE NOTES


- ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH THE NCC VOL 2. PARTS 3.1.2 & 3.5.2, AS3500.2003 AND QDC NMP1.8.
- ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS TO THE LOCAL AUTHORITY REQUIREMENTS.
- THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING AND SURFACE WATER TO BE CHanneLED TO COUNCIL STORMWATER DRAINAGE SYSTEM.
- THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
- ROOFWATER DOWNPIPES TO CONNECT TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER PVC.
- STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80, DISCHARGE TO COMPLY WITH THE LOCAL AUTHORITY REGULATION.
- 2 DOWNPIPES MAXIMUM TO EACH 100mm STORMWATER PIPE, SURFACE PIPES TO BE 100mm IN DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END AND IS TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.
- LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
- VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
- ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS1926.2007.

## FLOOR PLAN NOTES

- THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
- WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE.
- 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STAR WELS RATING. PROVIDE LIFT OFF HINGES TO TOILET DOOR.
- ROBE SHELVES AT 1700mm ABOVE FLOOR WITH RAIL UNDER, WALK IN ROBES AT 1800mm / 2100 FOR DOUBLE RAIL. LINEN, PANTRY AND STORES TO HAVE 4 NUMBERS OF SHELVES BROOM CUPBOARDS SHELF AT 1600mm.
- ALL HANDRAILS TO BE FINISHED AT 1050mm ABOVE FINISHED FLOOR LEVEL.
- PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO RANGEHOOD SPACE & GARAGE DOOR MOTOR. PROVIDE GPO TO FRIDGE SPACE.
- 70mm WALL FRAMES TO HAVE R2.0 WALL BATTS & 90mm FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.5 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 CEILING BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
- DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
- DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

## SUSTAINABILITY NOTES

- WATER SAVINGS TARGETS - CLASS 1 BUILDINGS SUPPLIED DIRECTLY WITH WATER FROM THE RETICULATED TOWN WATER SYSTEM MUST ACHIEVE WATER SAVINGS TARGETS OF 70KL PER YEAR FOR NEW DETACHED HOUSES AND 42KL PER YEAR FOR OTHER NEW CLASS 1 DWELLINGS.
- MINIMUM 4 STAR WELS RATING TAPS ARE TO BE USED INTERNALLY FOR ALL BATHROOM AND KITCHEN TAPS AND ALL WHITEGOODS. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM 4 STAR WELS RATING. SHOWER HEADS ARE TO BE A MINIMUM OF 3 STAR WELS RATING.
- ENERGY EFFICIENCY TO QDC PART 4.1 AND NCC VOL 2. PART 3.12.
- GAS SYSTEM TO BE MINIMUM 5 STAR AGA ENERGY RATING (SUPPLY FROM RETICULATED NATURAL GAS OR LPG BOTTLES).

<div><div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE Ph 07 5635 8990 team@dchouse.com.au 23-25 Prosper Crescent Burleigh Heads 4220 QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974 © 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div></div>	<b>GENERAL NOTES:</b> - REFRIGIRATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH	1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B) 6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u>	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  DC HOUSE TEAM	DRAWING TITLE:  GENERAL NOTES		JOB NO:  J2056		DESIGN:  DCH 8		
			ISSUE / DATE: CERTIFICATION ISSUE FRIDAY,11 JULY 2025			REVISION: REVISION L REVISION M REVISION N		SHEET NO:  02				
			SITE ADDRESS:  26 Berserker St, Berserker, QLD 4701				SCALE:  A3		DRAWN BY: KA		CHECKED BY: KA	



GENERAL NOTES

H1 - STRUCTURE

SITE PREPARATION

-All earthworks will be carried out in accordance with H1D3 of the NCC 2022 or in accordance with Parts 3.2 & 4.22 of the ABCB Housing Provisions

FRAMING - GENERAL

- All framing will be carried out in accordance with H1D6 of the NCC 2022
- Steel framing will be designed and constructed in accordance with H1D6 of the NCC 2022 and will comply with
  - A. Residential and low-rise steel framing: NASH Standard 'Residential and Low-Rise Steel Framing' Part 1 or Part 2.
  - B. AS 4100 - Steel Structures.
  - C. AS/NZS 4600 - Cold-formed steel structures.
- Timber framing will be designed and constructed in accordance with the following as per the NCC H1D6;
  - A. Design of timber structures; AS 1720.1
  - B. Design of nailplated timber roof trusses: AS 1720.5
  - C. Residential timber-framed construction -non-cyclonic areas: AS1684.2 or AS 1684.4
  - D. Residential timber-framed construction - cyclonic areas: AS 1684.3
  - E. Installation of particleboard flooring: AS 1860.2
- Structural steel members will be designed and constructed in accordance with the following as per the NCC H1D6;
  - A. Steel structures: AS 4100.
  - B. Cold-formed steel structures: AS/NZS 4600
  - C. For structural stability, strength and deflection, and subject to (6), Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022
  - D. For corrosion protection, clause 6.3.9 of Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022

ROOF CLADDING

- Roof Cladding will be carried out in accordance with H1D7 of the NCC 2022
  - A. Metal roofing; AS 1562.1; and with Figure 2.2.3 in Section 2 of the ABCB Housing Provisions (cyclonic areas)
  - B. Plastic sheet roofing: AS 1562.3
  - C. Metal sheet roofing: Part 7.2 of the ABCB Housing Provisions, provided the building is located in an area with a wind class of not more than N3.
  - D. Terracotta, fiber-cement and timber slates and shingles: AS 4597
  - E. Roof tiles: AS 2050; or Part 7.3 of the ABCB Housing Provisions as outlined in H1D7 of the NCC 2022

WALL CLADDING

- Timber and composite wall cladding will be carried out in accordance with H1D7 of the NCC 2022
  - A. Autoclaved aerated concrete wall cladding, AS 5146.1; or
  - B. Wall cladding, part 7.5 of the ABCB Housing Provisions
- Metal wall cladding will be designed and constructed in accordance with AS 1562.1

GLAZING

-Glazing and windows, glazed assemblies, glazed assemblies at risk of human impact will be designed and constructed in accordance with H1D8 of the NCC 2022 and will comply with AS 2047; AS 4055; AS 1288 and/or comply with Party 8.4 of the ABCH Housing Provisions as specifically outlined under H1D8 of the NCC 2022

EARTQUAKE AREAS

-Class 1 and 10 buildings constructed in areas subject to seismic activity is satisfied if the building is constructed in accordance with Section 2 of the ABCB Housing Provisions 2022 as outlined under H1D9 of the NCC 2022

FLOOD HAZARD AREAS

-Class 1 building constructed in a flood hazard area is satisfied if the building is constructed in accordance with the ABCB Standard for Construction of Buildings in Floor Hazard Areas as outlined under H1D10 of the NCC 2022

ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNALL WALLS OF BUILDINGS USING A WALING PLATE

-The atachment of a deck or balcony to an external wall will be designed and constructed in accordance with Part 12.3 of the ABCB Housing Provisions as outlined under H1D11 of the NCC 2022

PILED FOOTINGS

-Piled footings are to be designed and installed in accordance with H1D12 of the NCC 2022 & AS 2159

H2 - DAMP & WEATHERPROOFING

DRAINAGE

-All drainage works will be carried out in accordance with H2D2 of the NCC 2022 and will comply with AS/NZS 3500.5 or in accordance with Parts 3.3 of the ABCB Housing Provisions as outlined under H2D2 of the NCC 2022

FOOTINGS AND SLABS

-Footings and slabs will be designed and installed in accordance with H2D3 of the NCC 2022

ROOF AND WALL CLADDING

-Gutters & Downpipes will be carried out in accordance with H2D6 of the NCC 2022 and comply with AS/NZS 3500.3; or, Part 7.4 of the ABCB Housing Provisions as outlined in accordance with H2D6 of the NCC 2022

GLAZING

-Weatherproofing Glazing will be carried out in accordance with H2D7 of the NCC 2022 & in accordance with H2D8 of the NCC 2022

H3 - FIRE SAFETY

FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS

- The following materials may be used wherever a non combustible material is required as outlined under H3D2 of the NCC 2022
- Plasterboard, Perforated Gypsum Lath with normal paper finish, Fibrous-plaster sheed, Fibre reinforced cement sheeting, Pre-finished metal sheeting(as outlined), Sarking-type materials & Bonded laminated materials (as outlined).
- Fire hazard properties for Class 1 Building, including floor or ceiling spaces common with Class 10 buildings will be carried out in accordance with H3D2 of the NCC 2022.

FIRE SEPARATION OF EXTERNAL WALLS

-Fire separation of the external walls will be carried out in accordance with Part 9.2 of the ABCB Housing Provisions as outlined under H3D3 of the NCC 2022

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS

-Fire protection of separation walls and floors will be carried out in accordnce with Part 9.3 of the ABCB Housing Provisions as outlined under H3D4 of the NCC 2022

SMOKE ALARMS AND EVACUATION LIGHTING

- Smoke alarms and evacuation lighting will be carried out in accordance with Part 9.5 of the ABCB Housing Provisions as outlined under H3D6 of the NCC 2022
- A Class 1 building includes a Class 10, a private garage located above or below will be carried out in accordance with H3D6 of the NCC 2022

H4 - AMENITY

WET AREAS

-Wet areas will be designed and constructed in accordance with AS370; or Parts 10.2 of the ABCB Housing Provisions as outlined under H4D2 of the NCC 2022

MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS

-Materials will be designed and constructed in accordance with AS370; or, relevant parts under 10.2 of the ABCB Housing Provisions as outlined under H4D3 of the NCC 2022

ROOM HEIGHTS

-Room heights will be designed and constructed in accordance with Parts 10.3 of the ABCB Housing Provisions as outlined under H4D4 of the NCC 2022

LIGHT

-Lighting will be designed and constructed in with Parts 10.5 of the ABCB Housing Provisions as outlined under H4D6 of the NCC 2022

VENTILATION

-Room heights will be designed and constructed in accordance with H4D7 of the NCC 202 & Parts 10.6 of the ABCB Housing Provisions as outlined under H4D7 of the NCC 2022

SOUND INSULATION

-Sound insulation will be designed and constructed in accordance with Part 10.7 of the ABCB Housing Provisions as outlined under H4D8 of the NCC 2022

H5 - SAFE MOVEMENT AND ACCESS

STAIRWAY AND RAMP CONSTRUCTION

-Stairway and ramps will be designed and constructed in accordance with Parts 11.2 of the ABCB Housing Provisions as outlined under H5D2 of the NCC 2022

BARRIERS AND HANDRAILS

-Barriers and handrails will be designed and constructed in accordance with Parts 11.3 of the ABCB Housing Provisions as outlined under H5D3 of the NCC 2022

H8 - LIVABLE HOUSING DESIGN

LIVABLE HOUSING DESIGN

- Class 1a dwellings will be designed and constructed in accordance with the ABCB Standard for Livable Housing Design as outlined under H8D2 of the NCC 2022

<div><div><div><div><div><div></div></div></div><div><div><div><span></span></div><div><span></span></div></div></div><div><div><div><span></span></div><div><span></span></div></div></div><div><div><div><span></span></div><div><span></span></div></div></div></div></div><div><div>DC House</div><div>DESIGN &amp; CONSTRUCTION</div></div></div> <div><div><div>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE</div><div>Ph 07 5635 8990 team@dchouse.com.au</div><div>23-25 Prosper Crescent Burleigh Heads 4220</div><div>QBCC LIC 1310310</div><div>ACN 640 265 974 ABN 19 604 265 974</div><div>© 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</div></div></div> <tr><td colspan="2"><b>GENERAL NOTES:</b> - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH</td><td colspan="2">1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 &amp; AS3600. 1/2009 (A)&amp;(B) 6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u></td><td colspan="2">JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY</td><td rowspan="5">CLIENT:  <b>DC HOUSE TEAM</b></td><td rowspan="4">DRAWING TITLE:  <b>GENERAL NOTES</b></td><td colspan="2">JOB NO:  <b>J2056</b></td><td rowspan="5">DESIGN:  <b>DCH 8</b></td></tr> <tr><td colspan="2"></td><td colspan="2">ISSUE / DATE:</td><td colspan="2">REVISION:</td><td rowspan="4">CERTIFICATION ISSUE FRIDAY,11 JULY 2025</td><td colspan="3" rowspan="3">SITE ADDRESS:  <b>26 Berserker St, Berserker, QLD 4701</b></td><td colspan="3">SHEET NO:  <b>03</b></td></tr> <tr><td colspan="2"></td><td colspan="2"></td><td colspan="2">REVISION L</td><td colspan="3" rowspan="2">DRAWN BY:  <b>KA</b></td></tr> <tr><td colspan="2"></td><td colspan="2"></td><td colspan="2">REVISION M</td><td colspan="3" rowspan="2">CHECKED BY:  <b>KA</b></td></tr> <tr><td colspan="2"></td><td colspan="2"></td><td colspan="2">REVISION N</td><td colspan="2"></td><td colspan="2">SCALE:  <b>A3</b></td><td colspan="2"></td></tr>	<b>GENERAL NOTES:</b> - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH		1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B) 6. <u>ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION &amp; ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN &amp; SPECS.</u>		JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY		CLIENT:  <b>DC HOUSE TEAM</b>	DRAWING TITLE:  <b>GENERAL NOTES</b>	JOB NO:  <b>J2056</b>		DESIGN:  <b>DCH 8</b>			ISSUE / DATE:		REVISION:		CERTIFICATION ISSUE FRIDAY,11 JULY 2025	SITE ADDRESS:  <b>26 Berserker St, Berserker, QLD 4701</b>			SHEET NO:  <b>03</b>							REVISION L		DRAWN BY:  <b>KA</b>							REVISION M		CHECKED BY:  <b>KA</b>							REVISION N				SCALE:  <b>A3</b>			
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**SITE GENERAL NOTES:**

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.
6. IT IS RECOMMENDED TO OBTAIN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO COMMENCEMENT OF WORK.
7. SEWER TO HOUSE CONNECTION AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, SUBJECT TO SURVEY OR SERVICE LOCATION

**SITE PREPARATION & DRAINAGE NOTES:**

1. ROOFWATER TO BE PIPED VIA 100mm Ø PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL.
3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSF TO BE REVIEWED BY A QUALIFIED CONSULTANT
4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER NCC VOL 2. PART 3.2.
5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO NCC VOL 2. PART 3.5.2.
6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTICING STRUCTURAL ENGINEER (RPEQ).

**TERMITE PROTECTION:**

1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2004 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

**REAL PROPERTY DESCRIPTION**

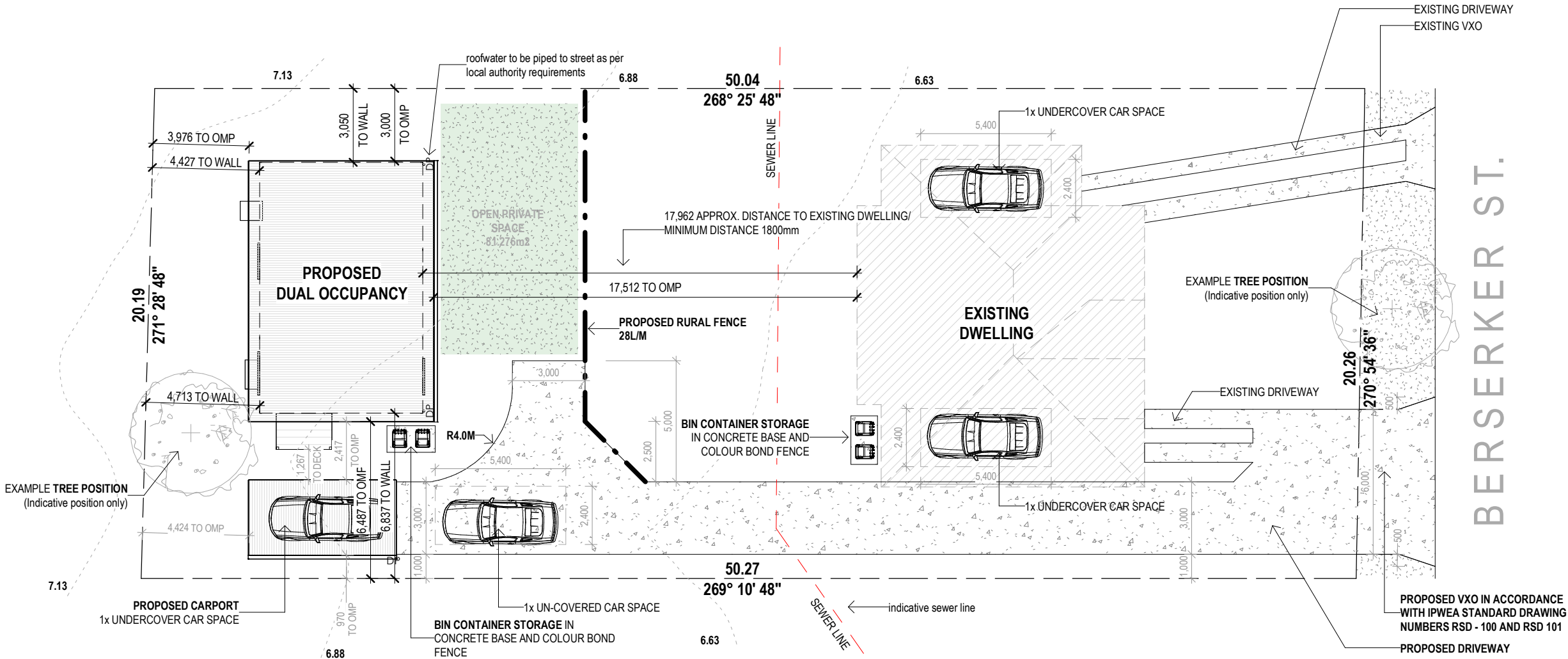
ADDRESS: 26 Berserker St, Berserker, QLD 4701  
SITE AREA: 1011.57m<sup>2</sup>  
LOT NUMBER: 31  
PLAN NUMBER: RP600722  
PARISH:  
COUNTY:  
LOCAL AUTHORITY: Rockhampton City Council  
BUILDING AREA: 187.07m<sup>2</sup>  
SITE COVERAGE: 18%

**SURVEYING NOTE**

CONTOUR / DETAIL SURVEY / LEVELS NOT PROVIDED BY OWNER.  
IT IS RECOMMENDED TO CARRY OUT A DETAIL SURVEY PRIOR TO FINALISING DESIGN, AND ANY DISCREPANCIES RESOLVE WITH THIS OFFICE.  
IT IS THE BUILDER'S RESPONSIBILITY TO CONDUCT AN I DENT SURVEY AND SEWER LOCATION PRIOR TO CONSTRUCTION

**DUAL OCCUPANCY NOTES**

- car parking spaces to comply with AS2890.1 - 2 covered and 2 uncovered
- setbacks in accordance with QDC MP1.3
- prior to construction builder to locate sewer line and ensure footing setback is 1200mm minimum from sewer, clearance above sewer connection 2500mm minimum -
- to comply with QDC part MP1.4
- any alteration to existing vehicular crossovers to comply with the local authority requirements



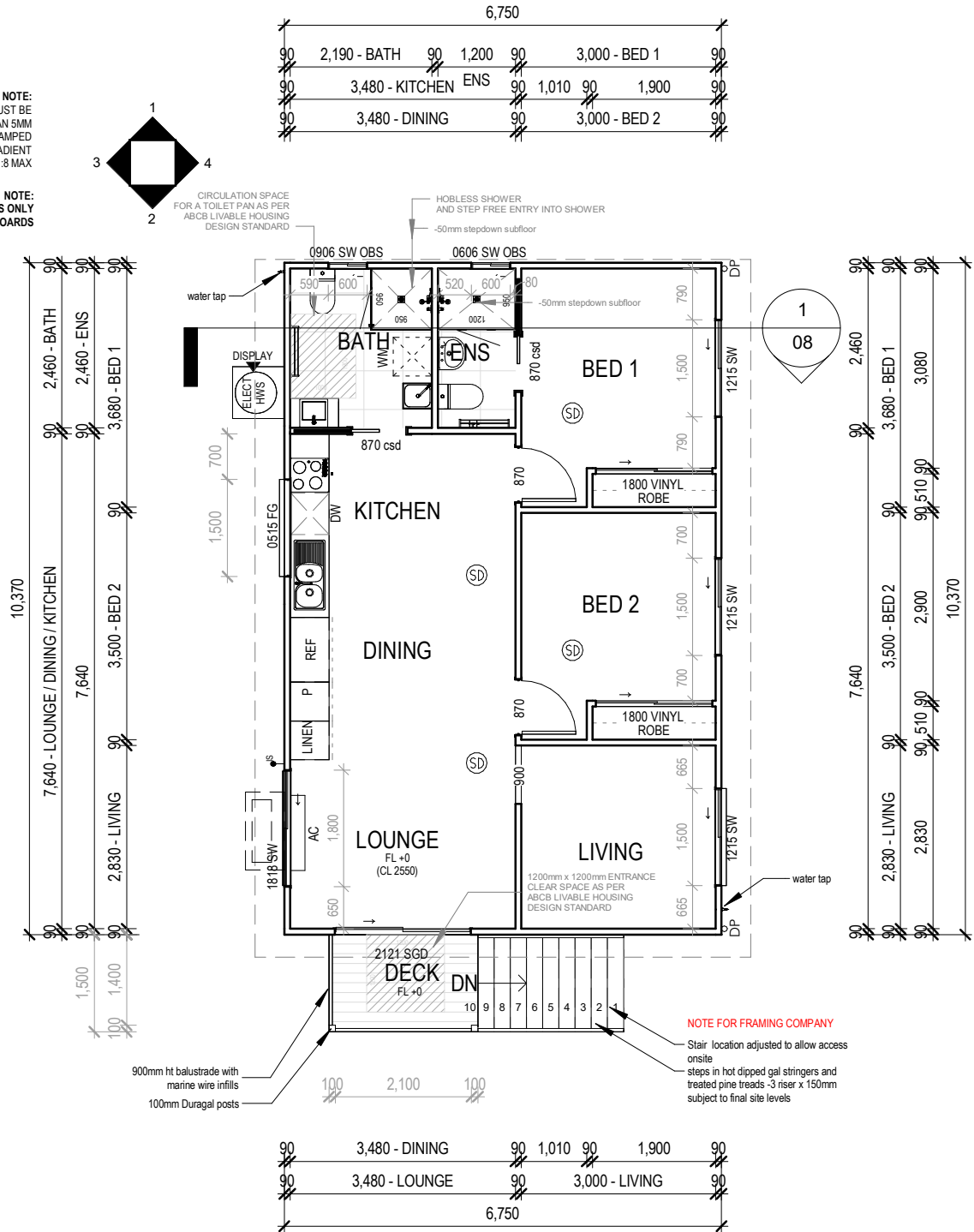


FLOOR PLAN NOTES

- SOME PARTS MAY NOT BE RELEVANT TO THIS JOB
- DO NOT SCALE FROM PLAN & DO NOT SCALE WINDOW & DOOR LOCATIONS FROM PLAN. IF IN DOUBT CONTACT THE DESIGNER OR BUILDER.
  - THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
  - WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE. CONTACT THIS OFFICE IF IN DOUBT OF WINDOW POSITION.
  - ALL NEW OR REPLACED WINDOWS ARE DIMENSIONED, EXISTING UNCHANGED WINDOWS ARE LEFT UN-DIMENSIONED.
  - 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY.
  - TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STARS WELS RATING.
  - PROVIDE LIFT OFF HINGES TO TOILET DOOR.
  - ROBE SHELVES AT 1700MM ABOVE FLOOR WITH RAIL UNDER. WALK IN ROBES AT 1800MM / 2100 FOR DOUBLE RAIL LINEN, PANTRY AND STORES TO HAVE A 4 NUMBERS OF SHELVES. BROOM CUPBOARDS SHELF AT 1600MM.
  - SQ. SET DOOR HAMPERS ARE TO BE SQUARE SET AND 2100MM HEAD HEIGHT OR TO MATCH INTERNAL DOOR HEIGHTS.
  - ALL HANDRAILS TO BE FINISHED AT 1050MM ABOVE FINISHED FLOOR LEVEL.
  - PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO FRIDGE & RANGEHOOD SPACE.
  - 70MM WALL FRAMES TO HAVE R1.5 WALL BATTS & 90MM FRAMES TO HAVE R2.5 WALL BATTS, FLAT CEILINGS TO HAVE R3.0 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
  - DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
  - DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.
  - ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED, IT IS HIGHLY RECOMMENDED FOR BUILDER & OWNERS TO ADDRESS EXISTING ENTRY/EXIT DOOR FURNITURE FOR SAFETY RATING.
  - ALL BATHROOMS TO HAVE FLOOR WASTES IN ACCORDANCE WITH AS3740 OR SHOWERS TO HAVE MINIMUM 900MM WIDE PANEL.
  - STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEANT TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.
  - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME

NOTE:  
THRESHOLDS FOR INTERNAL DOOR MUST BE LEVEL OR HAVE A HEIGHT NO MORE THAN 5MM IF THE LIP IS ROUNDED OR BEVELLED OR BE RAMPED WITH THE DEPTH OF THE DOOR FRAME AND HAVE A GRADIENT 1:8 MAX

NOTE:  
- KITCHENS ARE FOR VISUAL PURPOSES ONLY  
- DECKING BOARDS TO HAVE 8mm MINIMUM GAPS IN BETWEEN BOARDS



WALL & CEILING INSULATION

R2.5 BATTS TO EXTERNALL WALL 70 & 90MM FRAMES  
R3.0 BATTS TO CEILING  
ALL WALLS AND ROOF FRAME TO HAVE R.10  
SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)  
WEATHER SEALS TO ALL DOORS & WINDOWS  
NOTE: FINAL BUILDING COLOURS MAY EFFECT R-VALUES REFER ENERGY REPORT

WALL CLADDING NOTE

PROVIDE CAVITY BATTEN BETWEEN CLADDING AND FRAME - SEE DETAILS PAGE  
ALL CLADDINGS TO BE INSTALLED TO MANUFACTURER SPECIFICATIONS

FLOOR PLAN LEGEND

- SD SMOKE ALARM PHOTOELECTRIC
- DOWNPIPE LOCATION
- MH MANHOLE LOCATION
- ELECT HWS DISPLAY HOT WATER SERVICE
- ELECT MB ELECTRICAL METERBOARD TBD
- CJ VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8
- NB: SEE GENERAL NOTES FOR ABBREVIATIONS

EST FLOOR AREAS

Names	Area m2
Verandah	3.45
GF LIVING	70.00
	73.45

WINDOWS & EXTERNAL DOORS

Family and Type	Width	Height	Comments
Fixed: 0515 FG	1500	500	External aluminium window and door frames
SGD 2 Panel: 2121 SGD	2100	2100	External aluminium window and door frames
SW 4 Panel: 1818 SW	1800	1800	External aluminium window and door frames
SW: 0606 SW OBS	600	600	External aluminium window and door frames
SW: 0906 SW OBS	600	900	External aluminium window and door frames
SW: 1215 SW	1500	1200	External aluminium window and door frames

1

Ground Floor Plan

1 : 100

GENERAL NOTES:

- REFRIGIRATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY
- WINDOWS DIMENSIONED AS HEIGHT X WIDTH
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

- BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DO NOT SCALE FROM PLAN
- ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
- TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)
- ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:  
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:  
CERTIFICATION  
ISSUE  
FRIDAY,11 JULY 2025

REVISION:  
REVISION L  
REVISION M  
REVISION N

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

26 Berserker St, Berserker, QLD 4701

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE:  
1 : 100 A3

JOB NO:

J2056

SHEET NO:

05

DRAWN BY:

KA

CHECKED BY:

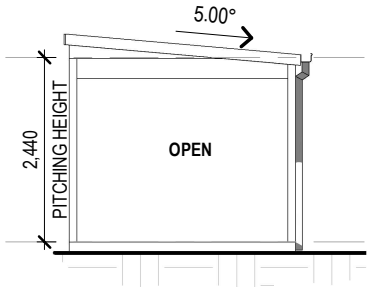
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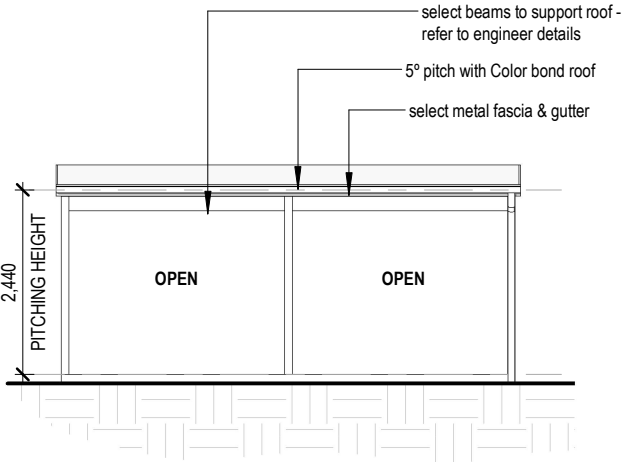
DCH 8

FLOOR PLAN NOTES

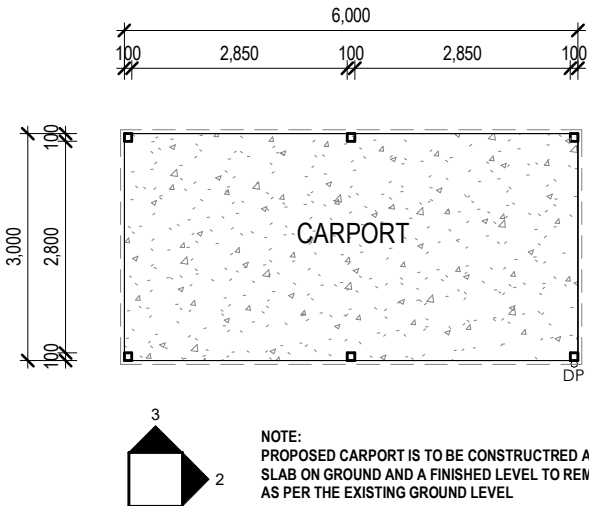
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  - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME



2 Elevation - A  
1 : 100



3 Elevation - B  
1 : 100



1 Proposed Carport Plan  
1 : 100

WALL & CEILING INSULATION

- R2.5 BATTS TO EXTERNALL WALL 70 & 90MM FRAMES  
R3.0 BATTS TO CEILING  
ALL WALLS AND ROOF FRAME TO HAVE R.10  
SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)  
WEATHER SEALS TO ALL DOORS & WINDOWS  
NOTE: FINAL BUILDING COLOURS MAY EFFECT R-  
VALUES REFER ENERGY REPORT

WALL CLADDING NOTE

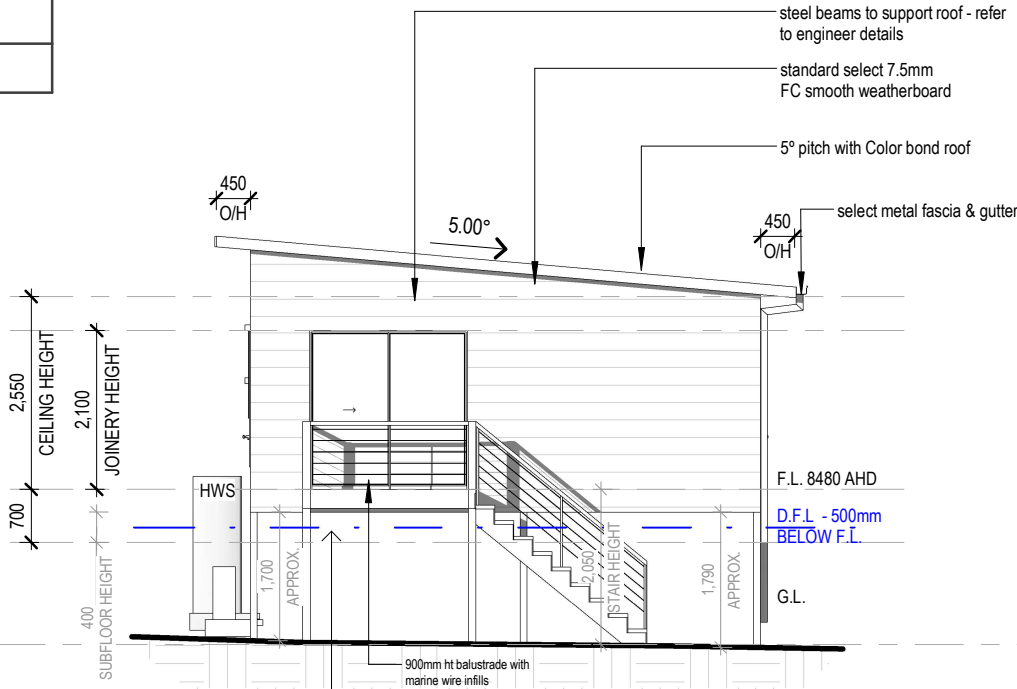
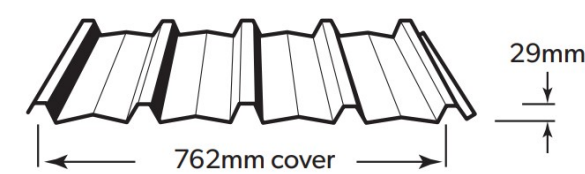
- PROVIDE CAVITY BATTEN BETWEEN CLADDING AND  
FRAME - SEE DETAILS PAGE  
ALL CLADDINGS TO BE INSTALLED TO  
MANUFACTURER SPECIFICATIONS

FLOOR PLAN LEGEND

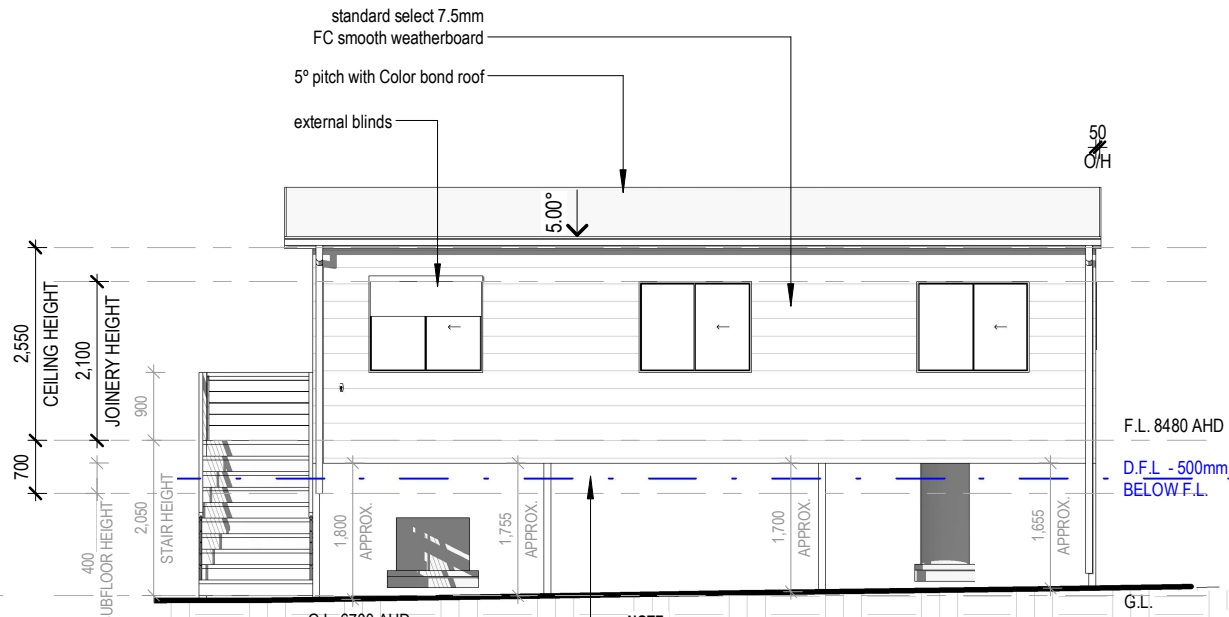
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- DN DOWNPIPE LOCATION
- MH MANHOLE LOCATION
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- NB: SEE GENERAL NOTES FOR ABBREVIATIONS

EST EXTERNAL WALLS				
Family and Type	Length	Area m2	Function	Comments
Basic Wall: Baseboards	6680	4.01	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Baseboards	10300	6.18	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Stud 90mm weatherboard cladding	6660	38.02	Exterior	standard select 7.5mm FC smooth weatherboard
Basic Wall: Stud 90mm weatherboard cladding	10280	58.26	Exterior	standard select 7.5mm FC smooth weatherboard
Grand total		106.47		

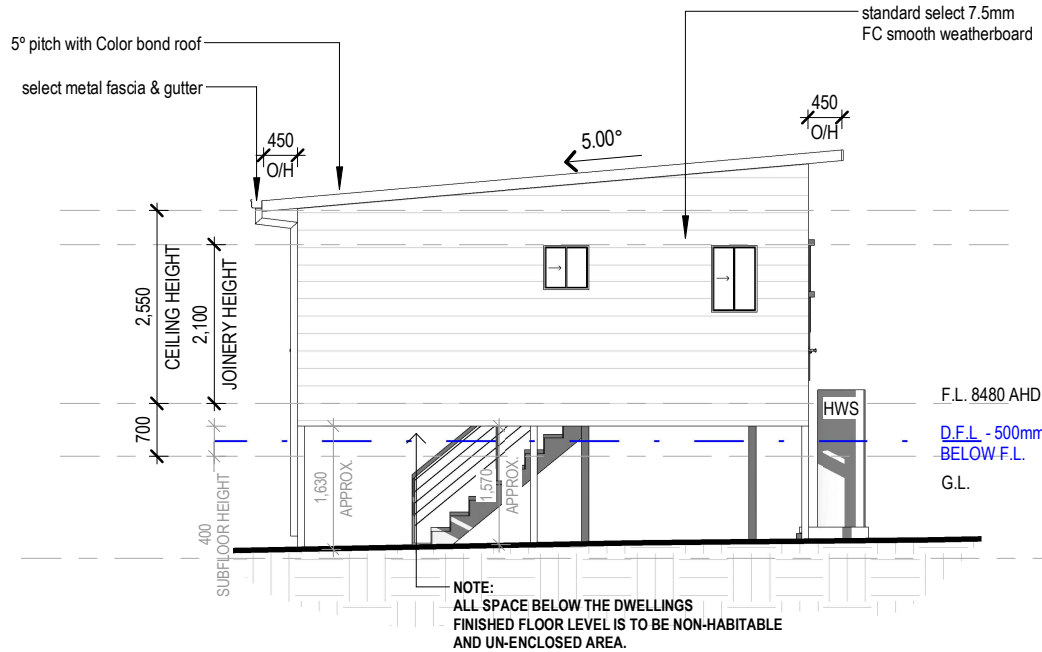
TRIMDEK® cladding has a subtle square-fluted profile, available in long lengths, so on most jobs you can have one sheet from ridge to gutter without end-laps.  
TRIMDEK® cladding is made of high strength steel and despite its lightness, provides excellent spanning and rainwater carrying capacity.  
The strength, spanning ability, lightness and rigidity of TRIMDEK® cladding permits wide support spacings to be used with safety.



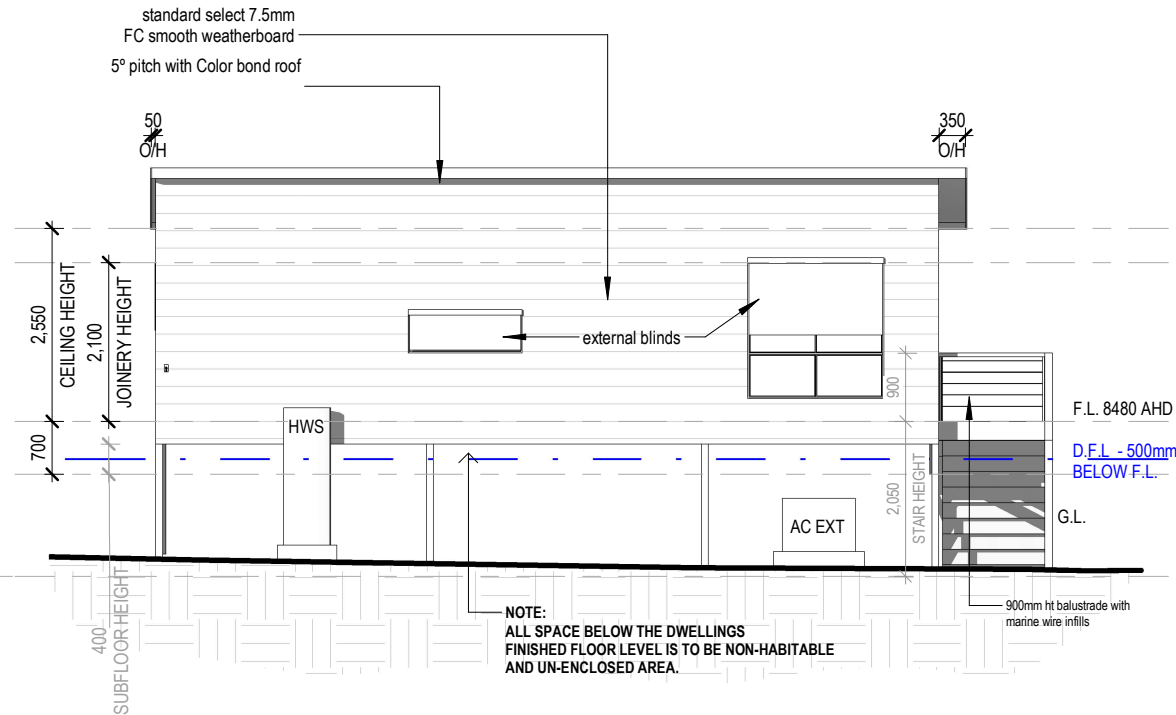
1 Elevation A  
1 : 100



3 Elevation C  
1 : 100



2 Elevation B  
1 : 100



4 Elevation D  
1 : 100

GENERAL NOTES:

- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY  
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ISSUE / DATE:  
CERTIFICATION  
ISSUE  
FRIDAY, 11 JULY 2025

REVISION:  
REVISION L  
REVISION M  
REVISION N

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

26 Berserker St, Berserker, QLD 4701

DRAWING TITLE:

ELEVATIONS

SCALE:  
1 : 100 A3

JOB NO:

J2056

SHEET NO:

07

DRAWN BY:  
KA

CHECKED BY:  
KA

DESIGN:

DCH 8

**STRUCTURAL NOTE**  
all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

**TERMITE PROTECTION**  
termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2009 (refer details page) - all select barrier products refer to manufacturers specification and conditions of approval

**TRUSSED ROOF PANEL NOTE**  
all support beams for insulated and fly over roof panels are to be specified by engineer - unless otherwise noted

**GENERAL NOTE**  
all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

22mm ceiling battens at 600mm centres or to engineer/frame supplier detail - 10mm thk gyprock plasterboard. all products installed to manufacturers installation specs.

R3.0 ceiling batts

Colorbond sheet metal roof in select colour

select metal fascia & gutter

roof truss with tap hat battens and 5mm B-4SAGW Bubble aircell

+ 2,550

1 Ceiling Level

+ 2,100

Joinery Level

all windows minimum 10.48mm thk laminated glass with full perimeter acoustic rated seals

90mm zinc alum steel framing to manufacturer specs

Waterproofing, wet area materials and installation of wet area components and systems are to comply with NCC 2022 Volume Two , Part4 Health and amenity, the Housing Provisions (10.2.1 to 10.2.6 and 10.2.12) and AS 3740.

±0

0 Floor Level

5.00°

BED 1

ENS

BATH

MIRROR

4.5mm thk F.C. Sheeting with pvc jointing strips

floor joist at 450mm centres or to engineer/frame supplier detail - 18mm particleboard flooring screwed down and 18mm compressed cement sheeting to wet areas. all products installed to manufacturers installation specs.

steel floor joist 100x50 refer to engineer details

700  
APPROX.

steel floor bearer 150x50 refer to engineer details

Duragal post with bottom plates bolted & chemset to footing pad - to engineer detail

90mm Duragal post to engineer detail

concrete footings and reinforcing detail refer engineer design & specification

1

## Section A-A

1 : 50



EST ROOF SCHEDULE	
Type	Area m2
Basic Roof	101.69

EST FASCIA & GUTTER	
Type	Amount m
Fascia	36.81
Gutter	10.86

QUAD 115  
Hi-Front XL  
Slotted Gutter

Spring Clip

The gutter is  
manufactured  
with a fluted base  
in some regions.

NOVALINE® Fasci

Technical drawing of a stiffener (zinger) showing dimensions: 62mm height, 115mm width, and 90mm total height including a slot. Labels include 'Slot position' and 'Stiffener (zinger)'.

Barb-6  
Barb-5  
Barb-1

FOR DOWNPIPES

1

DCH 8



ELECTRICAL PLAN NOTES

1. ALL HEIGHTS ARE TO BE MEASURED FROM THE MAIN FLOOR LEVEL UNLESS OTHERWISE NOTED
2. LIGHT SWITCHES @ 1300MM MAX ABOVE GROUND LEVEL
3. TOP OF METER BOX TO BE 1900 MM MAX ABOVE GROUND LEVEL
4. POWER OUTLETS ARE TO BE POSITIONED TO NEAREST STUD UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH NCC PART 3.7.2 AND AS3786 - 2004. SMOKE DETECTORS 2 OR MORE SHALL BE INTERCONNECTED AS PER NCC PART 3.7.2.
6. ADDITIONAL SMOKE DETECTORS TO BE PLACED IN ALL BEDROOMS AND INTERCONNECTED AS PER NCC REQUIREMENTS.
7. L.E.D. LIGHTING IS RECOMMENDED TO ALL POSSIBLE APPLICATIONS.
8. ALL ELECTRICAL WORK TO COMPLY TO AS3000 - 2003

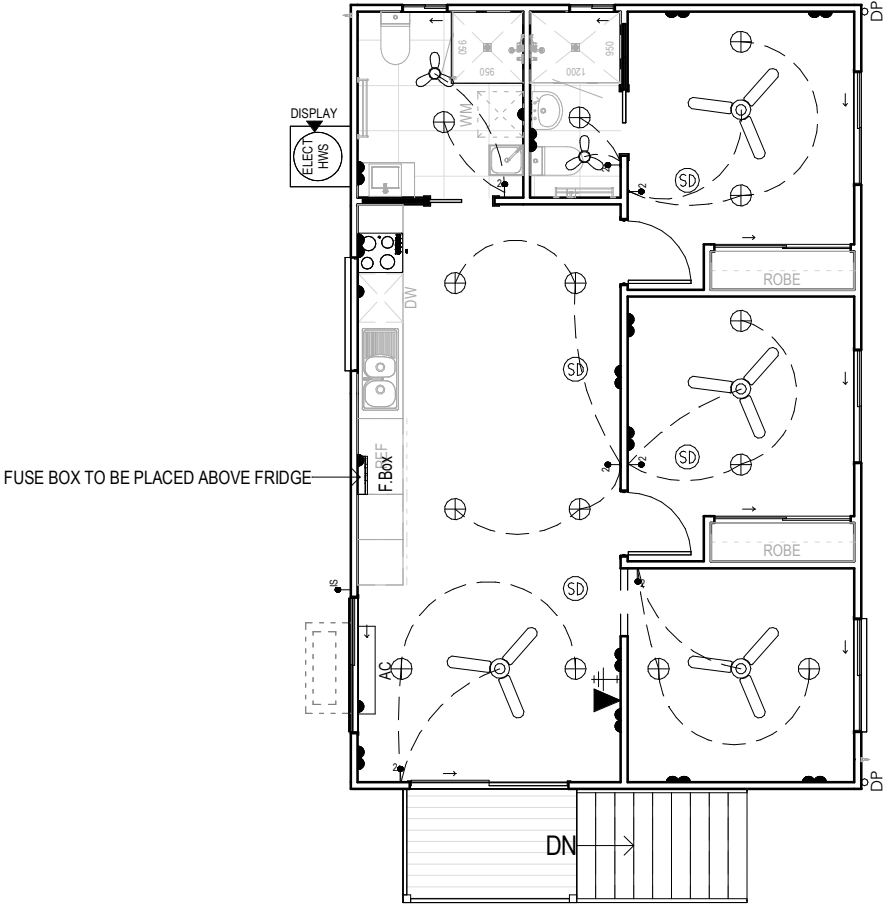
ENERGY EFFICIENT LIGHTING

THIS MEASURE APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTING IS USED FOR AT LEAST 40% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE OCCUPANCY UNIT. (REFER TO DEFINITION OF FLOOR AREA IN PART 29 OF THE QUEENSLAND DEVELOPMENT CODE). THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE A PART OF A HOUSE IS LIT BY MORE THAN ONE LIGHT SOURCE, AND ONE OR MORE OF THOSE SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING AND THEREFORE DOES NOT QUALIFY TOWARDS THE 40% EFFICIENT LIGHTING REQUIREMENT. FOR EXAMPLE, IF A KITCHEN HAS A FLUROESCENT LIGHT AS ITS CENTRAL LIGHT SOURCE AND HALOGEN LIGHTS PROVIDING TASK LIGHTING FOR A KITCHEN BENCH, THEN THE FLOOR AREA OF THE KITCHEN BENCH SHOULD BE SUBTRACTED FROM THE KITCHEN FLOOR AREA WHEN CALCULATING FLOOR AREA LIT BY EFFICIENT LIGHTING.

FINAL ASSESSMENT UPON COMPLETION OF THE BUILDING WILL REQUIRE CONFIRMATION THAT THE CORRECT LIGHTING HAS BEEN INSTALLED IN THE APPROPRIATE LIGHT FITTINGS. IT IS REASONABLE TO ACCEPT THIS CONFIRMATION FROM THE ELECTRICIAN WHO INSTALLED THE LIGHT FITTINGS.

NOTE  
ALL ELECTRICAL EXCEPT SMOKE DETECTORS, IS INDICATIVE ONLY AND TO BE VERIFIED WITH OWNERS, AND BUILDER/ ELECTRICAN DURING QUOTING AND BUILDING STAGES



1

GF Electrical Plan

1 : 100

EST ELECTRICAL FIXTURES

Type	Count
2 Switches	7
Ceiling Fan	4
dGPO	13
Downlight	16
Exhaust Fan	4
Fuse Box	1
Isolating Switch 1000 AFL	1
Phone Point	1
sGPO	4
Smoke Detector	4
TV Point	1

56

EST AC/HWS

Family and Type	Count
HWS Electric: Elect HWS 170L	1
AC Unit - EXT: AC Ext	1
AC Unit - INT: AC Int	1

ELECTRICAL LEGEND

SOLAR PANEL

CEILING FAN

CEILING FAN W/ LIGHT

EXHAUST 3 IN 1

EXHAUST FAN

SD

SMOKE ALARM

HEAT LAMP

GAS OUTLET

TV POINT

DATA/PHONE POINT

OYSTER LIGHTS MOUNTED

DOWNLIGHT 240V

BATTEN HOLDER

PENDANT

SINGLE GPO

DOUBLE GPO

R

ROOF SINGLE GPO

W

WATERPROOF SINGLE GPO

W

WATERPROOF DOUBE GPO

WALL LIGHT

FLOOD/SPOT LIGHT

DOUBLE FLOOD/SPOT LIGHT

SENSOR

SGL FLURO TUBE 18W

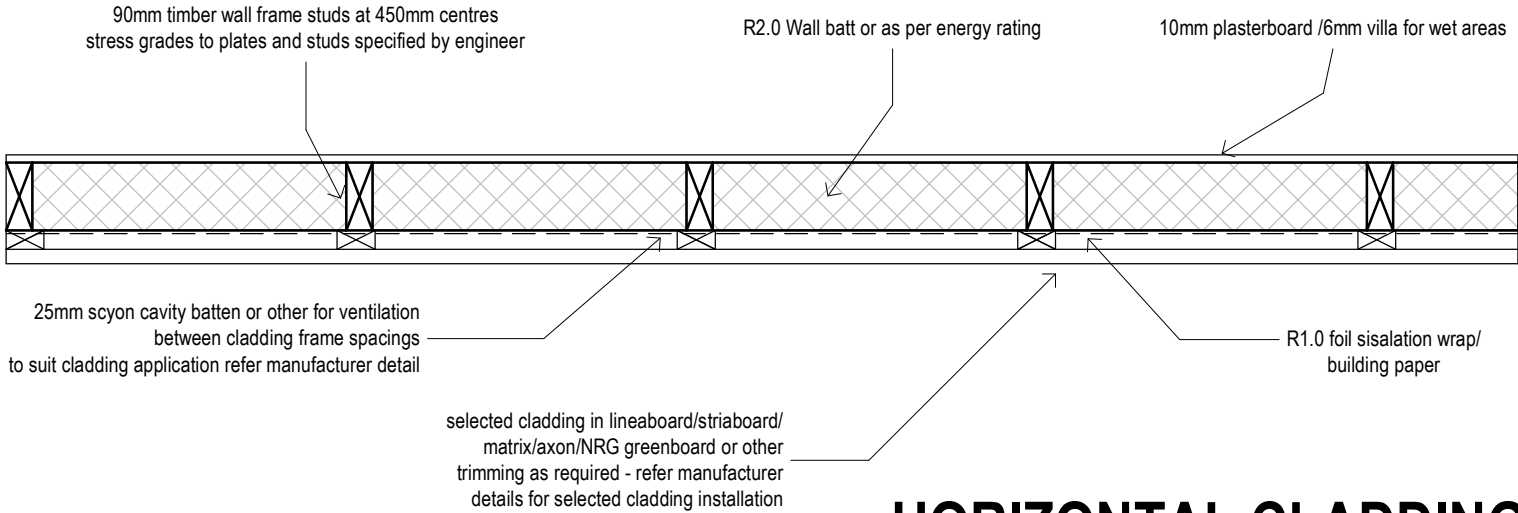
DBL FLURO TUBE 36W

ISOLATION SWITCH

SWITCH

ELECTRICAL POINTS' POSITIONS  
SUBJECT TO CONSTRUCTION  
CONSTRAINTS.



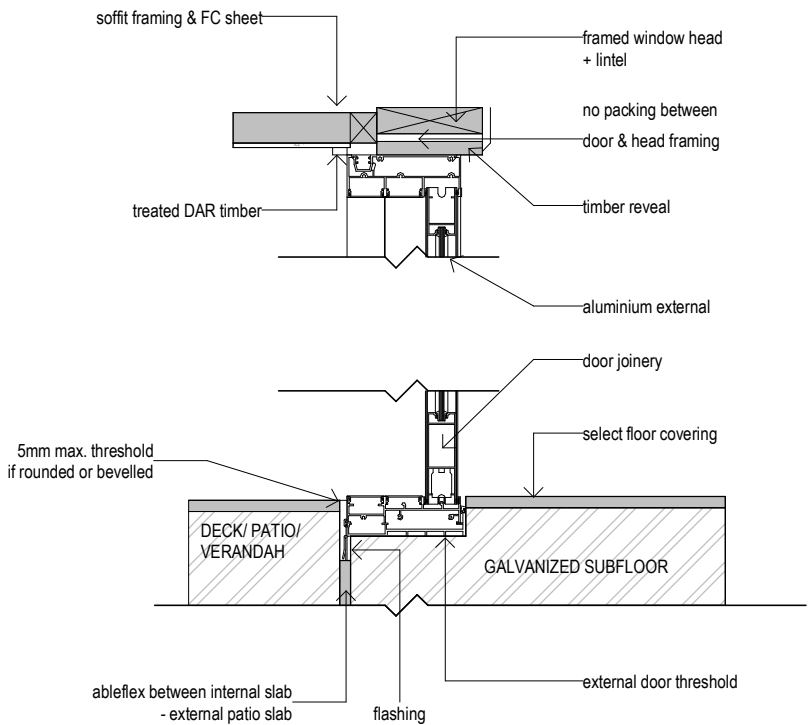


NOTE vermin proofing installed to base of cladding cavity as per manufacturers instructions

1

## HORIZONTAL CLADDING DETAIL

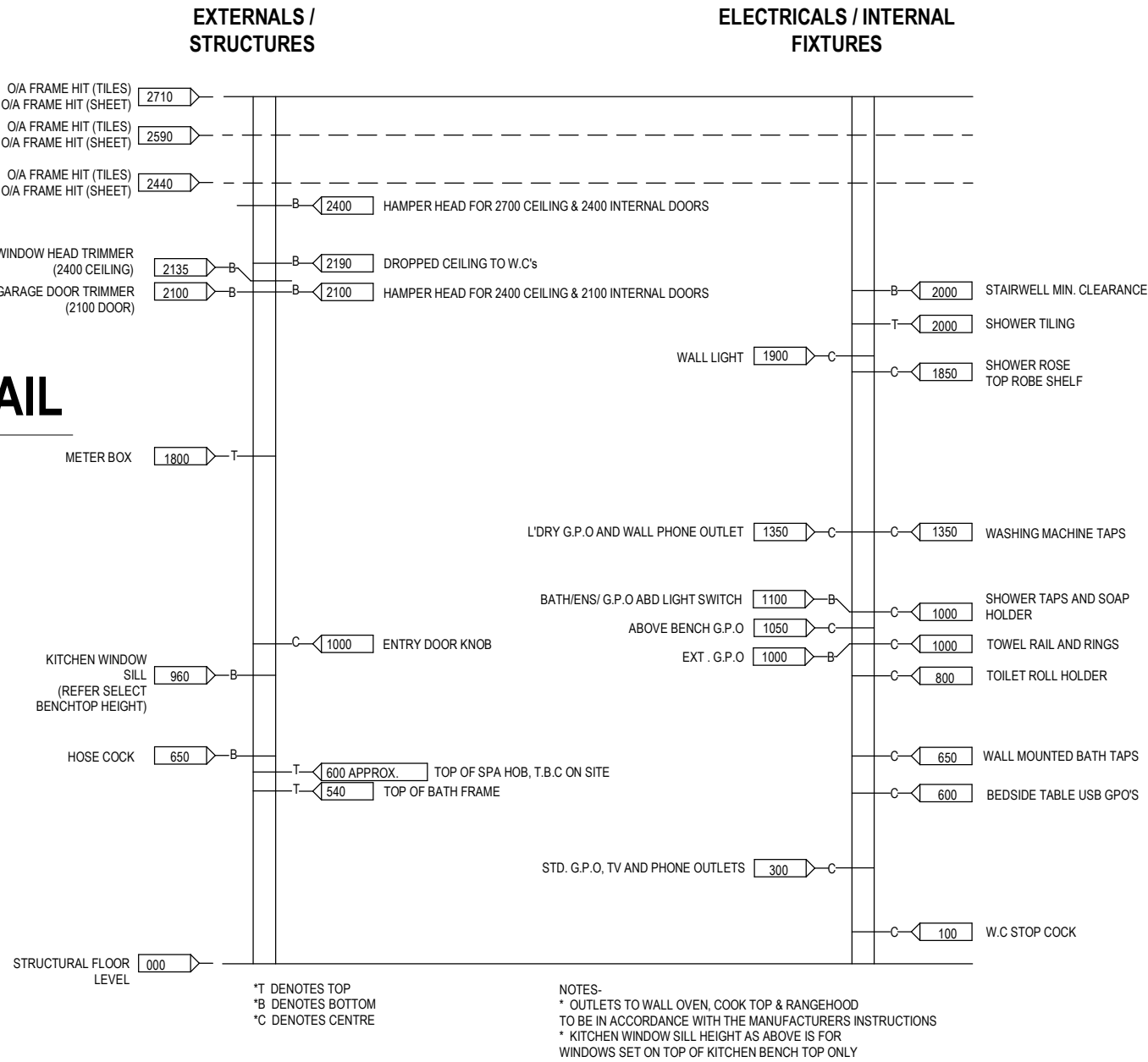
1 : 10 - WITH USE OF CAVITY BATTENS



2

## EXTERNAL DOOR DETAIL

1 : 10 - WITH USE OF CAVITY BATTENS



2740, 2590, and 2440mm high frame

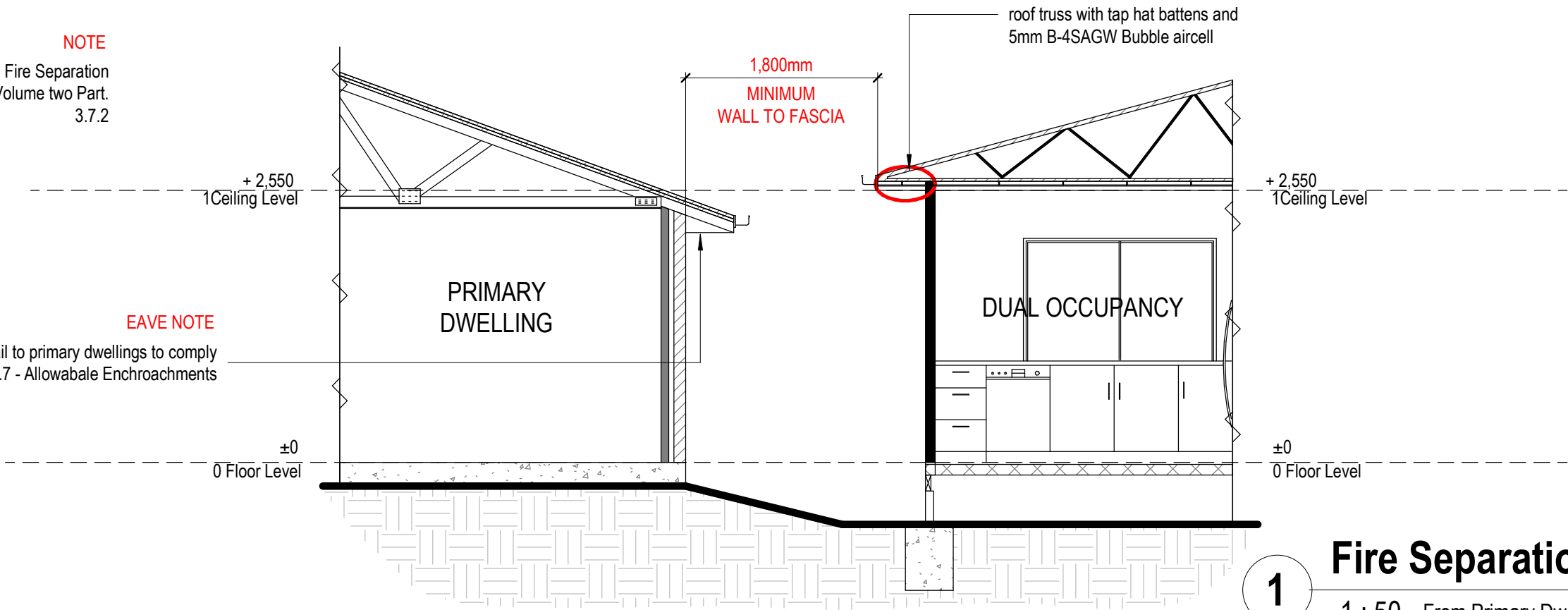
3

## STANDARD HEIGHTS

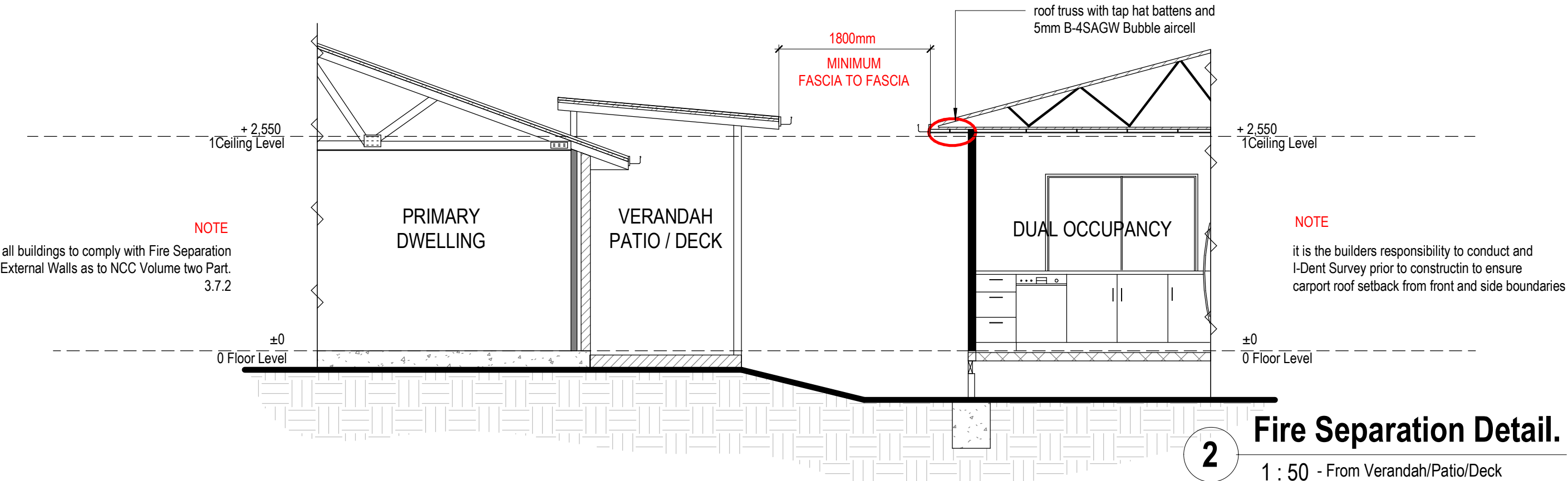
1 : 20

**NOTE**  
all buildings to comply with Fire Separation  
External Walls as to NCC Volume two Part.  
3.7.2

**EAVE NOTE**  
the detail and eave detail to primary dwellings to comply  
with NCC Vol.2 2019 3.7.2.7 - Allowable Enroachments



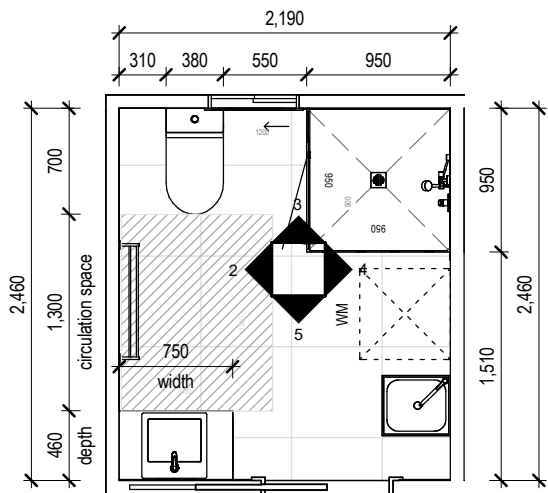
**1** Fire Separation Detail  
1 : 50 - From Primary Dwelling



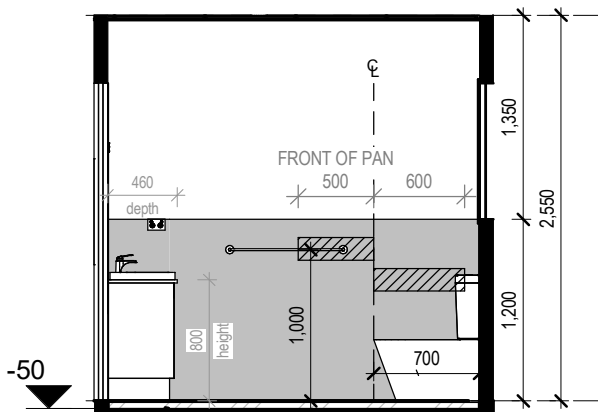
**2** Fire Separation Detail.  
1 : 50 - From Verandah/Patio/Deck



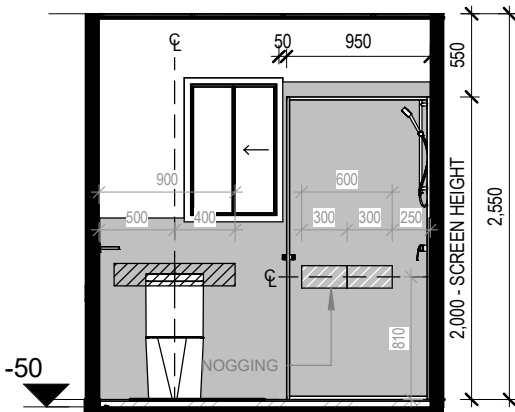




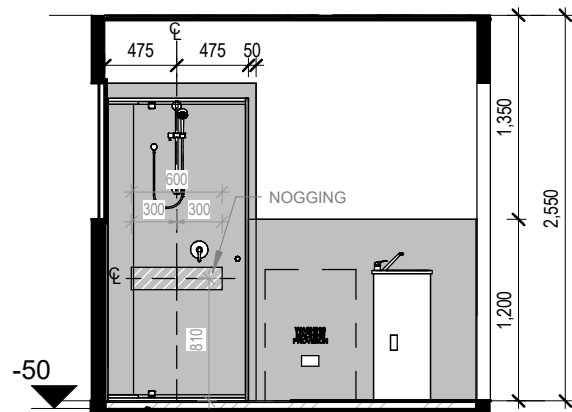
LAYOUT - BATH (detail)  
1 : 50



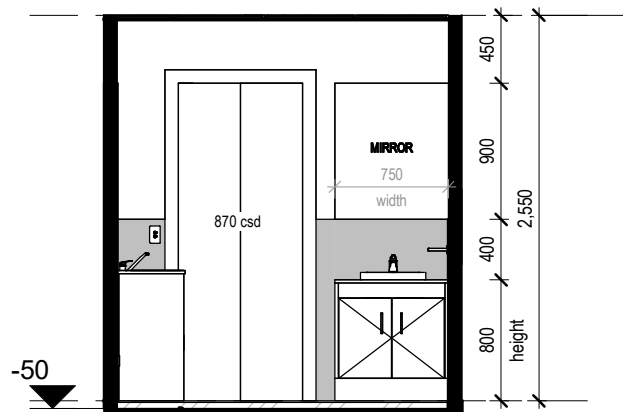
BATH - A (detail)  
1 : 50



BATH - B (detail)  
1 : 50

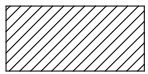


BATH - C (detail)  
1 : 50



BATH - D (detail)  
1 : 50

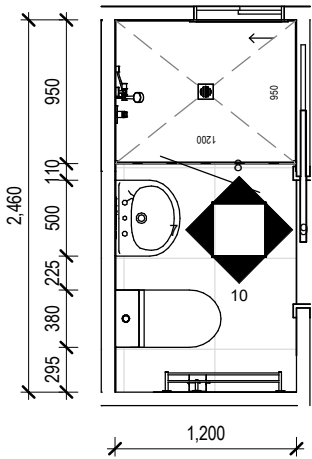
LEGEND:



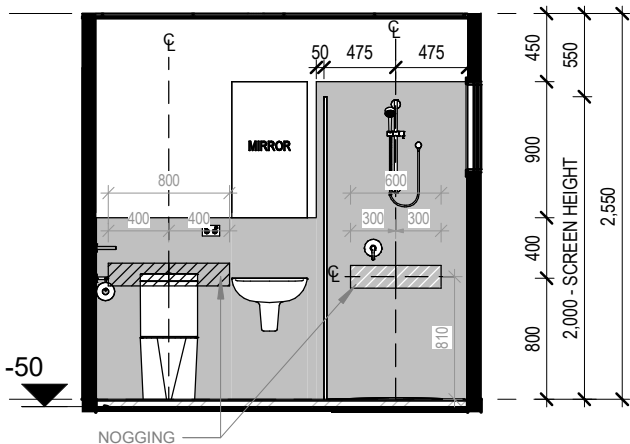
LOCATION OF SHEETING FOR WALL  
BEHIND A TOILET PAN, TO A WALL  
ADJACENT TO A TOILET PAN AND FOR  
SHOWER WALLS

NOTE:

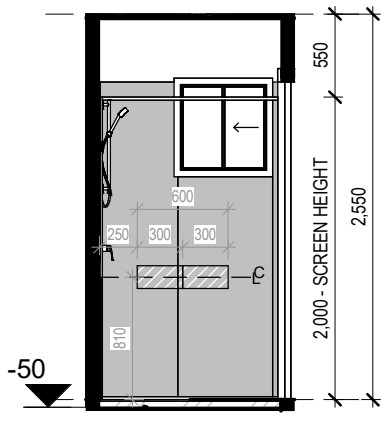
SHOWER TO BE HOBLESS WITH STEP FREE  
ENTRY AND LIP LOWER THAN 5MM



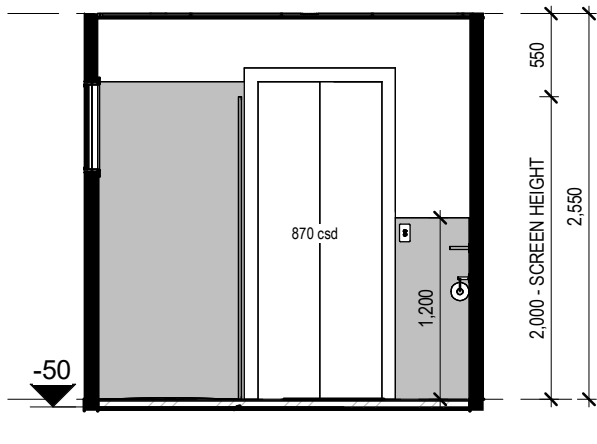
LAYOUT - ENS (detail)  
1 : 50



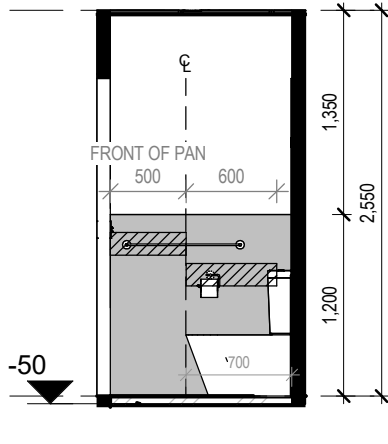
ENS - A (detail)  
1 : 50



ENS - B (detail)  
1 : 50



ENS - C (detail)  
1 : 50



ENS - D (detail)  
1 : 50

## Notice of intention to commence public notification

Section 17.2 of the Development Assessment Rules

<b>Applicant Name:</b>	DC House
<b>Address:</b>	C/- HPC Planning PO Box 15038, City East Qld 4002
<b>Contact Number/Email:</b>	P: (07) 3217 5800 E: borisa.m@hpcplanning.com.au
<b>Notice Date:</b>	28 July 2025
<b>Assessment Manager's Name:</b>	Michelle Mackay
<b>Assessment Manager's Address:</b>	Rockhampton Regional Council PO Box 1860, Rockhampton Qld 4700
<b>Application/Reference Number:</b>	D/82-2025
<b>Proposal Details:</b>	Dual Occupancy
<b>Street Address:</b>	26 Berserker Street, Berserker Qld 4701
<b>Real Property Description:</b>	Lot 31 on RP600722

Dear Sir/Madam,

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on **31/07/25**

At this time, I can advise that I intend to:

- |                                     |   |     |
|-------------------------------------|---|-----|
| <input checked="" type="checkbox"/> | Publish a notice in <b>CQ Today</b><br>on: <b>30/07/25</b>  | and |
| <input checked="" type="checkbox"/> | Place notice on the premises in the way prescribed under the Development Assessment Rules<br>on: <b>30/07/25</b>  | and |
| <input checked="" type="checkbox"/> | Notify the owners of all lots adjoining the premises the subject of the application<br>(registered letters priority post – lodged with Australia Post)<br>on: <b>28/07/25</b> |     |

The last day of public notification will be: **21/08/25**.

If you wish to discuss this matter further, please contact Borisa Miletovic on the above number.

Yours sincerely



**Tricia Wolf, Real Property Signs – 28/07/25**

Public notifier on behalf of Applicant

info@realpropertysigns.com.au | 0417 55 44 55