

PUBLIC NOTIFICATION



Approval Sought:	Material Change of Use
Proposed Development:	Cemetery (expansion)
Where:	L 184 Burnett Highway, Mount Morgan
Lot Description:	Lot 184 on SP355353
Application Reference:	D/37-2026

Make a submission from:

5 May 2026 to 25 May 2026

You may make a submission to Rockhampton Regional Council

PO BOX 1860, Rockhampton QLD 4700

Email: enquiries@rrc.qld.gov.au

Phone: 07 4932 9000 or 1300 22 55 77

[Click here to view the 'Guide to public notification of development and change applications'](#)

For more information on planning requirements within the Rockhampton Region feel free to visit www.rrc.qld.gov.au



DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) (individual or company full name)	Rockhampton Regional Council
Contact name (only applicable for companies)	C/- Gideon Town Planning
Postal address (P.O. Box or street address)	PO Box 450
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	07 4806 6959
Email address (non-mandatory)	info@gideontownplanning.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	GTP2570

1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Cemetery Road	Mount Morgan
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	184	SP355353	Rockhampton Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Cemetery (expansion)

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

- | | |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input type="checkbox"/> Yes – complete division 2 |
| Operational work | <input type="checkbox"/> Yes – complete division 3 |
| Building work | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Expansion to the existing Cemetery	Cemetery		

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

- | | |
|--|---|
| <input type="checkbox"/> Subdivision <i>(complete 10)</i> | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i> |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

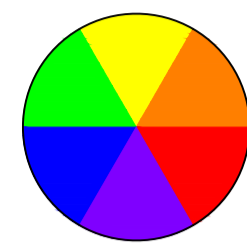
Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

MOUNT MORGAN CEMETERY EXPANSION

2 CEMETERY ROAD, MOUNT MORGAN FOR ROCKHAMPTON REGIONAL COUNCIL

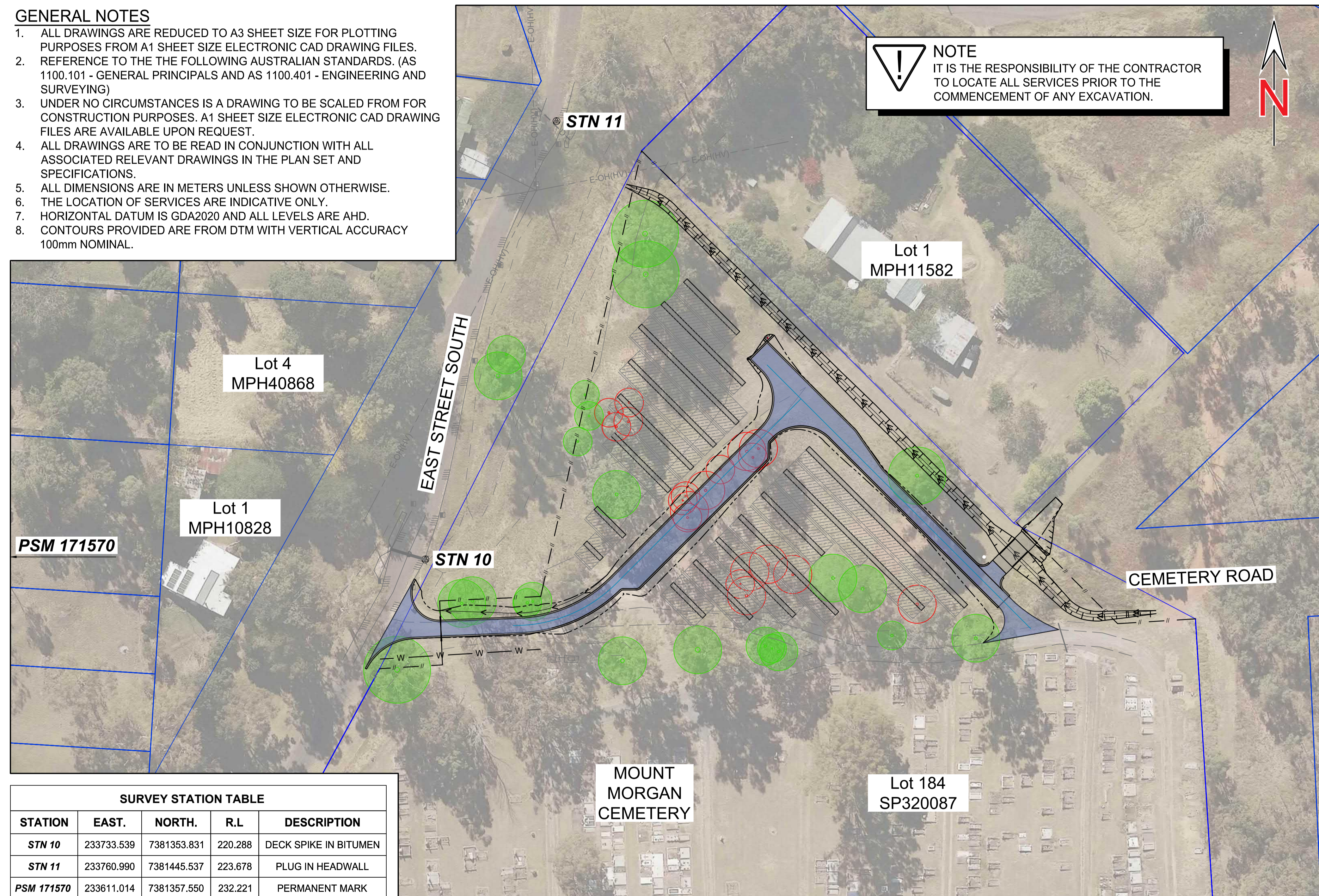
THIS PLAN SET USES COLOUR FOR GREATER CLARITY. BLACK AND WHITE DRAWINGS MAY BE UNSUITABLE AND CAUSE ERRORS. USE COLOURED DRAWINGS ONLY.



SHEET LIST		
DRAWING NO	DESCRIPTION	REVISION
0001	TITLE SHEET	B
0002	CIVIL INFRASTRUCTURE NOTES - SHEET 1	B
0003	CIVIL INFRASTRUCTURE NOTES - SHEET 2	B
0004	SAFETY IN DESIGN	B
0005	TYPICAL SECTIONS & DETAILS	B
1001	DEMOLITION PLAN	B
1002	OVERALL LAYOUT PLAN	B
1003	BULK EARTHWORKS PLAN	B
1004	EROSION & SEDIMENT CONTROL PLAN	B
2001	CONTROL LINE SETOUT PLAN	B
2002	GRAVEBEAM LAYOUT & SETOUT PLAN - SHEET 1	B
2003	GRAVEBEAM LAYOUT & SETOUT PLAN - SHEET 2	B
2004	INTERSECTION DETAIL PLAN - SHEET 1	B
2005	INTERSECTION DETAIL PLAN - SHEET 2	B
2006	LONGITUDINAL SECTION - CONTROL LINE MC01 & MC02	B
2007	LONGITUDINAL SECTION - CONTROL LINE KL01	B
2008	LONGITUDINAL SECTION - CONTROL LINE KL02	B
2009	LONGITUDINAL SECTION - CONTROL LINE KL03, KL04, KL05	B
2010	CROSS SECTIONS - CONTROL LINE MC01	B
2011	CROSS SECTIONS - CONTROL LINE MC02	B
2012	BED LEVEL CROSSING - CONTROL LINE MC03	B
3001	LONGITUDINAL SECTION - CONTROL LINE DL01	B
3002	CROSS SECTIONS - CONTROL LINE DL01	B
4001	WATER RECLUTION PLAN	B

GENERAL NOTES

- ALL DRAWINGS ARE REDUCED TO A3 SHEET SIZE FOR PLOTTING PURPOSES FROM A1 SHEET SIZE ELECTRONIC CAD DRAWING FILES. REFERENCE TO THE FOLLOWING AUSTRALIAN STANDARDS. (AS 1100.101 - GENERAL PRINCIPALS AND AS 1100.401 - ENGINEERING AND SURVEYING)
- UNDER NO CIRCUMSTANCES IS A DRAWING TO BE SCALED FROM FOR CONSTRUCTION PURPOSES. A1 SHEET SIZE ELECTRONIC CAD DRAWING FILES ARE AVAILABLE UPON REQUEST.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ASSOCIATED RELEVANT DRAWINGS IN THE PLAN SET AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN METERS UNLESS SHOWN OTHERWISE.
- THE LOCATION OF SERVICES ARE INDICATIVE ONLY.
- HORIZONTAL DATUM IS GDA2020 AND ALL LEVELS ARE AHD.
- CONTOURS PROVIDED ARE FROM DTM WITH VERTICAL ACCURACY 100mm NOMINAL.



SURVEY STATION TABLE				
STATION	EAST.	NORTH.	R.L	DESCRIPTION
STN 10	233733.539	7381353.831	220.288	DECK SPIKE IN BITUMEN
STN 11	233760.990	7381445.537	223.678	PLUG IN HEADWALL
PSM 171570	233611.014	7381357.550	232.221	PERMANENT MARK

R.P. DESCRIPTION
LOT 3614 ON MPH10984
PARISH OF MOUNT MORGAN

SURVEYOR
CAPRICORN SURVEY GROUP
DATUM
VERTICAL DATUM: AHD Vide PM 171570 RL 232.221
HORIZONTAL DATUM: MGA2020 Vide PM 96208
CO-ORD SYSTEM: MGA2020 Vide PM 96208

SITE PLAN
SCALE 1:500(A1) 1:1000(A3)

PROJECT STAMP

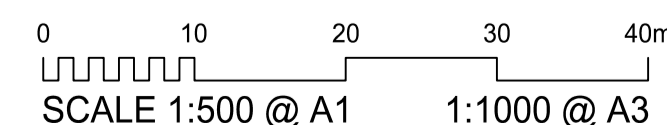
DRAWING SCALE

ISSUE/REVISION

PROJECT MANAGEMENT

PROJECT IDENTIFIER

FOR CONSTRUCTION



ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

RPEQ CERTIFICATION		23569
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCE
McMurtrie Consulting Engineers

ROCKHAMPTON | BUNDABERG
PH (07) 4921 1780 | mail@mcmengineers.com | MCMENGINEERS.COM

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE TITLE SHEET

DRAWING NUMBER
R0332425-0001

REVISION
B

CIVIL INFRASTRUCTURE NOTES

GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ROCKHAMPTON REGIONAL COUNCIL AND (CMDG) SPECIFICATIONS AND DRAWINGS, UNLESS STATED OTHERWISE.
- ALTHOUGH THE PRESENT AND/OR PROPOSED POSITIONS OF PUBLIC UTILITIES, FITTINGS, MANHOLES, POLES, ETC MAY BE INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES WITH THE RELEVANT AUTHORITIES BEFORE COMMENCEMENT OF ANY WORK. ANY COST ASSOCIATED WITH REPAIRING DAMAGE TO EXISTING SERVICES SHALL BE PAID FOR BY THE CONTRACTOR.
- LEVELS REFER TO LIP OF KERB AND CHANNEL. ROAD DIMENSIONS AND RADII MEASURED TO SETOUT LINE AT THE LIP.
- NOTWITHSTANDING THE LIMITS OF CUT AND FILL SHOWN ON THE DRAWINGS, THE ACTUAL LIMITS SHALL BE DETERMINED ON SITE BY THE SUPERINTENDENT.
- ALL NEW WORK SHALL BE JOINED NEATLY TO EXISTING AND THE LEVELS FOR CONNECTION TO EXISTING WORKS MAY BE VARIED WHERE NECESSARY ON SITE BY THE SUPERINTENDENT TO ACHIEVE A SATISFACTORY SMOOTH FINISH TO THE EXISTING WORKS. JOINS TO EXISTING AC SURFACING SHALL BE SAW CUT TO THE SATISFACTION OF THE SUPERINTENDENT.
- THE PAVEMENT THICKNESS SHOWN ON THE DRAWINGS MAY BE VARIED BY DIRECTION, IN WRITING, OF THE SUPERINTENDENT AFTER THE EXAMINATION AND/OR TESTING OF THE ROAD SUBGRADE. THE CONTRACTOR SHALL IN ALL CASES CONFIRM THE PAVEMENT THICKNESS BEFORE PROCEEDING WITH THE FINAL PREPARATION OF THE ROAD SUBGRADE.
- A TELSTRA REPRESENTATIVE MUST BE PRESENT WHEN EXCAVATING NEAR TO TELSTRA CABLES.
- LAYOUT AND LEVELS PLAN MUST BE READ IN CONJUNCTION WITH LONGITUDINAL SECTIONS, CROSS SECTIONS AND DETAILS.
- ROAD CONTOURS ARE AT 0.1m INTERVALS UNLESS STATED OTHERWISE.
- CLEARING AND GRUBBING SHALL BE AS DEFINED IN THE SPECIFICATIONS. ALL DEBRIS SHALL BE REMOVED FROM THE SITE (WHICH INCLUDES THE ROAD RESERVE AND ALLOTMENTS). BURNING OF WASTE MATERIAL AND DEBRIS IS PROHIBITED, WITHOUT APPROVAL FROM THE FIRE WARDEN AND ROCKHAMPTON REGIONAL COUNCIL.
- STOCKPILING OF REUSABLE MATERIAL SHALL BE AT A LOCATION APPROVED BY THE SUPERINTENDENT ON SITE, AND SHALL BE WATERED DOWN TO ENSURE THAT DUST IS KEPT TO A MINIMUM.
- TOPSOIL IS TO BE STRIPPED TO A DEPTH OF NOT LESS THAN 75mm AND STOCKPILED FOR LATER RESPREADING ON FOOTPATHS AND BATTERS AS DIRECTED BY THE SUPERINTENDENT. TOPSOIL TO BE RESPREAD TO MINIMUM DEPTH OF 50mm OR AS DIRECTED BY THE SUPERINTENDENT.
- TURF IS TO BE APPLIED TO ALL FOOTPATHS FOR A MINIMUM OF 800mm FROM REAR OF KERBS IN ACCORDANCE WITH THE TURFING DETAIL.
- ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SIGNS TO BE MIN CLASS 1 RETRO-REFLECTIVE MATERIAL.

EROSION & SEDIMENT CONTROL

- THE CONTRACTOR SHALL ENSURE THAT EFFECTIVE EROSION AND SEDIMENTATION CONTROL IS PROVIDED AT ALL TIMES.
- RUNOFF FROM ALL AREAS WHERE THE NATURAL SURFACE IS DISTURBED BY CONSTRUCTION, INCLUDING ACCESS ROADS, DEPOT AND STOCKPILE SITES, SHALL BE FREE OF POLLUTANTS BEFORE IT IS EITHER DISPERSED TO STABLE AREAS OR DIRECTED TO NATURAL WATERCOURSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES REQUIRED FOR THIS PURPOSE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SLOPES, CROWNS AND DRAINS ON ALL EXCAVATIONS AND EMBANKMENTS TO ENSURE SATISFACTORY DRAINAGE AT ALL TIMES. WATER SHALL NOT BE ALLOWED TO POND ON THE WORKS UNLESS SUCH PONDING IS PART OF AN APPROVED EROSION AND SEDIMENTATION CONTROL STRATEGY.
- RUNOFF FROM AREAS EXPOSED DURING THE WORK SHALL BE CONTROLLED BY CONSTRUCTION OF TEMPORARY CONTOUR DRAINS AND/OR TEMPORARY DIVERSION DRAINS. GENERALLY, A TEMPORARY CONTOUR DRAIN OR TEMPORARY DIVERSION DRAIN TAKES THE FORM OF A CHANNEL CONSTRUCTED ACROSS A SLOPE WITH A RIDGE ON ITS LOWER SIDE. THEY MAY REQUIRE PROGRESSIVE IMPLEMENTATION AND FREQUENT ALTERATION AS THE WORK PROGRESSES.
- CONTOUR DRAINS, WHICH FOLLOW POINTS ON THE NATURAL SURFACE OF APPROXIMATELY THE SAME ELEVATION, SHALL BE PROVIDED IMMEDIATELY AFTER A CONSTRUCTION SITE IS CLEARED TO INTERCEPT AND DIVERT RUNOFF FROM THE SITE TO NEARBY STABLE AREAS AT NON-EROSIVE VELOCITIES. CONTOUR DRAINS SHALL BE FORMED WITH A GRADE OF NEITHER LESS THAN 1 PER CENT NOR MORE THAN 1.5 PER CENT AND SHALL BE SPACED AT INTERVALS OF NEITHER LESS THAN 20m NOR MORE THAN 50m, DEPENDING ON THE ERODIBILITY OF THE EXPOSED SOIL.
- DIVERSION DRAINS SHALL BE PROVIDED ACROSS HAUL ROADS AND ACCESS TRACKS WHEN SUCH ROADS AND ACCESS TRACKS ARE IDENTIFIED AS CONSTITUTING AN EROSION HAZARD DUE TO THEIR STEEPNESS, SOIL ERODIBILITY OR POTENTIAL FOR CONCENTRATING RUNOFF FLOW. DIVERSION DRAINS SHALL BE FORMED TO INTERCEPT AND DIVERT RUNOFF FROM THE ROAD OR TRACK TO STABLE OUTLETS. SPACING OF DIVERSION DRAINS SHALL NOT BE GREATER THAN THAT REQUIRED TO MAINTAIN RUNOFF AT NON-EROSIVE VELOCITIES.
- TEMPORARY SEDIMENT-TRAPPING DEVICES SHALL BE PROVIDED DURING CONSTRUCTION TO REMOVE SEDIMENT FROM SEDIMENT-LADEN RUNOFF FLOWING FROM AREAS OF 0.5 HECTARES OR MORE BEFORE THE RUNOFF ENTERS NATURAL WATERCOURSES OR ADJACENT LAND.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY ACTION TO PROTECT BATTERS FROM EROSION.
- SCOUR OF NEWLY-FORMED FILL BATTERS DURING AND AFTER EMBANKMENT CONSTRUCTION SHALL BE MINIMISED BY DIVERTING RUNOFF FROM THE FORMATION AWAY FROM THE BATTER UNTIL VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL INSPECT ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL WORKS AFTER EACH RAIN PERIOD AND DURING PERIODS OF PROLONGED RAINFALL. ANY DEFECTS REVEALED BY SUCH INSPECTIONS SHALL BE RECTIFIED IMMEDIATELY AND THESE WORKS SHALL BE CLEANED, REPAIRED AND AUGMENTED AS REQUIRED, TO ENSURE EFFECTIVE EROSION AND SEDIMENTATION CONTROL THEREAFTER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS FOR CLEANING OUT SEDIMENTATION CONTROL WORKS.
- ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL WORKS SHALL BE REMOVED BY THE CONTRACTOR WHEN REVEGETATION IS ESTABLISHED ON FORMERLY EXPOSED AREAS BEFORE THE END OF THE CONTRACT. ALL MATERIALS USED FOR THE TEMPORARY EROSION AND SEDIMENTATION CONTROL WORKS SHALL BE REMOVED FROM THE SITE OR OTHERWISE DISPOSED BY THE CONTRACTOR.

BULK EARTHWORKS

- IN AREAS LISTED BELOW, ALL LAYERS SHALL BE UNIFORMLY COMPACTED TO NOT LESS THAN THE RELATIVE COMPACTION SPECIFIED BEFORE THE NEXT LAYER IS COMMENCED. EACH LAYER OF MATERIAL SHALL BE TRIMMED PRIOR TO AND DURING COMPACTION TO AVOID BRIDGING OVER LOW AREAS. A SMOOTH SURFACE SHALL BE PRESENTED AT THE TOP OF EACH LAYER.
- THE FOLLOWING AREAS SHALL BE COMPACTED TO PROVIDE A RELATIVE COMPACTION, DETERMINED BY AS 1289.5.7.1 FOR STANDARD COMPACTION EFFORT, OF NOT LESS THAN 95 PER CENT.
 - EACH LAYER OF MATERIAL REPLACING UNSUITABLE MATERIAL
 - EACH LAYER OF MATERIAL PLACED IN EMBANKMENTS, UP TO 0.3 METRES FROM THE TOP OF THE SUBGRADE.
 - THE WHOLE AREA ON THE FLOORS OF CUTTINGS.
 - FILL PLACED ADJACENT TO STRUCTURES UP TO 1.0 METRE FROM THE TOP OF PAVEMENT.
 - MATERIAL IN UNSEALED VERGES AND WITHIN MEDIANS UP TO THE LEVEL AT WHICH TOPSOIL IS PLACED.
 - SPOIL (EXCLUDING UNSUITABLE MATERIAL)
 - ALL OTHER AREAS EXCEPT THOSE WHERE 97 PER CENT RELATIVE COMPACTION IS SPECIFIED.
- UNSUITABLE MATERIAL SHALL BE STOCKPILED AS DIRECTED BY THE SUPERINTENDENT.
- THE FOLLOWING AREAS SHALL BE COMPACTED TO PROVIDE A RELATIVE COMPACTION OF NOT LESS THAN 98 PER CENT AS DETERMINED BY AS 1289.5.7.1 FOR STANDARD COMPACTION EFFORT:
 - FOUNDATIONS FOR SHALLOW EMBANKMENTS.
 - FOUNDATIONS OTHER THAN SHALLOW EMBANKMENTS.
 - EACH LAYER OF THE EMBANKMENT WITHIN 0.3 METRES FROM THE TOP OF THE SUBGRADE.
 - EACH LAYER OF THE SELECTED MATERIAL ZONE
 - ANY AREAS OF MATERIAL OF SPECIFIED QUALITY WHICH MAY BE SHOWN ON THE DRAWINGS OR SPECIFIED ELSEWHERE BEHIND KERBS AND/OR GUTTERS OR ADJACENT TO RIGID PAVEMENTS.
 - THE FILL MATERIAL PLACED ADJACENT TO STRUCTURES WITHIN 1.0 METRE FROM THE TOP OF THE PAVEMENT. UNLESS OTHERWISE STATED.
- AT THE TIME OF COMPACTION THE MOISTURE CONTENT OF THE MATERIAL SHALL BE ADJUSTED SO AS TO PERMIT THE SPECIFIED COMPACTION TO BE ATTAINED AT A MOISTURE CONTENT OF NOT LESS THAN 80% OR MORE THAN 100% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY AS 1289.5.1.1 OR AS 1289.5.7.1. MATERIAL WHICH BECOMES WETTED UP AFTER PLACEMENT SHALL NOT BE COMPACTED UNTIL IT HAS DRIED OUT SO THAT THE MOISTURE CONTENT IS WITHIN THIS RANGE. THE DRYING PROCESS MAY BE ASSISTED BY AERATION. IF THERE IS INSUFFICIENT MOISTURE IN THE MATERIAL FOR IT TO BE COMPACTED AS SPECIFIED, WATER SHALL BE ADDED. THE ADDED WATER SHALL BE APPLIED UNIFORMLY AND THOROUGHLY MIXED WITH THE MATERIAL UNTIL A HOMOGENEOUS MIXTURE IS OBTAINED.
- COMPACTION SHALL BE UNDERTAKEN TO OBTAIN THE SPECIFIED RELATIVE COMPACTION FOR THE FULL DEPTH OF EACH LAYER IN EMBANKMENTS AND FOR THE FULL WIDTH OF THE FORMATION OVER THE ENTIRE LENGTH OF THE WORK. COMPACTION SHALL BE COMPLETED PROMPTLY TO MINIMISE THE POSSIBILITY OF RAIN DAMAGE.
- ANY MATERIAL PLACED BY THE CONTRACTOR THAT HAS ATTAINED THE SPECIFIED RELATIVE COMPACTION BUT SUBSEQUENTLY BECOMES WETTED UP SO THAT THE MOISTURE CONTENT IS GREATER THAN THE APPARENT OPTIMUM, DETERMINED BY AS 1289.5.7.1, SHALL BE DRIED OUT AND UNIFORMLY RE-COMPACTED TO THE REQUIRED RELATIVE COMPACTION IN ACCORDANCE WITH THIS CLAUSE BEFORE THE NEXT LAYER OF MATERIAL IS PLACED. ALTERNATIVELY, THE CONTRACTOR MAY REMOVE THE LAYER OF WETTED MATERIAL TO A STOCKPILE SITE FOR DRYING AND LATER RE-USE.
- FOLLOWING COMPLETION OF COMPACTION AND TRIMMING, THE ENTIRE SUBGRADE AREA SHALL BE INSPECTED BY PROOF ROLLING WITH A FULLY LOADED SINGLE REAR AXLE TRUCK (OR ACCEPTABLE EQUIVALENT). ACCEPTABLE PROOF ROLLING SHALL BE TAKEN TO BE NO VISIBLE SIGNS OF DEFORMATION OR INSTABILITY IN THE SUBGRADE.
- THE SPECIFIED COMPACTION AND MOISTURE TESTS SHALL BE TAKEN AT THE RANDOM TEST LOCATIONS ESTABLISHED IN EACH LOT IN ACCORDANCE WITH THE SPECIFIED MINIMUM TESTING FREQUENCY. PRIOR TO TESTING THE CONTRACTOR SHALL WORK THE LOT TO ENSURE UNIFORM MOISTURE CONTENT AND COMPACTION OF ALL MATERIAL WITHIN THE LOT.
- THE TEST/S THEN TAKEN SHALL BE CONSIDERED TO REPRESENT THE TOTAL VOLUME OF MATERIAL PLACED WITHIN THE LOT.
- LIMITS AND TOLERANCES: THE LIMITS AND TOLERANCES APPLICABLE TO THE VARIOUS CLAUSES IN THE SPECIFICATION ARE SUMMARISED BELOW:
 - **BATTER SLOPES**
 - EXCAVATION ± 300mm
 - EMBANKMENT ± 300mm
 - **FLOORS**
 - FLOOR OF CUTTING: PARALLEL TO THE DESIGNED GRADE LINE AND ± 50mm OF THE DESIGNED FLOOR LEVEL
 - **TOPS OF EMBANKMENTS**
 - TRIMMING TOPS OF EMBANKMENTS: PARALLEL TO THE DESIGNED GRADE LINE, +10mm OR -40mm OF THE LEVELS SPECIFIED

PAVEMENT

- CONTROL TESTING OF EARTHWORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH A.S.3798.
- FILL SHALL BE PLACED AND COMPACTED TO THE FOLLOWING STANDARDS:
 - COHESIVE MATERIALS: ALLOTMENT FILL SHALL ACHIEVE A MINIMUM DRY DENSITY RATIO (M.D.D.R) OF 95% STANDARD.
 - ROAD EMBANKMENTS SHALL ACHIEVE THE FOLLOWING MINIMUM STANDARDS:
 - GREATER THAN OR EQUAL TO 0.3m BELOW PAVEMENT SUBGRADE: 95% M.D.D.R STANDARD.
 - LESS THAN 0.3m BELOW PAVEMENT SUBGRADE: 98% M.D.D.R STANDARD.
 - NON COHESIVE MATERIAL: FILL SHALL ACHIEVE A MINIMUM DENSITY INDEX RATIO OF 80%.
- FIELD DENSITY TESTS SHALL BE UNDERTAKEN AT THE FOLLOWING MINIMUM FREQUENCIES:
 - ALLOTMENT FILL: 1 TEST/500CU.M OR 1 TEST/ALLOTMENT (WHICHEVER IS GREATER)
 - SUBGRADE FILL AND ROAD PAVEMENT: 1 TEST/200CU.M OR 1 TEST/200mm THICKNESS/1000SQ.METRES (WHICHEVER IS GREATER)
- ROAD PAVEMENTS SHALL BE PLACED AND COMPACTED TO ACHIEVE A MINIMUM DRY DENSITY RATIO (M.D.D.R) OF 100% STANDARD.
- EARTHWORKS GREATER THAN 0.4m DEPTH TO BE CONTROL FILL LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS 3798.
- THE LIMITS AND TOLERANCES APPLICABLE TO THE VARIOUS CLAUSES IN THIS SPECIFICATION ARE SUMMARISED AS BELOW:
 - STOCKPILE SITES.**
 - RELATIVE COMPACTION >95%
 - STOCKPILE HEIGHT <3m
 - STOCKPILE BATTER <1.5:1 AND >3:1
 - SPREADING PAVEMENT MATERIALS.**
 - COMPACTED LAYER THICKNESS ≥100mm, ≤200mm
 - COMPACTION ACCEPTANCE**
 - MINIMUM VALUE OF ALL CALCULATED RELATIVE COMPACTION RESULTS ≥100 PER CENT (STANDARD COMPACTION EFFORT)
 - WIDTH OF PAVEMENT.**
 - DESIGN CENTRE-LINE TO EDGE OF CONSTRUCTED PAVEMENT -50mm TO +300mm OF DIMENSIONS ON DRAWINGS.
 - AVERAGE WIDTH THE AVERAGE WIDTH DETERMINED FROM 3 RANDOM SITES OVER ANY 200m ROAD LENGTH, OR PART THEREOF, SHALL BE NOT LESS THAN THE SPECIFIED WIDTH.
 - SURFACE LEVEL**
 - SUBBASE LEVELS ≤±10mm FROM DESIGN LEVEL
 - BASE LEVELS ≤±10mm FROM DESIGN LEVEL
 - BASE LEVELS ADJACENT TO KERB AND GUTTER ≤±5mm FROM THE LIP LEVELS OF ADJACENT GUTTER MINUS DESIGN THICKNESS OF WEARING SURFACE.
 - SHAPE DEVIATION FROM A 3m LONG STRAIGHTEDGE ON BASE SURFACE IMMEDIATELY PRIOR TO SEALING SHALL BE LESS THAN 12mm

WATER

- ALL MAINS TO BE mPVC OR oPVC. ALL PIPES SHALL BE MATERIAL CLASS 400 AND SHALL HAVE A PRESSURE RATING OF CLASS 16.
- MINIMUM COVER TO MAIN IS 600mm, 900mm UNDER ROADS.
- CONNECTIONS TO EXISTING MAINS TO BE PERFORMED BY COUNCIL.
- RETICULATION MAINS TO BE LAID 2.5m FROM THE PROPERTY BOUNDARY. HOUSE CONNECTION POINTS AT ALTERNATIVE BOUNDARIES TO THE ELECTRICAL SUPPLY UNLESS NOTED OTHERWISE.
- FOR PIPES LAID ON CURVES REFER TO MANUFACTURES SPECIFICATIONS FOR JOINT DEFLECTION OR PIPE BENDING.
- WATER MAINS TO BE FLUSHED AND TESTED IN ACCORDANCE WITH THE SPECIFICATION.
- ALL FITTINGS TO MIN CLASS 16, DUCTILE IRON FITTINGS.
- HYDRANTS (80m MAX CENTRES) AND VALVE INSTALLATION TO BE IN ACCORDANCE WITH CMDG STD DWG. CMDG-W-060, 061 & 062.
- WATER SERVICE CONNECTIONS AND METERS TO BE IN ACCORDANCE WITH CMDG STD DWG. CMDG-W-093 & CMDG-W-090
- ALL FITTINGS TO BE THRUSTED IN ACCORDANCE WITH CMDG STD DWG. CMDG-W-041.
- EMBEDMENT, TRENCHING AND BACKFILL TO BE IN ACCORDANCE WITH CMDG STD DWG. CMDG-W-040.

DRAINAGE

- ALL STORMWATER PIPE BEDDING SHALL BE IN ACCORDANCE WITH THIS SPECIFICATION, AS3725 AND AS3725 SUPPLEMENT 1 FOR THE PIPE SUPPORT TYPES AS SHOWN ON THE DRAWINGS. WHERE THE PIPE SUPPORT TYPE IS NOT SHOWN ON THE DRAWINGS, THE SUPPORT TYPE SHALL BE HS3 WITHIN ROAD RESERVES AND H2 ELSEWHERE.
- AVERAGE RECURRENCE INTERVAL (ARI) FOR DESIGN:

OF PIPED SYSTEMS	= 5 YEARS
OF TABLE DRAINS	= 5 YEARS
OF SEDIMENTATION BASINS	= 5 YEARS
FOR MAJOR FLOW DRAINAGE	= 100 YEARS.
- FOR SUBSOIL DRAINAGE, THE CONTRACTOR SHALL REFER TO CMDG STANDARD SPECIFICATIONS AND DRAWINGS UNLESS STATED OTHERWISE.

ISO A1 594mm x 841mm

FILENAME: R:\24-28\RO33-24-25 - Mt Morgan Cemetery Design\DWG\RO332425-XSHEET1S.dwg


PLOT DATE: 30/01/2026 8:06:56 AM

PROJECT STAMP DRAWING SCALE ISSUE/REVISION

FOR CONSTRUCTION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

			23569
RPEQ CERTIFICATION			
MH	RB	RB	
DESIGNER	CHECKED	APPROVED	
INTERNAL PROJECT NO.	R0332425		
DATUM	AHD	SURVEY	GDA '20



ROCKHAMPTON | BUNDABERG
PH (07) 4921 1780 | mail@mcmengineers.com | MCMENGINEERS.COM

PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE CIVIL INFRASTRUCTURE NOTES
SHEET 1

DRAWING NUMBER REVISION

R0332425-0002

B

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DESIGN HAZARD SCHEDULE					
ITEM	DESIGN HAZARD	POTENTIAL HAZARD	RISK	ELIMINATION/MINIMISATION OF HAZARD/RISK	RESIDUAL RISK
D1	EXISTING UNDERGROUND/OVERHEAD SERVICES	SERVICES OF HIGH IMPORTANCE ARE IN CLOSE PROXIMITY TO THIS PROJECT INCLUDING ELECTRICITY DISTRIBUTION	SEVERE	APPROXIMATE LOCATIONS OF SERVICES ARE REPRESENTED ON THE DESIGN DRAWINGS, CONTRACTOR IS TO LOCATE AND PROTECT SERVICES PRIOR TO COMMENCEMENT OF WORKS	LOW
D2	PAVEMENT DESIGN	PAVEMENT DESIGN HAS BEEN BASED ON ANTICIPATED TRAFFIC VOLUMES AND VEHICLES, ACTUAL TRAFFIC VOLUMES MAY DIFFER	MODERATE	APPROPRIATE SAFETY FACTOR HAS BEEN ADOPTED IN CALCULATION	LOW
D3	GROUND CONDITIONS	DESIGN IS BASED ON LIMITED GEOTECHNICAL TESTING AND EXTRAPOLATION BETWEEN POINTS, ACTUAL CONDITIONS MAY VARY.	MODERATE	SITE PROOFING OF GEOTECHNICAL DESIGN PARAMETERS IS TO BE UNDERTAKEN AND APPROVAL OF DESIGN PARAMETERS BY SUPERINTENDENT	LOW

RISK MATRIX						
		LIKELIHOOD				
		1	2	3	4	5
CONSEQUENCE	A	LOW	LOW	LOW	MODERATE	MODERATE
	B	LOW	LOW	MODERATE	MODERATE	SIGNIFICANT
	C	LOW	MODERATE	MODERATE	SIGNIFICANT	SEVERE
	D	MODERATE	MODERATE	SIGNIFICANT	SEVERE	SEVERE
	E	MODERATE	SIGNIFICANT	SEVERE	SEVERE	SEVERE

CONSTRUCTION HAZARD SCHEDULE		
ITEM	POTENTIAL HAZARD	POTENTIAL PREVENTATIVE ACTION
C1	HAZARDOUS MATERIALS	APPROPRIATE WARNING SIGNS SHALL BE DISPLAYED, MATERIAL SAFETY SHEETS SHALL BE AVAILABLE AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT USED WHILST WORKING WITH MATERIAL
C2	UNDERGROUND ELECTRICAL AND COMMUNICATIONS HAZARD	WARNING SIGNS AND MARKERS SHALL BE ERECTED ADVISING OF THE PRESENCE OF THE EXISTING SERVICE. THE SERVICE SHALL BE IDENTIFIED AND MARKED BY THE SUPPLY AUTHORITY PRIOR TO THE COMMENCEMENT OF EXCAVATION. A REPRESENTATIVE OF THE SUPPLY AUTHORITY SHALL REMAIN ON SITE DURING THE EXCAVATION WORK, IF REQUIRED.
C3	DEMOLITION HAZARD	SITE PERSONNEL SHALL BE ADVISED OF THE POTENTIAL HAZARDS AND THE APPROPRIATE PROCEDURES FOR SAFE DEMOLITION AND REMOVAL OF EXISTING STRUCTURES AND/OR TREES. THE CONTRACTOR WILL BE RESPONSIBLE FOR DEVELOPING SAFE WORK METHODS INCLUDING BUT NOT LIMITED TO EXCLUSION ZONES, APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT TO BE WORN AND REQUIRED SIGNAGE TO BE ERECTED.
C4	VEHICLE HAZARD	SITE PERSONNEL SHALL BE ADVISED OF THE POTENTIAL HAZARDS AND THE APPROPRIATE PROCEDURES FOR WORKING ADJACENT TO OPERATING PUBLIC ROADS, APPROPRIATE SAFETY CLOTHING SHALL BE WORN AND THE REQUIRED SIGNAGE SHALL BE ERECTED. THE WORKS SHALL BE UNDERTAKEN IN A MANNER WHICH DOES NOT COMPROMISE THE SAFETY OF THE VEHICLE OCCUPANTS OR THE SITE PERSONNEL.
C5	TRAFFIC MANAGEMENT HAZARD	SUITABLE QUALIFIED AND EXPERIENCED PERSONNEL SHALL BE RESPONSIBLE FOR THE SAFE AND ORDERLY PASSAGE OF VEHICULAR AND PEDESTRIAN TRAFFIC THROUGH THE PROJECT AT ALL TIMES. THE CONTRACTOR SHALL DEVELOP A TRAFFIC MANAGEMENT PLAN (TMP) FOR THE PROJECT TO ESTABLISH APPROPRIATE CONTROLS IN ACCORDANCE WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL.
C6	EXISTING BUILDINGS AND STRUCTURES	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CONSTRUCTION WORK AND EQUIPMENT DOES NOT IMPACT ANY EXISTING BUILDINGS, INCLUDING IN GROUND STRUCTURAL ELEMENTS OF ANY EXISTING BUILDING. THE CONTRACTOR IS RESPONSIBLE FOR ALLEVIATING POTENTIAL FOR ONGOING HAZARDS TO PEDESTRIAN AND VEHICLE MOVEMENT WHERE NEW WORK 'TIES IN' WITH EXISTING BUILDING FEATURES (E.G. TRIP HAZARDS).
C7	TRENCHING, EXCAVATION HAZARD	EXCAVATION REQUIRED FOR INSTALLATION OF STORMWATER PIPES AND PITS. SITE PERSONNEL SHALL BE ADVISED OF THE POTENTIAL HAZARDS AND THE APPROPRIATE PROCEDURES FOR WORKING ADJACENT TO OPEN TRENCHES. TEMPORARY FENCING TO BE IMPLEMENTED TO DETER WAYWARD PEDESTRIANS.
C8	SEDIMENT AND EROSION CONTROL HAZARD	THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES FOR THE DURATION OF THE WORKS. ALL CONTROL MEASURES TO BE IN ACCORDANCE WITH INDUSTRY BEST PRACTICE AND EROSION SEDIMENT CONTROL FIELD GUIDE FOR CONSTRUCTION MANAGERS.

LIKELIHOOD TABLE		
LEVEL	DESCRIPTION	QUANTIFICATION GUIDE
A - ALMOST CERTAIN	THE EVENT IS EXPECTED TO OCCUR IN MOST CERTAIN CIRCUMSTANCES	MORE THAN ONCE PER YEAR
B - LIKELY	THE EVENT WILL PROBABLY OCCUR IN MOST CIRCUMSTANCES	AT LEAST ONCE IN 5 YEARS
C - POSSIBLE	THE EVENT SHOULD OCCUR AT SOME TIME	AT LEAST ONCE IN 10 YEARS
D - UNLIKELY	THE EVENT COULD OCCUR AT SOME TIME	AT LEAST ONCE IN 30 YEARS
E - RARE	THE EVENT MAY OCCUR IN EXCEPTIONAL CIRCUMSTANCES	LESS THAN ONCE IN 30 YEARS

CONSEQUENCE TABLE		
LEVEL	CONSEQUENCE	COST/TIME
5 - CATASTROPHIC	FATALITY OR MULTIPLE PERSONS ONSITE WITH LIFE THREATENING HEALTH EFFECT OR INABILITY TO CONTINUE	HUGE FINANCIAL/TIME LOSS
4 - MAJOR	EXTENSIVE INJURIES, OR ONSET OF SEVERE OR LIFE THREATENING HEALTH EFFECT TO SINGLE PERSON ONSITE. MULTIPLE PERSONS WITH ONSET OF IRREVERSIBLE HEALTH EFFECTS. PERMANENT INJURY TO PERSON ONSITE.	MAJOR FINANCIAL/TIME LOSS
3 - MODERATE	MEDICAL TREATMENT REQUIRED. IRREVERSIBLE HEALTH EFFECT TO A SINGLE PERSON. MULTIPLE PERSONS ONSITE WITH REVERSIBLE HEALTH EFFECTS.	HIGH FINANCIAL/TIME LOSS
2 - MINOR	FIRST AID, SINGLE OR MULTIPLE INJURIES AMONGST PERSONS ONSITE. SINGLE PERSON ONSITE WITH MODERATE SHORT TERM REVERSIBLE HEALTH EFFECTS.	MEDIUM FINANCIAL/TIME LOSS
1 - INSIGNIFICANT	NO INJURIES. OVER EXPOSURE TO A SINGLE PERSON ONSITE, BUT NO REPORTED HEALTH EFFECTS.	LOW FINANCIAL/TIME LOSS

DESIGN HAZARD NOTES:

- MCMURTRIE CONSULTING ENGINEERS (MCE) HAVING BEEN COMMISSIONED TO CARRY OUT DETAILED DESIGN AND DOCUMENTATION OF THESE WORKS, CONFIRM THAT THE MCE DRAWING SET HAS BEEN INTERNALLY REVIEWED FOR DESIGN SAFETY IN ACCORDANCE WITH SECTION 22 OF THE WORK HEALTH AND SAFETY ACT 2011 QLD.
- THIS REPORT SUMMARISES AN INTERNAL REVIEW OF MCE'S DETAILED DESIGN DRAWINGS FOR DESIGN SAFETY.
- THIS REPORT IN NO WAY RELIEVES THE PRINCIPAL, CONTRACTOR OR ANY OTHER PARTY OF THEIR OWN OBLIGATIONS AND RESPONSIBILITIES UNDER THE WORK HEALTH AND SAFETY ACT 2011 QLD, INCLUDING (BUT NOT LIMITED TO) CONSULTATION WITH THE DESIGNER UNDER SECTION 294 OF THE ACT, THE PREPARATION OF SATISFACTORY SAFE WORK METHOD STATEMENTS AND DUTIES OF CARE.
- IT IS A REQUIREMENT UNDER SECTION 296 OF THE WORK HEALTH AND SAFETY ACT 2011 QLD, THAT A COPY OF THIS REPORT BE PROVIDED TO THE CONTRACTOR BY THE ENTITY COMMISSIONING THE WORK SHOWN OF THE MCE DRAWINGS
- AS PER THE DEPARTMENT OF JUSTICE AND THE ATTORNEY-GENERAL- WORKPLACE HEALTH AND SAFETY QUEENSLAND, A WRITTEN REPORT IS NOT REQUIRED FOR DESIGNS THAT HAVE TYPICAL FEATURES.

CONSTRUCTION HAZARD NOTES:

- UNDER THE QUEENSLAND WORK HEALTH AND SAFETY ACT 2011, THE WORK HEALTH AND SAFETY REGULATION 2011 AND OTHER LEGISLATION AND GUIDELINES, THE PRINCIPAL CONTRACTOR HAS SPECIFIC OBLIGATIONS IN RELATION TO THE SAFE OPERATION OF THE SITE AND OF THE WORKS. TO ASSIST THE PRINCIPAL CONTRACTOR IN COMPLYING WITH THESE OBLIGATIONS THE PROJECT DESIGNERS ADVICE, SHALL NOT NECESSARILY BE CONSIDERED COMPLETE AND ARE BASED UPON THE DESIGNERS' UNDERSTANDING OF THE SAFETY RISKS ASSOCIATED WITH THE WORKS. THESE NOTES OR ADVICE SHALL NOT RELIEVE THE PRINCIPAL CONTRACTOR OF ANY OBLIGATION UNDER THE RELEVANT LEGISLATION OR GUIDELINE. THE PRINCIPAL CONTRACTOR SHALL REMAIN RESPONSIBLE FOR THE PREPARATION OF AN APPROPRIATE WORK HEALTH SAFETY MANAGEMENT PLAN AND SAFE WORK METHOD
- PURSUANT TO THE WORK HEALTH AND SAFETY ACT 2011 WE HEREBY ADVISE THAT OUR DESIGN SAFETY REVIEW HAS ENDEAVOURED TO IDENTIFY UNUSUAL OR ATYPICAL DESIGN FEATURES THAT MAY PRESENT ADDITIONAL HAZARDS OR RISKS DURING THE CONSTRUCTION PHASE.

RISK MATRIX						
		LIKELIHOOD				
		1	2	3	4	5
CONSEQUENCE	A	LOW	LOW	LOW	MODERATE	MODERATE
	B	LOW	LOW	MODERATE	MODERATE	SIGNIFICANT
	C	LOW	MODERATE	MODERATE	SIGNIFICANT	SEVERE
	D	MODERATE	MODERATE	SIGNIFICANT	SEVERE	SEVERE
	E	MODERATE	SIGNIFICANT	SEVERE	SEVERE	SEVERE

RISK EVALUATION TABLE	
RISK LEVEL	ACTION REQUIRED
SEVERE	UNACCEPTABLE RISK. RE-DESIGN REQUIRED. DO NOT PROCEED WITHOUT ADDITIONAL CONTROLS.
SIGNIFICANT	UNACCEPTABLE RISK. ADDITIONAL CONTROLS NEEDED. CONSIDER FURTHER REVIEW AND CONSIDER RE-DESIGN
MODERATE	RISK MAY BE ACCEPTABLE. MANAGEMENT TO DETERMINE ACTIONS REQUIRED
LOW	ACCEPTABLE. MANAGE RISK THROUGH ROUTINE PROCEDURES AND OTHER ADMINISTRATIVE CONTROLS

ISO A1 594mm x 841mm
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PROJECT STAMP DRAWING SCALE ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

<i>NSG</i>		23569
RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20



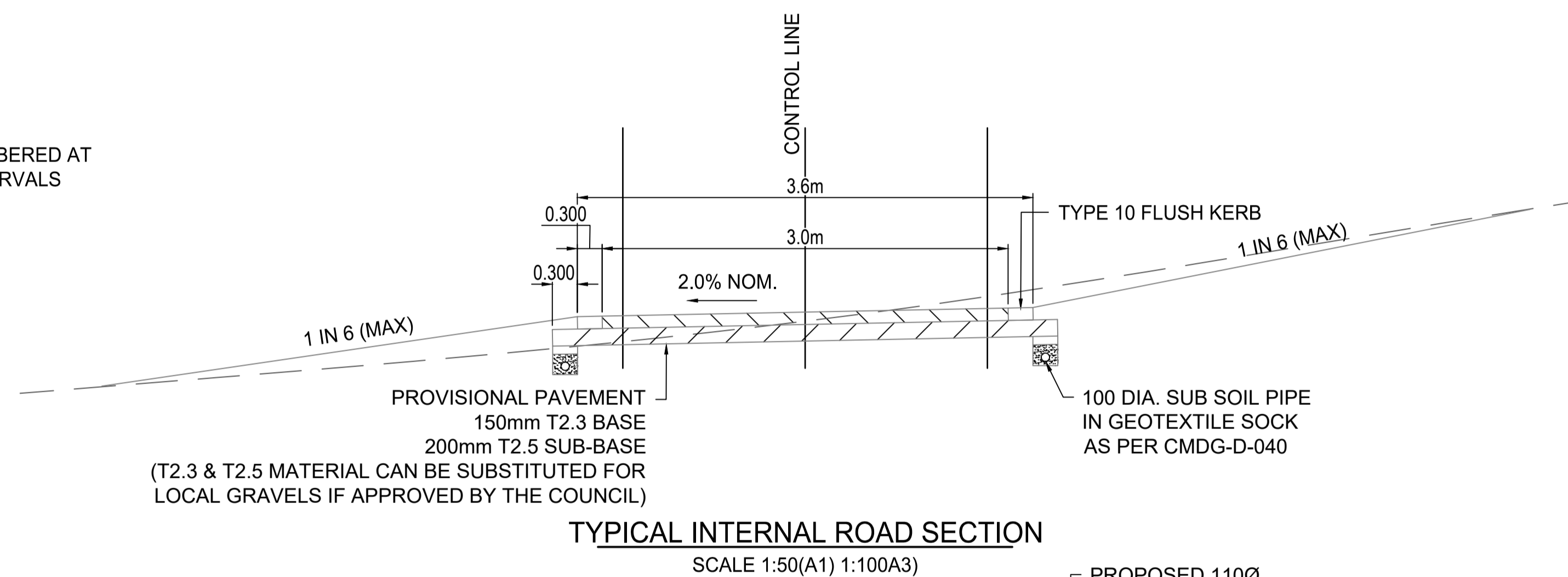
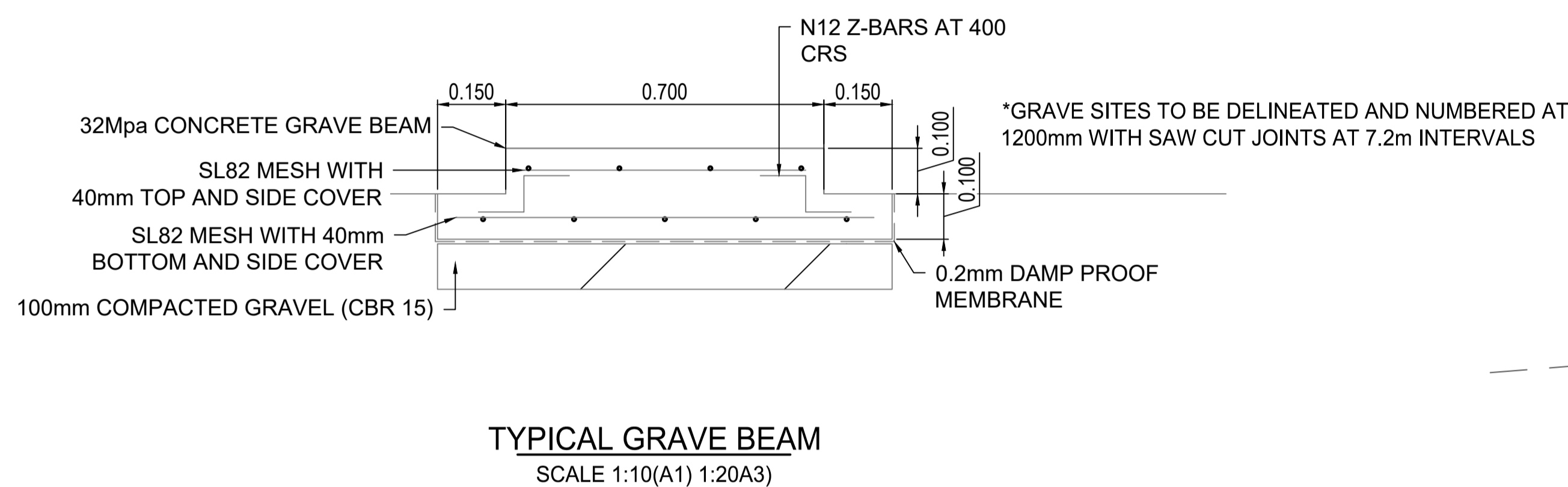
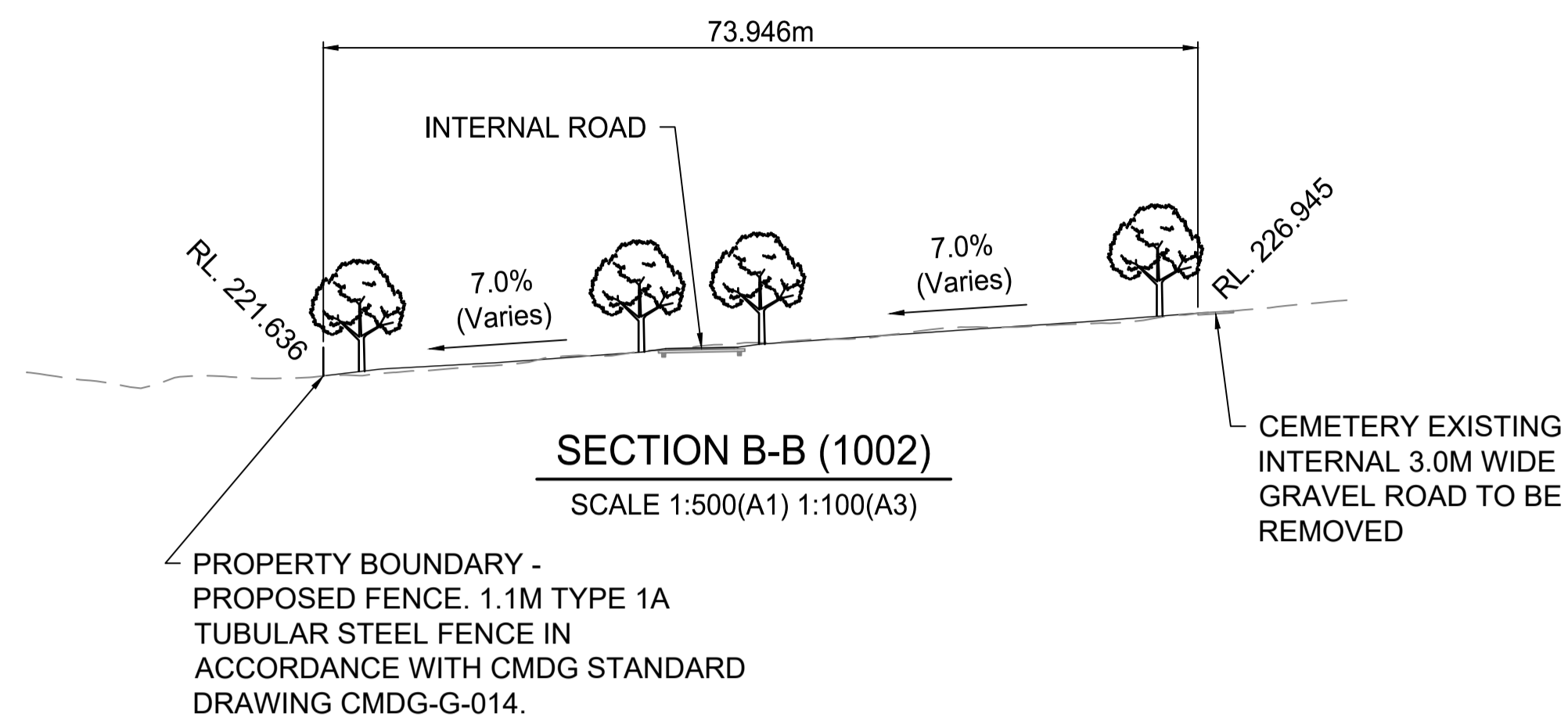
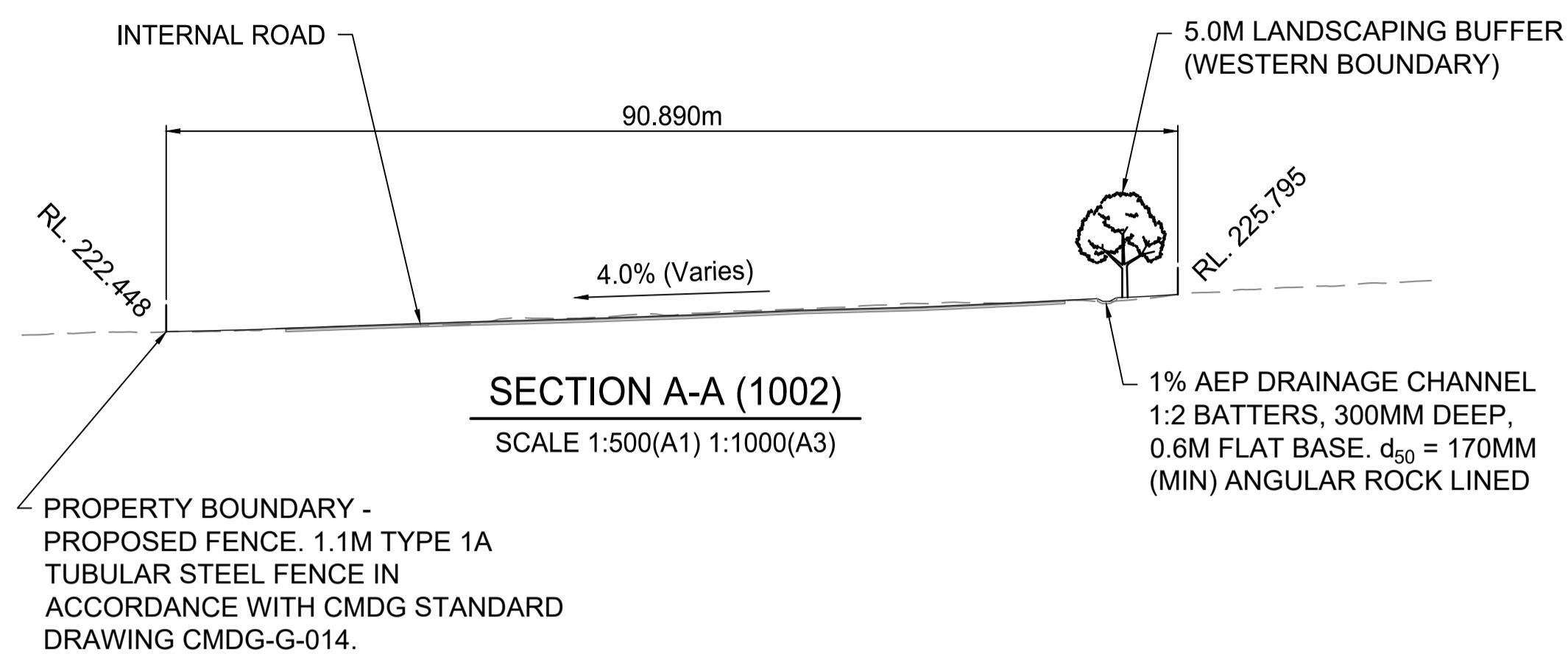
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PROJECT IDENTIFIER
 CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE SAFETY IN DESIGN

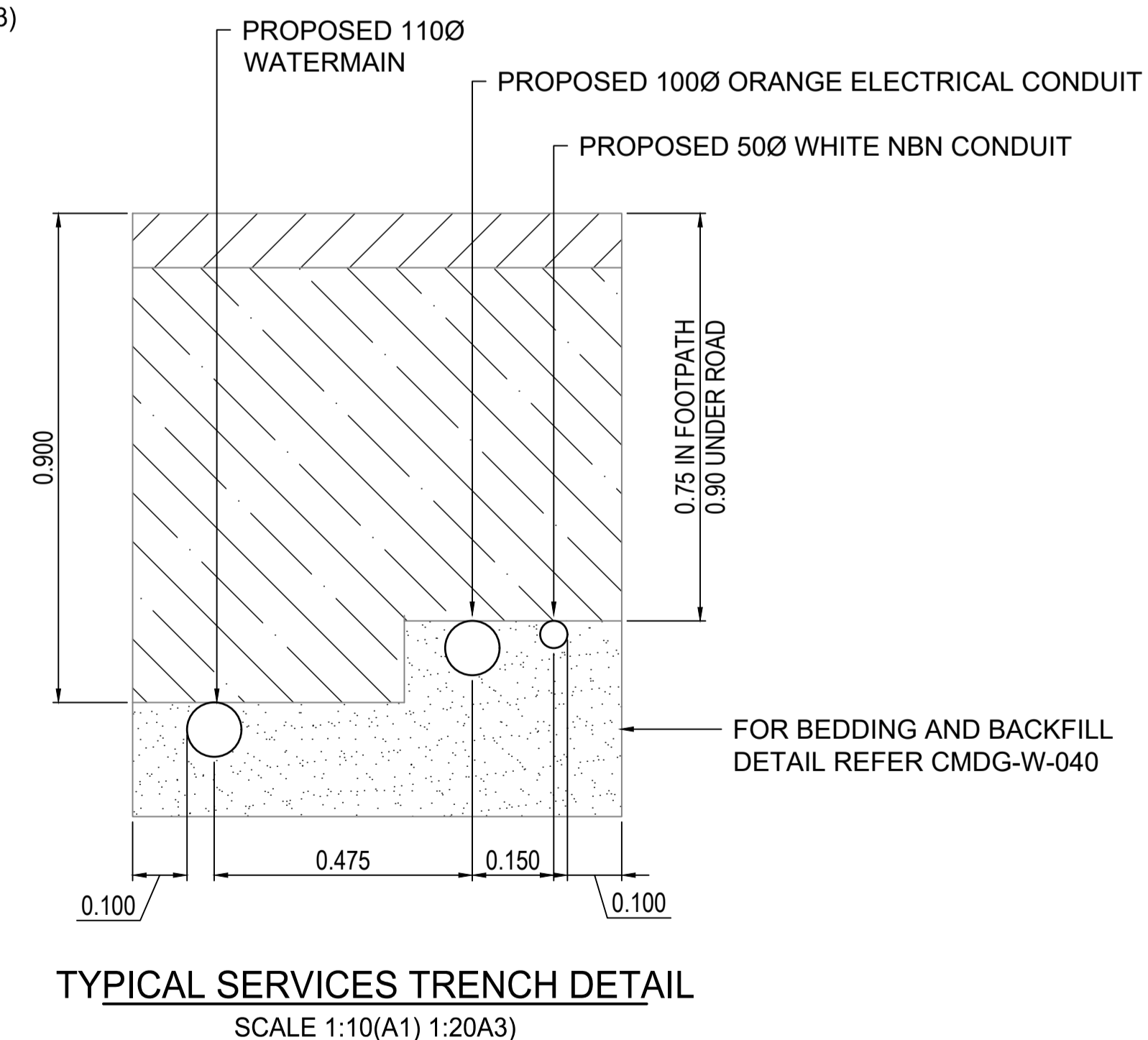
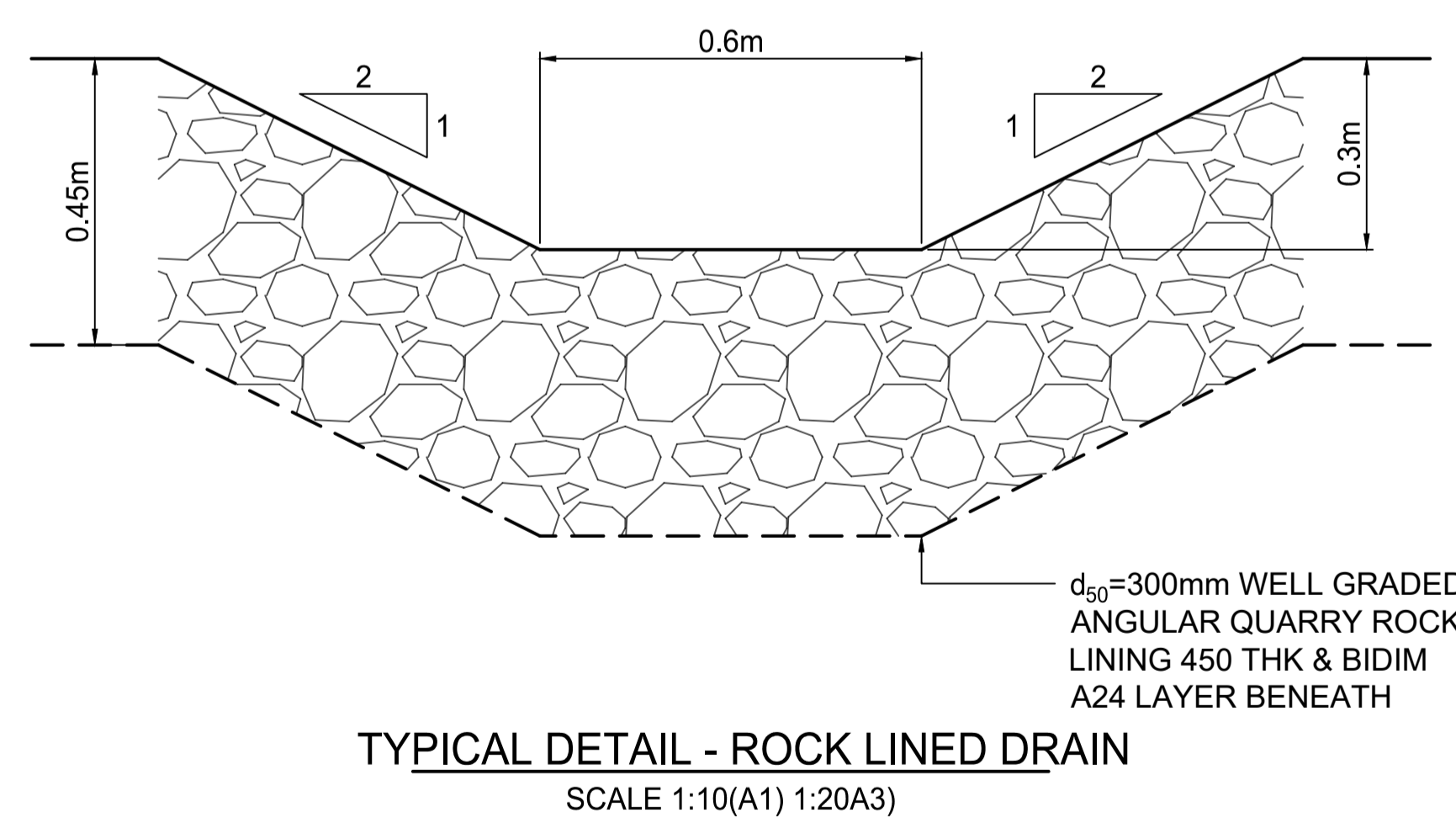
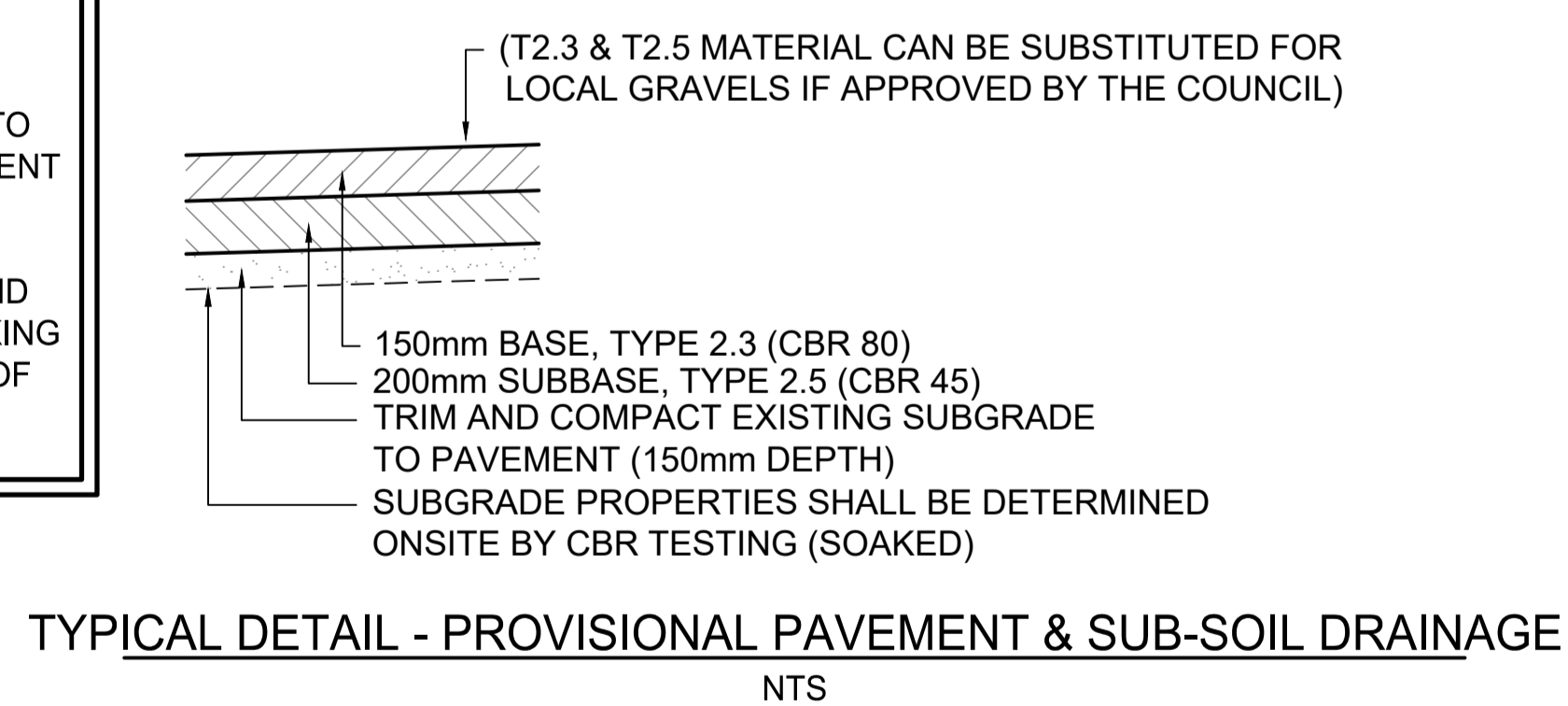
DRAWING NUMBER REVISION
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FOR CONSTRUCTION



PAVEMENT SHOWN IS PROVISIONAL
(BASED ON A SUBGRADE CBR OF 3
AND A DESA OF 2×10^4) ONLY.
GEOTECHNICAL TESTING TO BE
UNDERTAKEN OF EXISTING
SUBGRADE. PAVEMENT DETAILS TO
BE CONFIRMED BY SUPERINTENDENT
PRIOR TO CONSTRUCTION.
CONTRACTOR TO ENSURE
SUBGRADE IS SUITABLY DRIED AND
PROTECTED TO PROVIDE A WORKING
PLATFORM FOR CONSTRUCTION OF
THE ROAD PAVEMENT



ISO A1 594mm x 841mm
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DRAWING SCALE

0	0.2	0.4	0.6	0.8m
0	1	2	3	4m
0	10	20	30	40m

SCALE 1:10 @ A1 1:20 @ A3
SCALE 1:50 @ A1 1:100 @ A3
SCALE 1:500 @ A1 1:1000 @ A3

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCMCE
McMurtrie Consulting Engineers

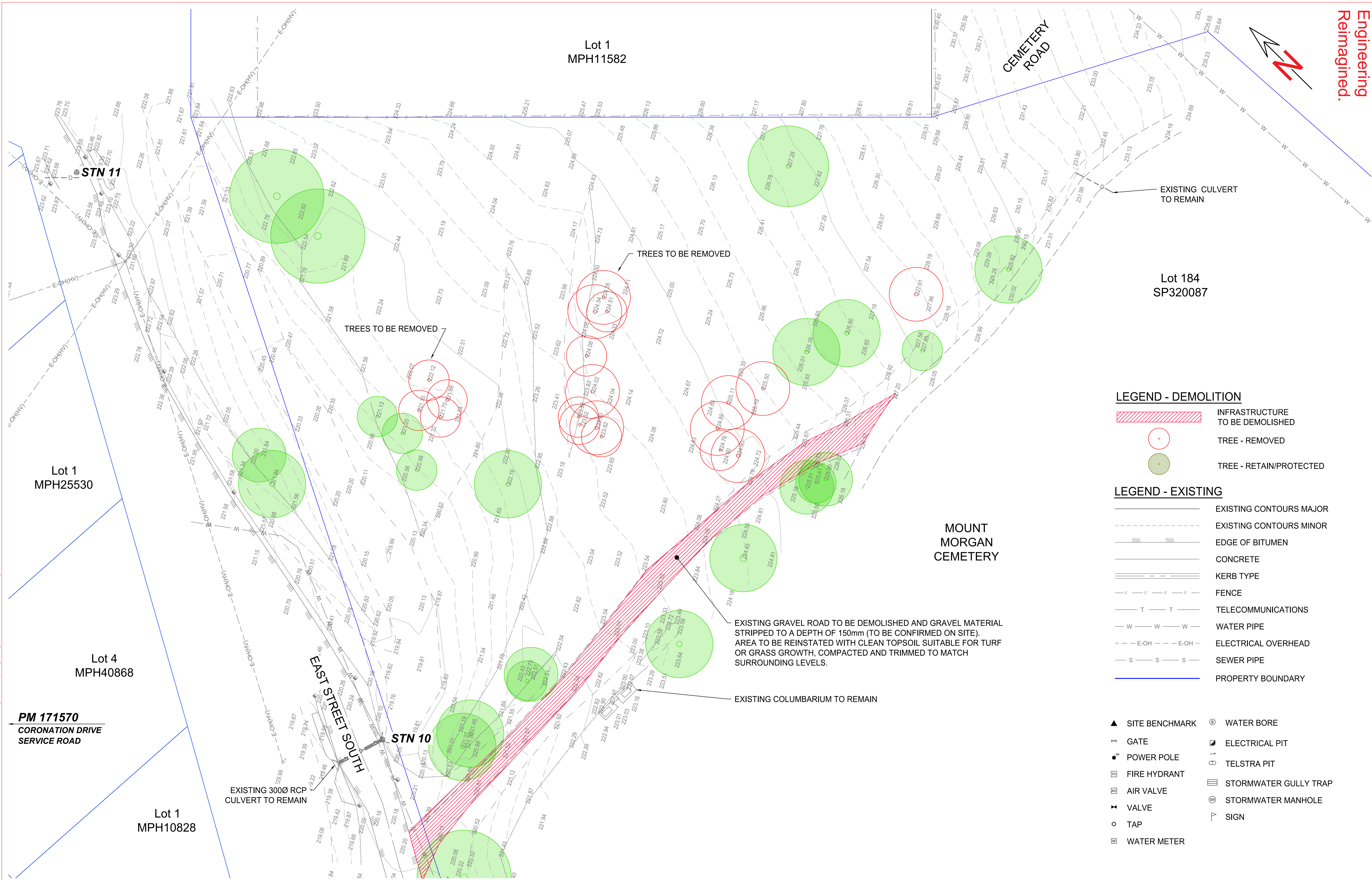
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PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE TYPICAL SECTIONS & DETAILS

DRAWING NUMBER R0332425-0005
REVISION B

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PLOT DATE: 30/01/2026 8:13:19 AM



- LEGEND - DEMOLITION**
- INFRASTRUCTURE TO BE DEMOLISHED
 - TREE - REMOVED
 - TREE - RETAIN/PROTECTED

- LEGEND - EXISTING**
-

- LEGEND - SYMBOLS**
- SITE BENCHMARK
 - GATE
 - POWER POLE
 - FIRE HYDRANT
 - AIR VALVE
 - VALVE
 - TAP
 - WATER METER
 - WATER BORE
 - ELECTRICAL PIT
 - TELSTRA PIT
 - STORMWATER GULLY TRAP
 - STORMWATER MANHOLE
 - SIGN

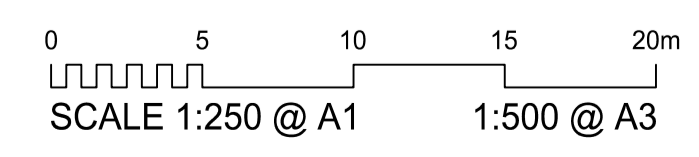
PROJECT STAMP

DRAWING SCALE

ISSUE/REVISION

PROJECT MANAGEMENT

FOR CONSTRUCTION



ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

RPEQ CERTIFICATION		23569
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY
		GDA '20



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PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE DEMOLITION PLAN

DRAWING NUMBER R0332425-1001
REVISION B

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 FILENAME: R:\24-26\R0324-25 - Mt Morgan Cemetery Design\DWG\R032425-XSHEET15.dwg
 PLOT DATE: 30/01/2026 8:10:51 AM

EXISTING TREES TO REMAIN & TREES TO BE REMOVED SHOWN INDICATIVELY. TREES TO BE VISIBLY INSPECTED FOR ANY NESTS OR OTHER WILDLIFE BREEDING/ROOSTING PLACES (SUCH AS HOLES OR VOIDS IN LARGER EUCALYPTUS TREES). IF THERE ARE NO WILDLIFE OR PLACES IDENTIFIED, A LICENSED SPOTTER CATCHER IS REQUIRED TO PHYSICALLY INSPECT AND REMOVE/RELOCATE ANY WILDLIFE, EGGS, ETC BEFORE CLEARING CAN COMMENCE.

LANDSCAPING DETAILS TO BE SPECIFIED BY OTHERS

VEHICLE TURNAROUND POINT & LOCALIZED WIDENING FOR 8.8M SERVICE VEHICLE

Lot 1
MPH11582

1% AEP DRAINAGE CHANNEL - 1:2 BATTERS, 300MM DEEP, 0.6M FLAT BASE. d₅₀ = 300MM (MIN) ANGULAR ROCK LINED

MAINTENANCE VEHICLE ACCESS. CONCRETE BED LEVEL CROSSING IN ACCORDANCE WITH CMDG-R-094

PROPOSED FENCE. 1.1M TYPE 1A TUBULAR STEEL FENCE IN ACCORDANCE WITH CMDG STANDARD DRAWING CMDG-G-014 FENCE LOCATION TO BE CONFIRMED ONSITE

GRAVEL ACCESS ROAD INTERSECTION. VEHICLES LONGER THAN 8.8M LEFT TURN ONLY.

MOUNT MORGAN CEMETERY

Lot 184
SP320087

MT MORGAN CEMETERY EXPANSION

Total 467 GRAVE SITES

NOTE:
LAND OWNERSHIP, ENVIRONMENTAL, NATIVE TITLE AND CULTURAL HERITAGE CHECKS BY COUNCIL

LEGEND - EXISTING

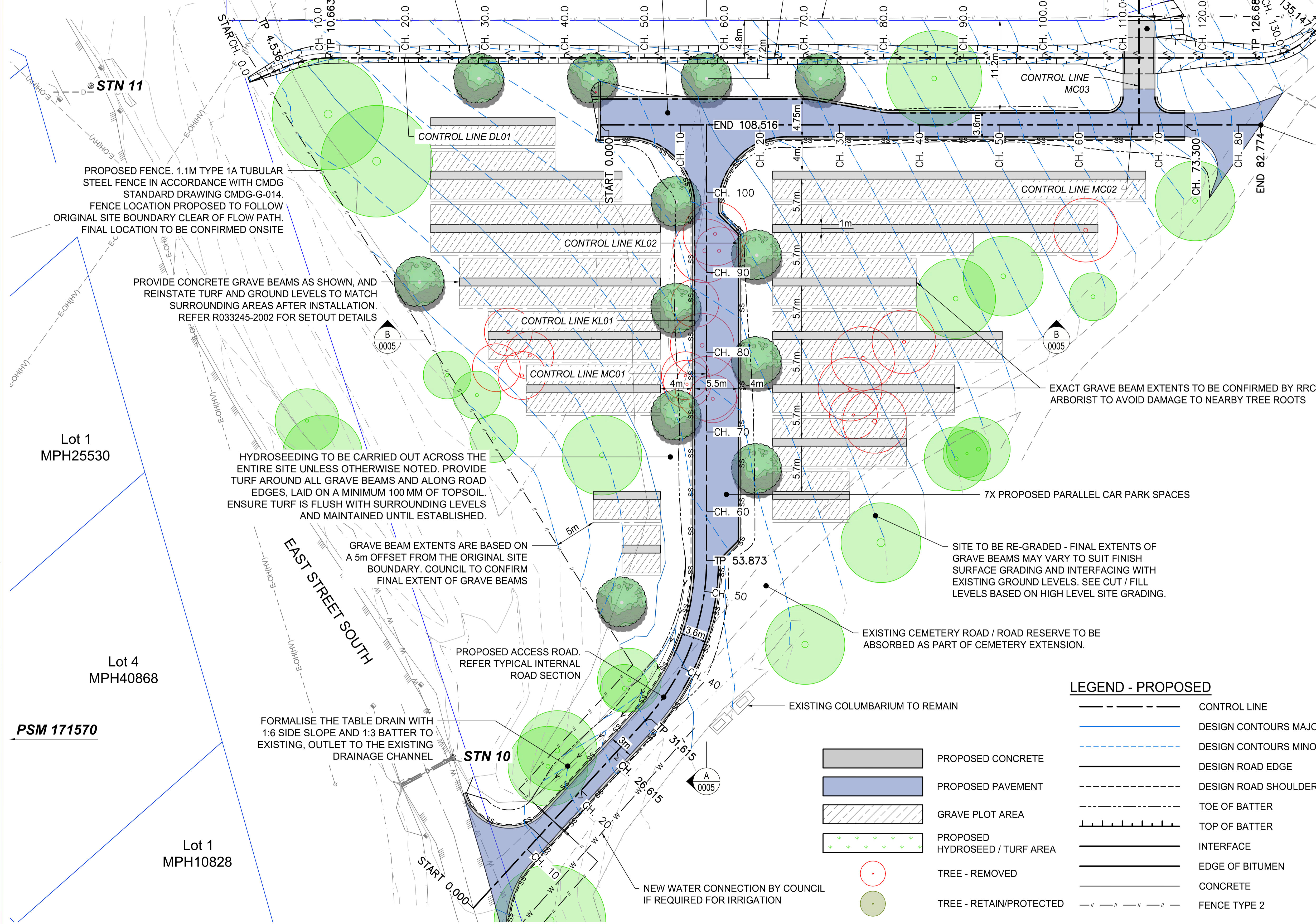
- EXISTING CONTOURS MAJOR
- - - EXISTING CONTOURS MINOR
- ▨ EDGE OF BITUMEN
- ▩ CONCRETE
- ▧ KERB TYPE
- - - FENCE
- T - T - TELECOMMUNICATIONS
- W - W - WATER PIPE
- - E-OH - - E-OH - ELECTRICAL OVERHEAD
- S - S - SEWER PIPE
- ▭ PROPERTY BOUNDARY

LEGEND - PROPOSED

- ▬ CONTROL LINE
- ▬ DESIGN CONTOURS MAJOR
- - - DESIGN CONTOURS MINOR
- ▬ DESIGN ROAD EDGE
- - - DESIGN ROAD SHOULDER
- ▬ TOE OF BATTER
- ▬ TOP OF BATTER
- ▬ INTERFACE
- ▬ EDGE OF BITUMEN
- ▬ CONCRETE
- - - FENCE TYPE 2

- ▲ SITE BENCHMARK
- ⊗ WATER BORE
- ⊗ GATE
- ⊗ ELECTRICAL PIT
- POWER POLE
- ⊗ TELSTRA PIT
- ⊗ FIRE HYDRANT
- ⊗ STORMWATER GULLY TRAP
- ⊗ AIR VALVE
- ⊗ STORMWATER MANHOLE
- ⊗ VALVE
- ⊗ SIGN
- ⊗ TAP
- ⊗ WATER METER

- ▭ PROPOSED CONCRETE
- ▭ PROPOSED PAVEMENT
- ▭ GRAVE PLOT AREA
- ▭ PROPOSED HYDROSEED / TURF AREA
- TREE - REMOVED
- TREE - RETAIN/PROTECTED



PROPOSED FENCE. 1.1M TYPE 1A TUBULAR STEEL FENCE IN ACCORDANCE WITH CMDG STANDARD DRAWING CMDG-G-014. FENCE LOCATION PROPOSED TO FOLLOW ORIGINAL SITE BOUNDARY CLEAR OF FLOW PATH. FINAL LOCATION TO BE CONFIRMED ONSITE

PROVIDE CONCRETE GRAVE BEAMS AS SHOWN, AND REINSTATE TURF AND GROUND LEVELS TO MATCH SURROUNDING AREAS AFTER INSTALLATION. REFER R033245-2002 FOR SETOUT DETAILS

HYDROSEEDING TO BE CARRIED OUT ACROSS THE ENTIRE SITE UNLESS OTHERWISE NOTED. PROVIDE TURF AROUND ALL GRAVE BEAMS AND ALONG ROAD EDGES, LAID ON A MINIMUM 100 MM OF TOPSOIL. ENSURE TURF IS FLUSH WITH SURROUNDING LEVELS AND MAINTAINED UNTIL ESTABLISHED.

GRAVE BEAM EXTENTS ARE BASED ON A 5m OFFSET FROM THE ORIGINAL SITE BOUNDARY. COUNCIL TO CONFIRM FINAL EXTENT OF GRAVE BEAMS

PROPOSED ACCESS ROAD. REFER TYPICAL INTERNAL ROAD SECTION

FORMALISE THE TABLE DRAIN WITH 1:6 SIDE SLOPE AND 1:3 BATTER TO EXISTING, OUTLET TO THE EXISTING DRAINAGE CHANNEL

EXACT GRAVE BEAM EXTENTS TO BE CONFIRMED BY RRC ARBORIST TO AVOID DAMAGE TO NEARBY TREE ROOTS

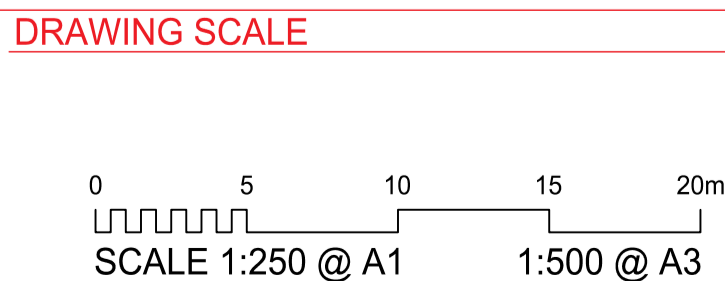
SITE TO BE RE-GRADED - FINAL EXTENTS OF GRAVE BEAMS MAY VARY TO SUIT FINISH SURFACE GRADING AND INTERFACING WITH EXISTING GROUND LEVELS. SEE CUT / FILL LEVELS BASED ON HIGH LEVEL SITE GRADING.

EXISTING CEMETERY ROAD / ROAD RESERVE TO BE ABSORBED AS PART OF CEMETERY EXTENSION.

EXISTING COLUMBARIUM TO REMAIN

NEW WATER CONNECTION BY COUNCIL IF REQUIRED FOR IRRIGATION

FOR CONSTRUCTION



ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO. R0332425		
DATUM	AHD	SURVEY GDA '20



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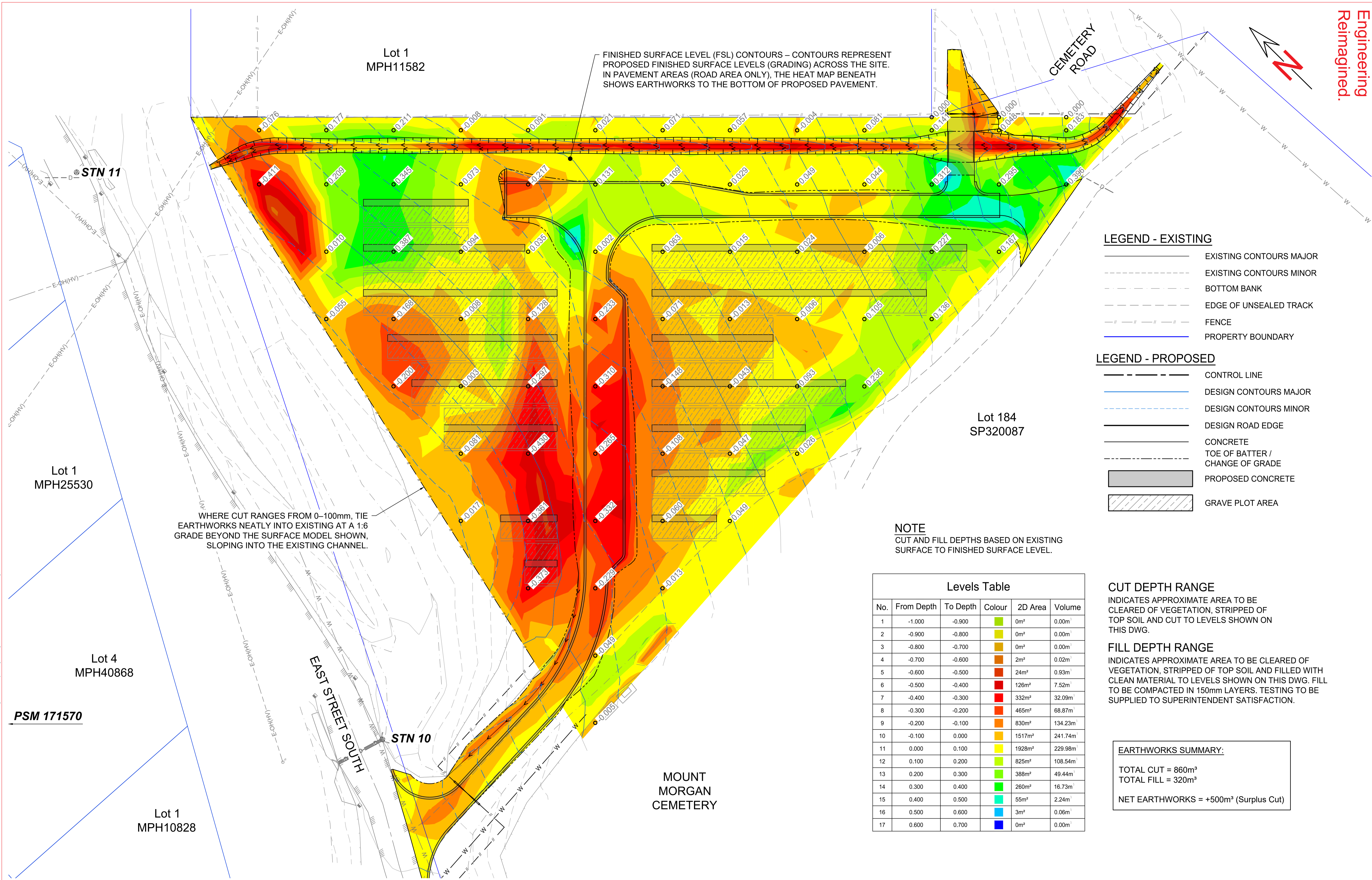
PROJECT IDENTIFIER
 CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE OVERALL LAYOUT PLAN

DRAWING NUMBER
 R0332425-1002

REVISION
 B

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 PLOT DATE: 30/01/2026 8:14:06 AM



- LEGEND - EXISTING**
- EXISTING CONTOURS MAJOR
 - - - EXISTING CONTOURS MINOR
 - - - BOTTOM BANK
 - - - EDGE OF UNSEALED TRACK
 - - - FENCE
 - PROPERTY BOUNDARY

- LEGEND - PROPOSED**
- - - CONTROL LINE
 - DESIGN CONTOURS MAJOR
 - - - DESIGN CONTOURS MINOR
 - DESIGN ROAD EDGE
 - CONCRETE
 - - - TOE OF BATTER / CHANGE OF GRADE
 - PROPOSED CONCRETE
 - ▨ GRAVE PLOT AREA

Levels Table

No.	From Depth	To Depth	Colour	2D Area	Volume
1	-1.000	-0.900	Light Green	0m ²	0.00m ³
2	-0.900	-0.800	Yellow	0m ²	0.00m ³
3	-0.800	-0.700	Orange	0m ²	0.00m ³
4	-0.700	-0.600	Red-Orange	2m ²	0.02m ³
5	-0.600	-0.500	Red	24m ²	0.93m ³
6	-0.500	-0.400	Dark Red	126m ²	7.52m ³
7	-0.400	-0.300	Red-Orange	332m ²	32.09m ³
8	-0.300	-0.200	Orange	465m ²	68.87m ³
9	-0.200	-0.100	Yellow-Orange	830m ²	134.23m ³
10	-0.100	0.000	Yellow	1517m ²	241.74m ³
11	0.000	0.100	Light Green	1928m ²	229.98m ³
12	0.100	0.200	Yellow	825m ²	108.54m ³
13	0.200	0.300	Light Green	388m ²	49.44m ³
14	0.300	0.400	Yellow	260m ²	16.73m ³
15	0.400	0.500	Light Green	55m ²	2.24m ³
16	0.500	0.600	Yellow	3m ²	0.06m ³
17	0.600	0.700	Light Green	0m ²	0.00m ³

CUT DEPTH RANGE
INDICATES APPROXIMATE AREA TO BE CLEARED OF VEGETATION, STRIPPED OF TOP SOIL AND CUT TO LEVELS SHOWN ON THIS DWG.

FILL DEPTH RANGE
INDICATES APPROXIMATE AREA TO BE CLEARED OF VEGETATION, STRIPPED OF TOP SOIL AND FILLED WITH CLEAN MATERIAL TO LEVELS SHOWN ON THIS DWG. FILL TO BE COMPACTED IN 150mm LAYERS. TESTING TO BE SUPPLIED TO SUPERINTENDENT SATISFACTION.

EARTHWORKS SUMMARY:

TOTAL CUT = 860m³
 TOTAL FILL = 320m³
 NET EARTHWORKS = +500m³ (Surplus Cut)

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

0 5 10 15 20m
 SCALE 1:250 @ A1 1:500 @ A3

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCE
 McMurtrie Consulting Engineers

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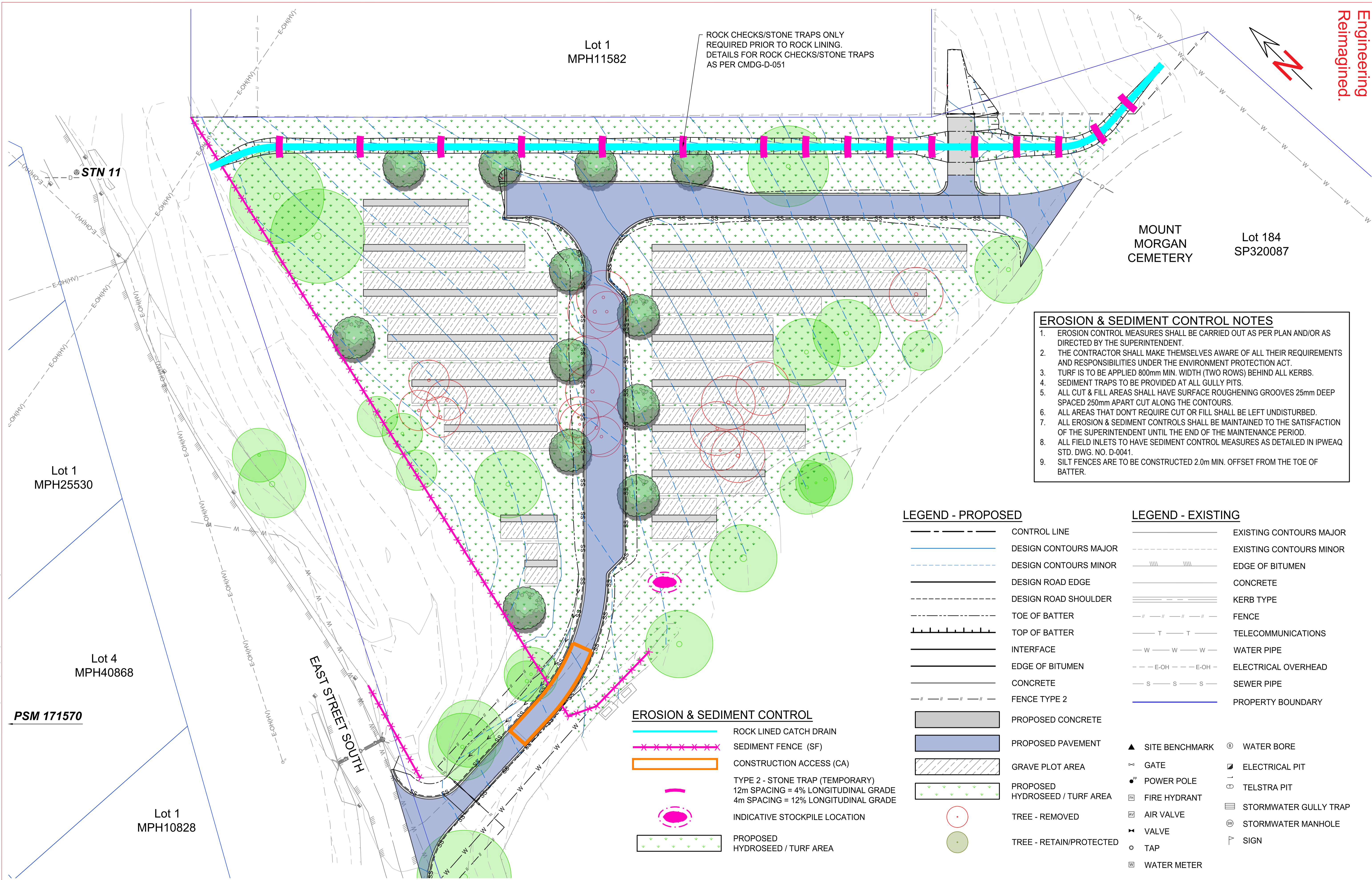
PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE BULK EARTHWORKS PLAN

DRAWING NUMBER R0332425-1003

REVISION B

ISO A1 594mm x 841mm
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PLOT DATE: 30/01/2026 8:11:40 AM



ROCK CHECKS/STONE TRAPS ONLY
REQUIRED PRIOR TO ROCK LINING.
DETAILS FOR ROCK CHECKS/STONE TRAPS
AS PER CMDG-D-051

MOUNT
MORGAN
CEMETERY
Lot 184
SP320087

- EROSION & SEDIMENT CONTROL NOTES**
1. EROSION CONTROL MEASURES SHALL BE CARRIED OUT AS PER PLAN AND/OR AS DIRECTED BY THE SUPERINTENDENT.
 2. THE CONTRACTOR SHALL MAKE THEMSELVES AWARE OF ALL THEIR REQUIREMENTS AND RESPONSIBILITIES UNDER THE ENVIRONMENT PROTECTION ACT.
 3. TURF IS TO BE APPLIED 800mm MIN. WIDTH (TWO ROWS) BEHIND ALL KERBS.
 4. SEDIMENT TRAPS TO BE PROVIDED AT ALL GULLY PITS.
 5. ALL CUT & FILL AREAS SHALL HAVE SURFACE ROUGHENING GROOVES 25mm DEEP SPACED 250mm APART CUT ALONG THE CONTOURS.
 6. ALL AREAS THAT DON'T REQUIRE CUT OR FILL SHALL BE LEFT UNDISTURBED.
 7. ALL EROSION & SEDIMENT CONTROLS SHALL BE MAINTAINED TO THE SATISFACTION OF THE SUPERINTENDENT UNTIL THE END OF THE MAINTENANCE PERIOD.
 8. ALL FIELD INLETS TO HAVE SEDIMENT CONTROL MEASURES AS DETAILED IN IPWEAQ STD. DWG. NO. D-0041.
 9. SILT FENCES ARE TO BE CONSTRUCTED 2.0m MIN. OFFSET FROM THE TOE OF BATTER.

LEGEND - PROPOSED

- CONTROL LINE
- DESIGN CONTOURS MAJOR
- DESIGN CONTOURS MINOR
- DESIGN ROAD EDGE
- DESIGN ROAD SHOULDER
- TOE OF BATTER
- TOP OF BATTER
- INTERFACE
- EDGE OF BITUMEN
- CONCRETE
- FENCE TYPE 2

- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- GRAVE PLOT AREA
- PROPOSED HYDROSEED / TURF AREA
- TREE - REMOVED
- TREE - RETAIN/PROTECTED

LEGEND - EXISTING

- EXISTING CONTOURS MAJOR
- EXISTING CONTOURS MINOR
- EDGE OF BITUMEN
- CONCRETE
- KERB TYPE
- FENCE
- TELECOMMUNICATIONS
- WATER PIPE
- ELECTRICAL OVERHEAD
- SEWER PIPE
- PROPERTY BOUNDARY

- ▲ SITE BENCHMARK
- ⊕ WATER BORE
- ⊥ GATE
- ⊕ ELECTRICAL PIT
- POWER POLE
- ⊕ TELSTRA PIT
- ⊕ FIRE HYDRANT
- ⊕ STORMWATER GULLY TRAP
- ⊕ AIR VALVE
- ⊕ STORMWATER MANHOLE
- ⊕ VALVE
- TAP
- ⊕ WATER METER

- EROSION & SEDIMENT CONTROL**
- ROCK LINED CATCH DRAIN
 - SEDIMENT FENCE (SF)
 - CONSTRUCTION ACCESS (CA)
 - TYPE 2 - STONE TRAP (TEMPORARY)
12m SPACING = 4% LONGITUDINAL GRADE
4m SPACING = 12% LONGITUDINAL GRADE
 - INDICATIVE STOCKPILE LOCATION
 - PROPOSED HYDROSEED / TURF AREA

Lot 1
MPH25530

Lot 4
MPH40868

PSM 171570

Lot 1
MPH10828

EAST STREET SOUTH

Lot 1
MPH11582

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

SCALE 1:250 @ A1 1:500 @ A3

ISSUE REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

NSG 23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCE
McMurtrie Consulting Engineers

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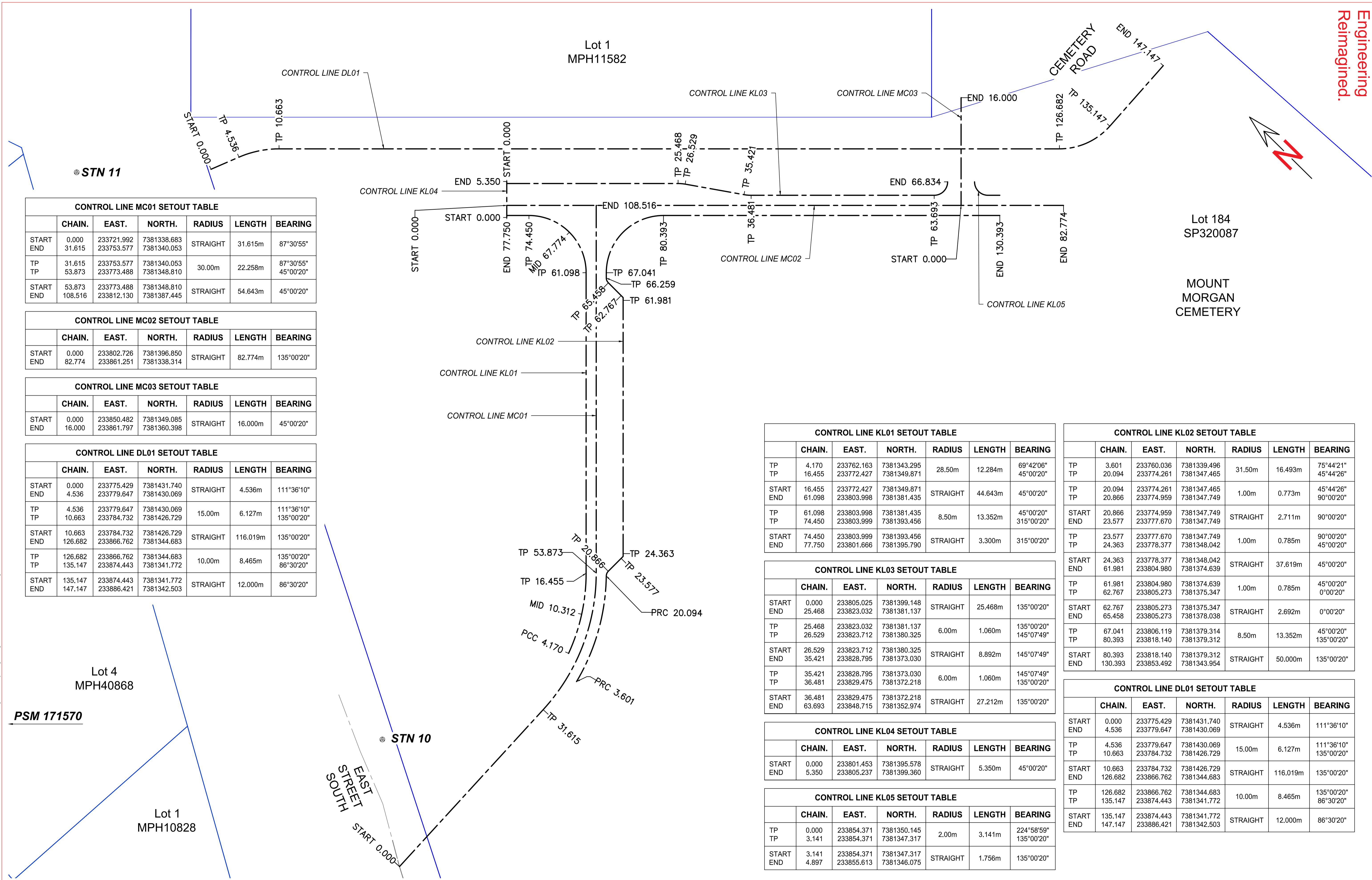
PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE EROSION & SEDIMENT CONTROL PLAN

DRAWING NUMBER R0332425-1004 REVISION B

NOTE: THIS DRAWING IS SOLELY THE PROPERTY OF MCMURTRIE CONSULTING ENGINEERS PTY LTD. THE INFORMATION CONTAINED IS NOT TO BE DISCLOSED, REPRODUCED OR COPIED IN WHOLE OR PART WITHOUT WRITTEN APPROVAL FROM MCMURTRIE CONSULTING ENGINEERS PTY LTD.

ISO A1 594mm x 841mm
FILENAME: R:\24-28\RO3-24-25 - Mt Morgan Cemetery Design\Design\DWG\RO32425-MSHEET15.dwg
PLOT DATE: 30/01/2026 8:10:55 AM



CONTROL LINE MC01 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233721.992	7381338.683			
END	31.615	233753.577	7381340.053	STRAIGHT	31.615m	87°30'55"
TP	31.615	233753.577	7381340.053	30.00m	22.258m	87°30'55"
TP	53.873	233773.488	7381348.810			45°00'20"
START	53.873	233773.488	7381348.810			
END	108.516	233812.130	7381387.445	STRAIGHT	54.643m	45°00'20"

CONTROL LINE MC02 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233802.726	7381396.850			
END	82.774	233861.251	7381338.314	STRAIGHT	82.774m	135°00'20"

CONTROL LINE MC03 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233850.482	7381349.085			
END	16.000	233861.797	7381360.398	STRAIGHT	16.000m	45°00'20"

CONTROL LINE DL01 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233775.429	7381431.740			
END	4.536	233779.647	7381430.069	STRAIGHT	4.536m	111°36'10"
TP	4.536	233779.647	7381430.069	15.00m	6.127m	111°36'10"
TP	10.663	233784.732	7381426.729			135°00'20"
START	10.663	233784.732	7381426.729			
END	126.682	233866.762	7381344.683	STRAIGHT	116.019m	135°00'20"
TP	126.682	233866.762	7381344.683	10.00m	8.465m	135°00'20"
TP	135.147	233874.443	7381341.772			86°30'20"
START	135.147	233874.443	7381341.772			
END	147.147	233886.421	7381342.503	STRAIGHT	12.000m	86°30'20"

CONTROL LINE KL01 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
TP	4.170	233762.163	7381343.295			
TP	16.455	233772.427	7381349.871	28.50m	12.284m	69°42'06"
TP	16.455	233772.427	7381349.871			45°00'20"
START	16.455	233772.427	7381349.871			
END	61.098	233803.998	7381381.435	STRAIGHT	44.643m	45°00'20"
TP	61.098	233803.998	7381381.435	8.50m	13.352m	45°00'20"
TP	74.450	233803.999	7381393.456			315°00'20"
START	74.450	233803.999	7381393.456			
END	77.750	233801.666	7381395.790	STRAIGHT	3.300m	315°00'20"

CONTROL LINE KL02 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
TP	3.601	233760.036	7381339.496			
TP	20.094	233774.261	7381347.465	31.50m	16.493m	75°44'21"
TP	20.094	233774.261	7381347.465			45°44'26"
TP	20.094	233774.261	7381347.465	1.00m	0.773m	45°44'26"
TP	20.866	233774.959	7381347.749			90°00'20"
START	20.866	233774.959	7381347.749			
END	23.577	233777.670	7381347.749	STRAIGHT	2.711m	90°00'20"
TP	23.577	233777.670	7381347.749			
TP	24.363	233778.377	7381348.042	1.00m	0.785m	90°00'20"
TP	24.363	233778.377	7381348.042			45°00'20"
START	24.363	233778.377	7381348.042			
END	61.981	233804.980	7381374.639	STRAIGHT	37.619m	45°00'20"
TP	61.981	233804.980	7381374.639	1.00m	0.785m	45°00'20"
TP	62.767	233805.273	7381375.347			0°00'20"
START	62.767	233805.273	7381375.347			
END	65.458	233805.273	7381375.347	STRAIGHT	2.692m	0°00'20"
TP	67.041	233806.119	7381379.314	8.50m	13.352m	45°00'20"
TP	80.393	233818.140	7381379.312			135°00'20"
START	80.393	233818.140	7381379.312			
END	130.393	233853.492	7381343.954	STRAIGHT	50.000m	135°00'20"

CONTROL LINE KL03 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233805.025	7381399.148			
END	25.468	233823.032	7381381.137	STRAIGHT	25.468m	135°00'20"
TP	25.468	233823.032	7381381.137	6.00m	1.060m	135°00'20"
TP	26.529	233823.712	7381380.325			145°07'49"
START	26.529	233823.712	7381380.325			
END	35.421	233828.795	7381373.030	STRAIGHT	8.892m	145°07'49"
TP	35.421	233828.795	7381373.030	6.00m	1.060m	145°07'49"
TP	36.481	233829.475	7381372.218			135°00'20"
START	36.481	233829.475	7381372.218			
END	63.693	233848.715	7381352.974	STRAIGHT	27.212m	135°00'20"

CONTROL LINE KL04 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233801.453	7381395.578			
END	5.350	233805.237	7381399.360	STRAIGHT	5.350m	45°00'20"

CONTROL LINE KL05 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
TP	0.000	233854.371	7381350.145			
TP	3.141	233854.371	7381347.317	2.00m	3.141m	224°58'59"
TP	3.141	233854.371	7381347.317			135°00'20"
START	3.141	233854.371	7381347.317			
END	4.897	233855.613	7381346.075	STRAIGHT	1.756m	135°00'20"

CONTROL LINE DL01 SETOUT TABLE						
	CHAIN.	EAST.	NORTH.	RADIUS	LENGTH	BEARING
START	0.000	233775.429	7381431.740			
END	4.536	233779.647	7381430.069	STRAIGHT	4.536m	111°36'10"
TP	4.536	233779.647	7381430.069	15.00m	6.127m	111°36'10"
TP	10.663	233784.732	7381426.729			135°00'20"
START	10.663	233784.732	7381426.729			
END	126.682	233866.762	7381344.683	STRAIGHT	116.019m	135°00'20"
TP	126.682	233866.762	7381344.683	10.00m	8.465m	135°00'20"
TP	135.147	233874.443	7381341.772			86°30'20"
START	135.147	233874.443	7381341.772			
END	147.147	233886.421	7381342.503	STRAIGHT	12.000m	86°30'20"

PROJECT STAMP **DRAWING SCALE**

FOR CONSTRUCTION

SCALE 1:250 @ A1 1:500 @ A3

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ISSUE/REVISION				
ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION

MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCMCE
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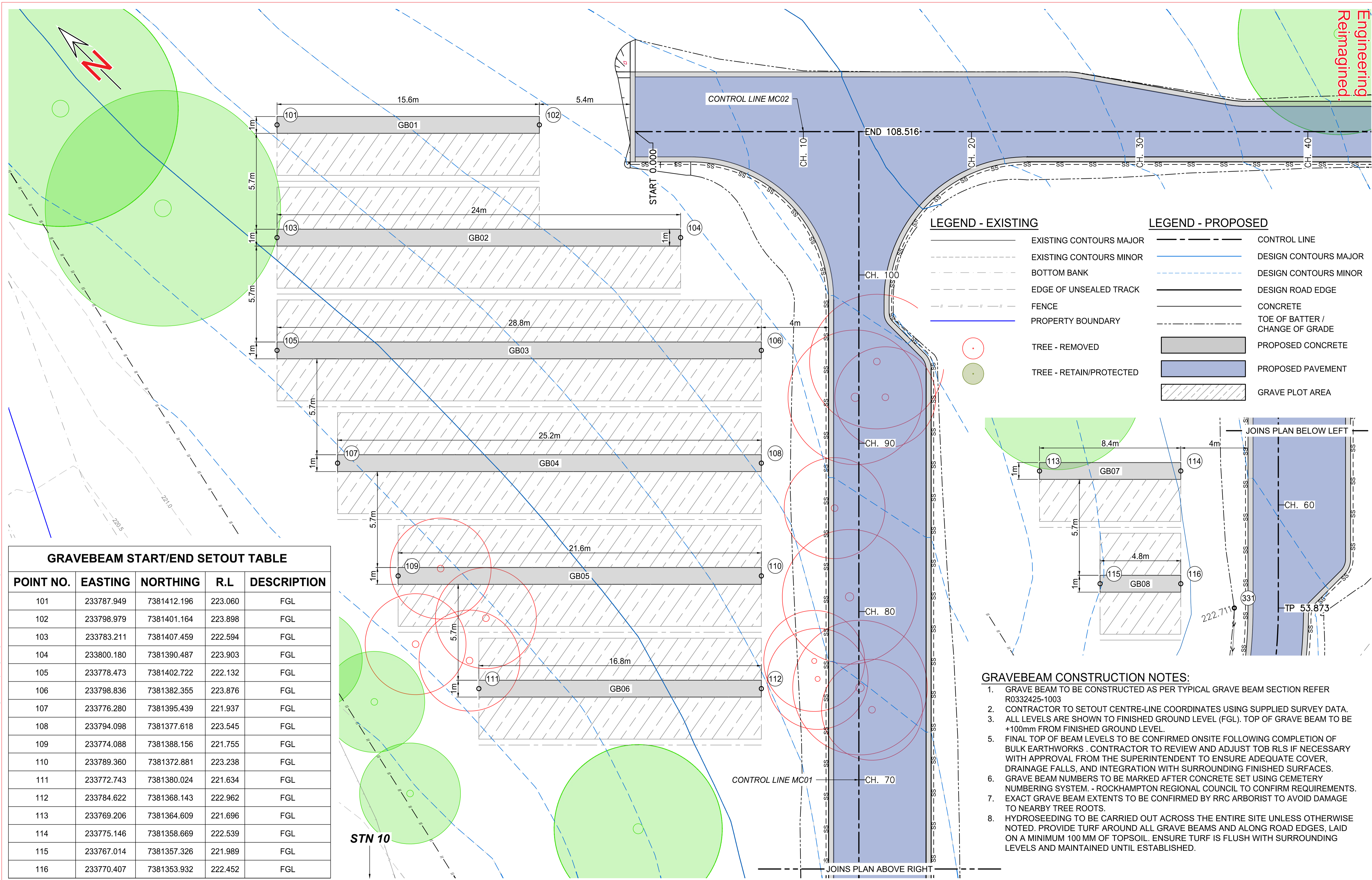
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PROJECT IDENTIFIER

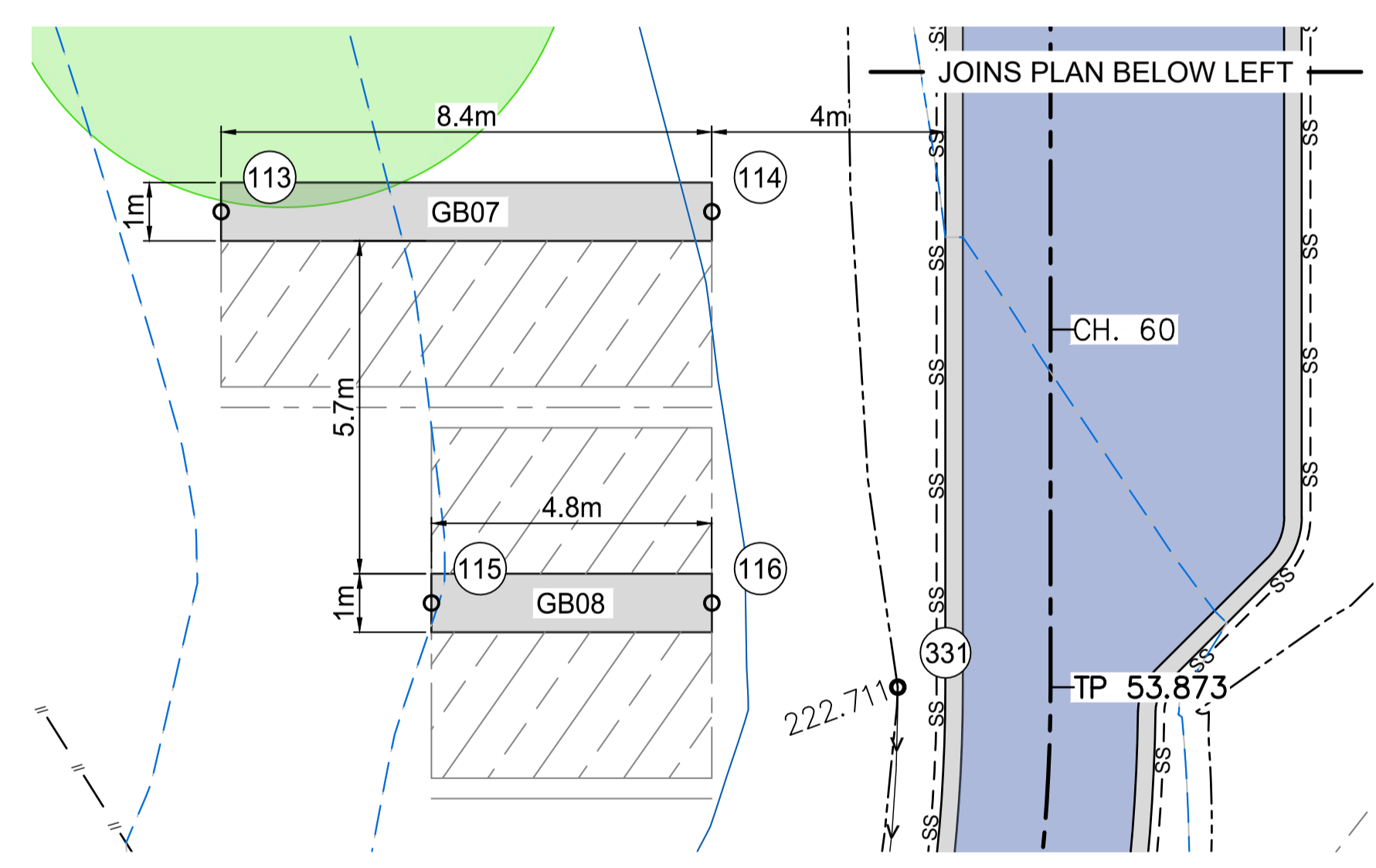
CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE CONTROL LINE SETOUT PLAN

DRAWING NUMBER R0332425-2001 REVISION B

ISO A1 594mm x 841mm
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 PLOT DATE: 30/01/2026 8:08:32 AM



LEGEND - EXISTING		LEGEND - PROPOSED	
	EXISTING CONTOURS MAJOR		CONTROL LINE
	EXISTING CONTOURS MINOR		DESIGN CONTOURS MAJOR
	BOTTOM BANK		DESIGN CONTOURS MINOR
	EDGE OF UNSEALED TRACK		DESIGN ROAD EDGE
	FENCE		CONCRETE
	PROPERTY BOUNDARY		TOE OF BATTER / CHANGE OF GRADE
	TREE - REMOVED		PROPOSED CONCRETE
	TREE - RETAIN/PROTECTED		PROPOSED PAVEMENT
			GRAVE PLOT AREA



GRAVEBEAM START/END SETOUT TABLE				
POINT NO.	EASTING	NORTHING	R.L	DESCRIPTION
101	233787.949	7381412.196	223.060	FGL
102	233798.979	7381401.164	223.898	FGL
103	233783.211	7381407.459	222.594	FGL
104	233800.180	7381390.487	223.903	FGL
105	233778.473	7381402.722	222.132	FGL
106	233798.836	7381382.355	223.876	FGL
107	233776.280	7381395.439	221.937	FGL
108	233794.098	7381377.618	223.545	FGL
109	233774.088	7381388.156	221.755	FGL
110	233789.360	7381372.881	223.238	FGL
111	233772.743	7381380.024	221.634	FGL
112	233784.622	7381368.143	222.962	FGL
113	233769.206	7381364.609	221.696	FGL
114	233775.146	7381358.669	222.539	FGL
115	233767.014	7381357.326	221.989	FGL
116	233770.407	7381353.932	222.452	FGL

- GRAVEBEAM CONSTRUCTION NOTES:**
- GRAVE BEAM TO BE CONSTRUCTED AS PER TYPICAL GRAVE BEAM SECTION REFER R0332425-1003
 - CONTRACTOR TO SETOUT CENTRE-LINE COORDINATES USING SUPPLIED SURVEY DATA.
 - ALL LEVELS ARE SHOWN TO FINISHED GROUND LEVEL (FGL). TOP OF GRAVE BEAM TO BE +100mm FROM FINISHED GROUND LEVEL.
 - FINAL TOP OF BEAM LEVELS TO BE CONFIRMED ONSITE FOLLOWING COMPLETION OF BULK EARTHWORKS. CONTRACTOR TO REVIEW AND ADJUST TOB RLS IF NECESSARY WITH APPROVAL FROM THE SUPERINTENDENT TO ENSURE ADEQUATE COVER, DRAINAGE FALLS, AND INTEGRATION WITH SURROUNDING FINISHED SURFACES.
 - GRAVE BEAM NUMBERS TO BE MARKED AFTER CONCRETE SET USING CEMETERY NUMBERING SYSTEM. - ROCKHAMPTON REGIONAL COUNCIL TO CONFIRM REQUIREMENTS.
 - EXACT GRAVE BEAM EXTENTS TO BE CONFIRMED BY RRC ARBORIST TO AVOID DAMAGE TO NEARBY TREE ROOTS.
 - HYDROSEEDING TO BE CARRIED OUT ACROSS THE ENTIRE SITE UNLESS OTHERWISE NOTED. PROVIDE TURF AROUND ALL GRAVE BEAMS AND ALONG ROAD EDGES, LAID ON A MINIMUM 100 MM OF TOPSOIL. ENSURE TURF IS FLUSH WITH SURROUNDING LEVELS AND MAINTAINED UNTIL ESTABLISHED.

PROJECT STAMP **DRAWING SCALE**

FOR CONSTRUCTION

SCALE 1:100 @ A1 1:200 @ A3

ISSUE/REVISION				
ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT			
RPEQ CERTIFICATION		23569	
MH	RB	RB	
DESIGNER	CHECKED	APPROVED	
INTERNAL PROJECT NO.	R0332425		
DATUM	AHD	SURVEY	GDA '20

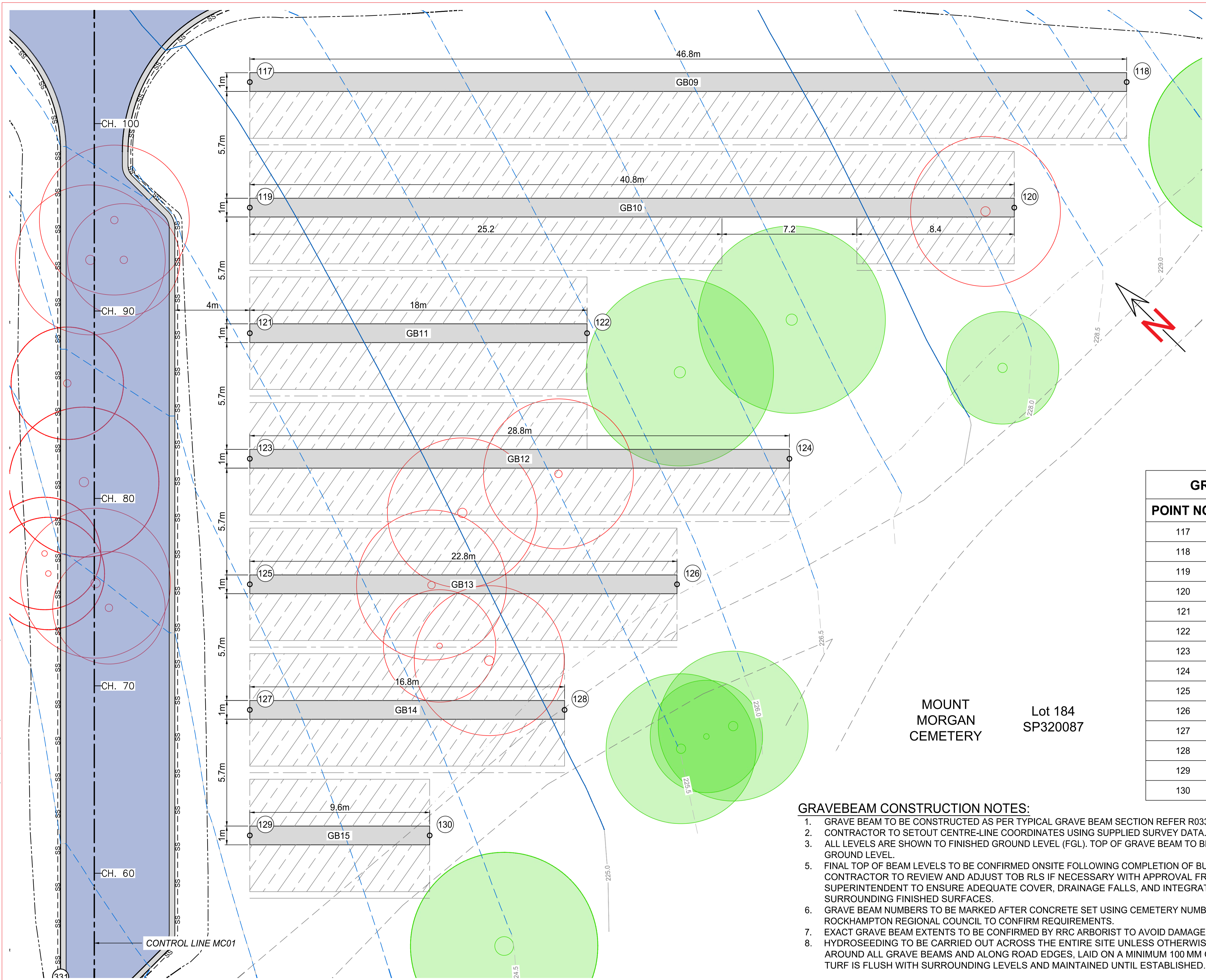
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PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE GRAVEBEAM LAYOUT & SETOUT PLAN
 SHEET 1

DRAWING NUMBER R0332425-2002 REVISION B

ISO A1 594mm x 841mm
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LEGEND - EXISTING

- EXISTING CONTOURS MAJOR
- EXISTING CONTOURS MINOR
- BOTTOM BANK
- EDGE OF UNSEALED TRACK
- FENCE
- PROPERTY BOUNDARY
- TREE - REMOVED
- TREE - RETAIN/PROTECTED

LEGEND - PROPOSED

- CONTROL LINE
- DESIGN CONTOURS MAJOR
- DESIGN CONTOURS MINOR
- DESIGN ROAD EDGE
- CONCRETE
- TOE OF BATTER / CHANGE OF GRADE
- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- GRAVE PLOT AREA

GRAVEBEAM START/END SETOUT TABLE

POINT NO.	EASTING	NORTHING	R.L	DESCRIPTION
117	233813.543	7381377.121	225.140	FGL
118	233846.633	7381344.025	229.231	FGL
119	233808.805	7381372.384	224.839	FGL
120	233837.652	7381343.531	228.223	FGL
121	233804.067	7381367.647	224.557	FGL
122	233816.794	7381354.917	225.963	FGL
123	233799.329	7381362.909	224.285	FGL
124	233819.692	7381342.543	226.602	FGL
125	233794.591	7381358.172	224.034	FGL
126	233810.711	7381342.049	225.837	FGL
127	233789.853	7381353.435	223.807	FGL
128	233801.731	7381341.555	225.073	FGL
129	233785.115	7381348.698	223.634	FGL
130	233791.902	7381341.909	224.328	FGL

- GRAVEBEAM CONSTRUCTION NOTES:**
- GRAVE BEAM TO BE CONSTRUCTED AS PER TYPICAL GRAVE BEAM SECTION REFER R0332425-1003
 - CONTRACTOR TO SETOUT CENTRE-LINE COORDINATES USING SUPPLIED SURVEY DATA.
 - ALL LEVELS ARE SHOWN TO FINISHED GROUND LEVEL (FGL). TOP OF GRAVE BEAM TO BE +100mm FROM FINISHED GROUND LEVEL.
 - FINAL TOP OF BEAM LEVELS TO BE CONFIRMED ONSITE FOLLOWING COMPLETION OF BULK EARTHWORKS. CONTRACTOR TO REVIEW AND ADJUST TOB RLS IF NECESSARY WITH APPROVAL FROM THE SUPERINTENDENT TO ENSURE ADEQUATE COVER, DRAINAGE FALLS, AND INTEGRATION WITH SURROUNDING FINISHED SURFACES.
 - GRAVE BEAM NUMBERS TO BE MARKED AFTER CONCRETE SET USING CEMETERY NUMBERING SYSTEM. - ROCKHAMPTON REGIONAL COUNCIL TO CONFIRM REQUIREMENTS.
 - EXACT GRAVE BEAM EXTENTS TO BE CONFIRMED BY RRC ARBORIST TO AVOID DAMAGE TO NEARBY TREE ROOTS.
 - HYDROSEEDING TO BE CARRIED OUT ACROSS THE ENTIRE SITE UNLESS OTHERWISE NOTED. PROVIDE TURF AROUND ALL GRAVE BEAMS AND ALONG ROAD EDGES, LAID ON A MINIMUM 100 MM OF TOPSOIL. ENSURE TURF IS FLUSH WITH SURROUNDING LEVELS AND MAINTAINED UNTIL ESTABLISHED.

PROJECT STAMP

DRAWING SCALE

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

NSG 23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

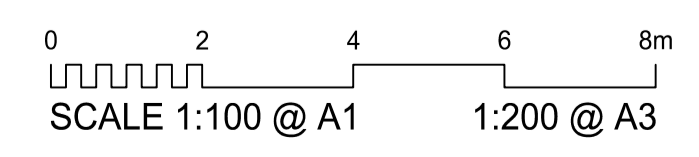


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PROJECT IDENTIFIER

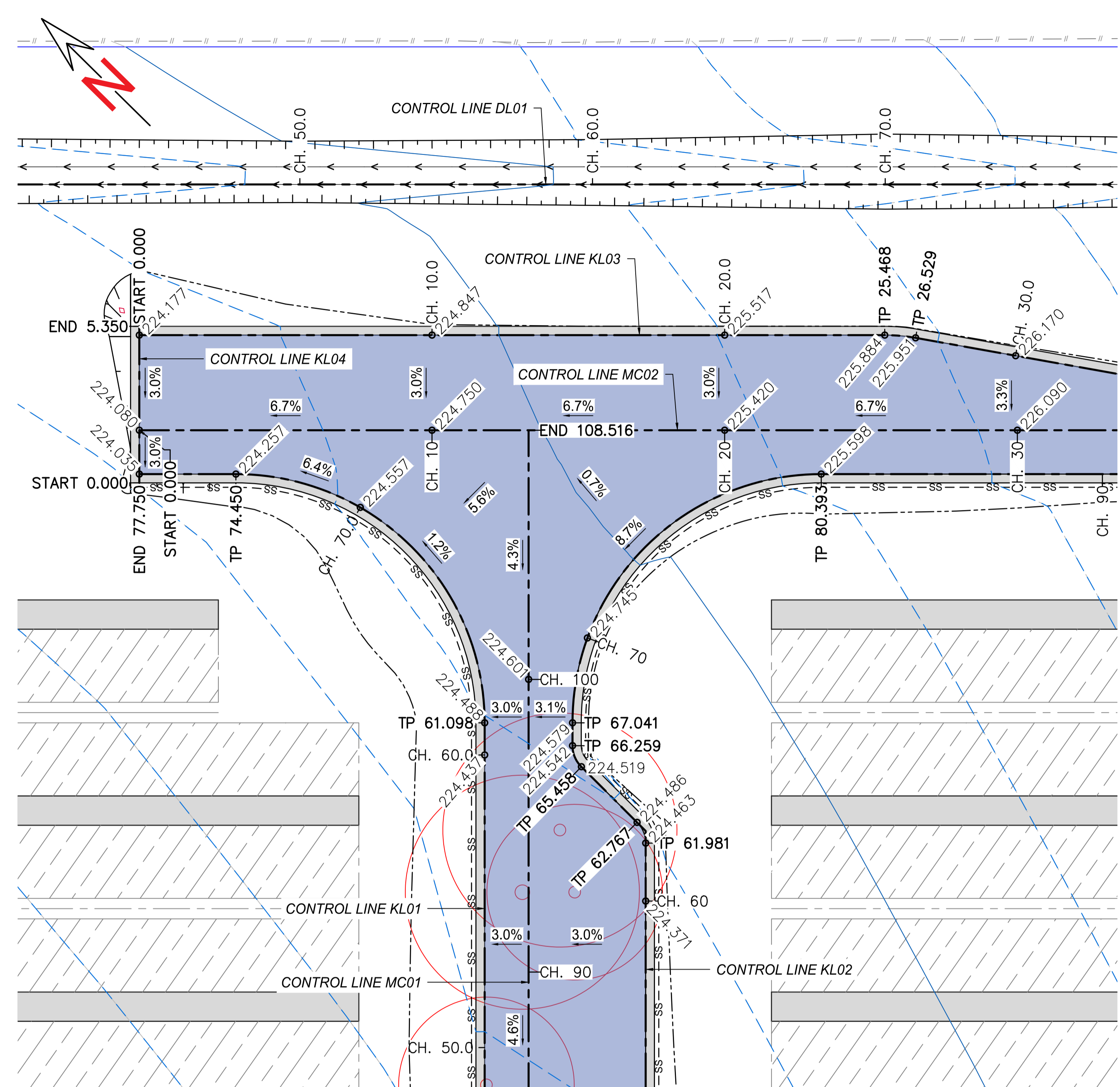
CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE GRAVEBEAM LAYOUT & SETOUT PLAN
SHEET 2
DRAWING NUMBER R0332425-2003
REVISION B

FOR CONSTRUCTION



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POINTS SETOUT TABLE				
POINT NO.	EASTING	NORTHING	R.L	DESCRIPTION
201	233855.613	7381346.075	230.377	EDGE ASPHALT
202	233856.986	7381344.716	230.579	EDGE ASPHALT
203	233861.261	7381341.560	231.175	EDGE ASPHALT
204	233866.010	7381339.177	231.986	EDGE ASPHALT
205	233853.492	7381343.968	230.286	EDGE ASPHALT
206	233854.696	7381340.375	230.595	EDGE ASPHALT
207	233852.382	7381337.375	230.386	EDGE ASPHALT
208	233850.257	7381336.377	230.199	EDGE ASPHALT
209	233865.404	7381366.832	230.324	EDGE ASPHALT
210	233866.818	7381365.418	230.483	EDGE ASPHALT



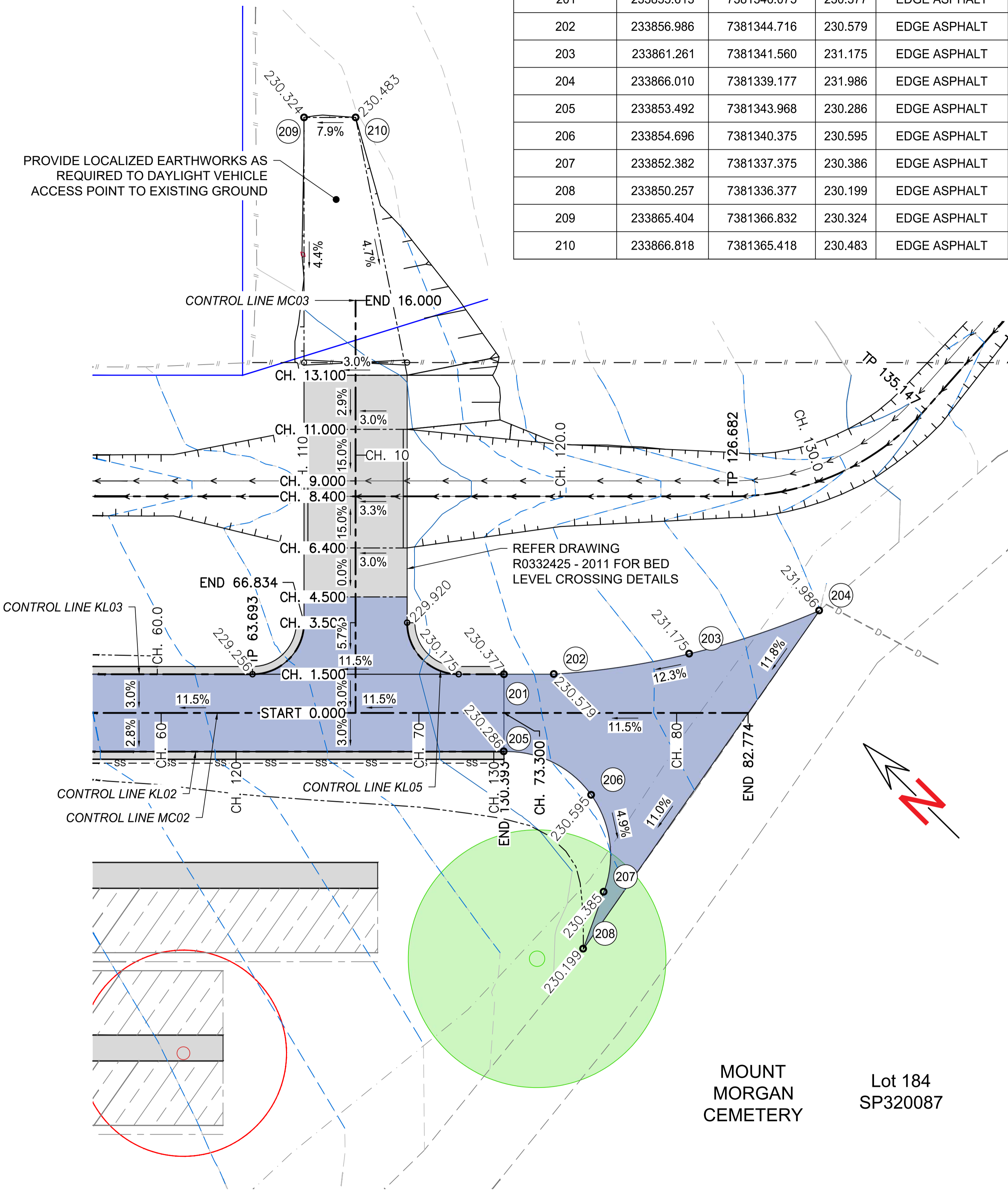
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SCALE 1:100(A1) 1:200(A3)

LEGEND - PROPOSED

- CONTROL LINE
- DESIGN CONTOURS MAJOR
- DESIGN CONTOURS MINOR
- DESIGN ROAD EDGE
- CONCRETE
- TOE OF BATTER / CHANGE OF GRADE
- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- GRAVE PLOT AREA

LEGEND - EXISTING

- EXISTING CONTOURS MAJOR
- EXISTING CONTOURS MINOR
- BOTTOM BANK
- EDGE OF UNSEALED TRACK
- FENCE
- PROPERTY BOUNDARY
- TREE - REMOVED
- TREE - RETAIN/PROTECTED



INTERSECTION DETAIL - MCO2 + MCO3
SCALE 1:100(A1) 1:200(A3)

ISO A1 594mm x 841mm
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PLOT DATE: 30/01/2026 8:09:17 AM

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

SCALE 1:100 @ A1 1:200 @ A3

ISSUE/REVISION				
ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT			
		23569	
RPEQ CERTIFICATION			
MH	RB	RB	RB
DESIGNER	CHECKED	APPROVED	
INTERNAL PROJECT NO. R0332425			
DATUM	AHD	SURVEY	GDA '20

MCMCE
McMurtrie Consulting Engineers

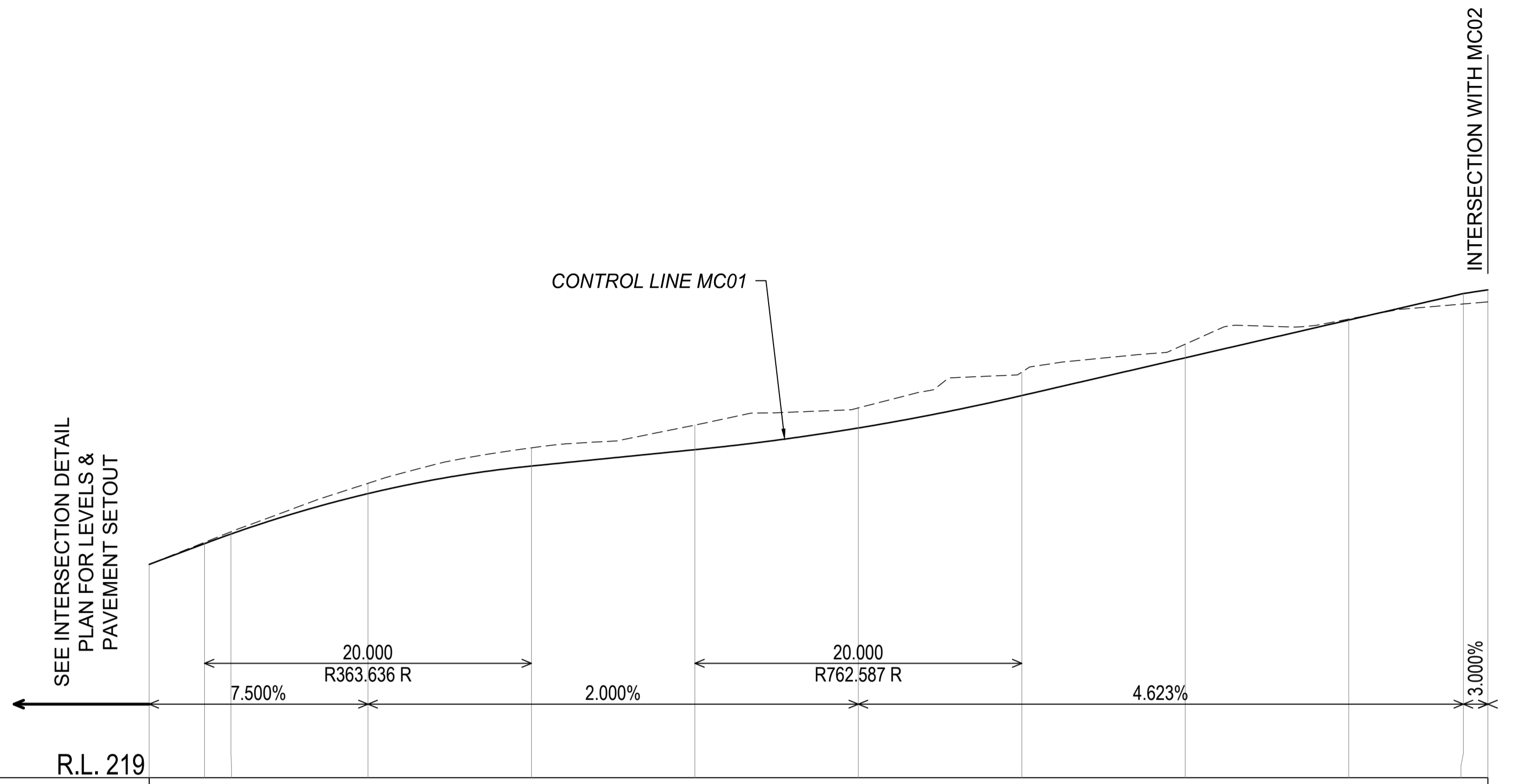
ROCKHAMPTON | BUNDABERG
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PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE INTERSECTION DETAIL PLAN
SHEET 2

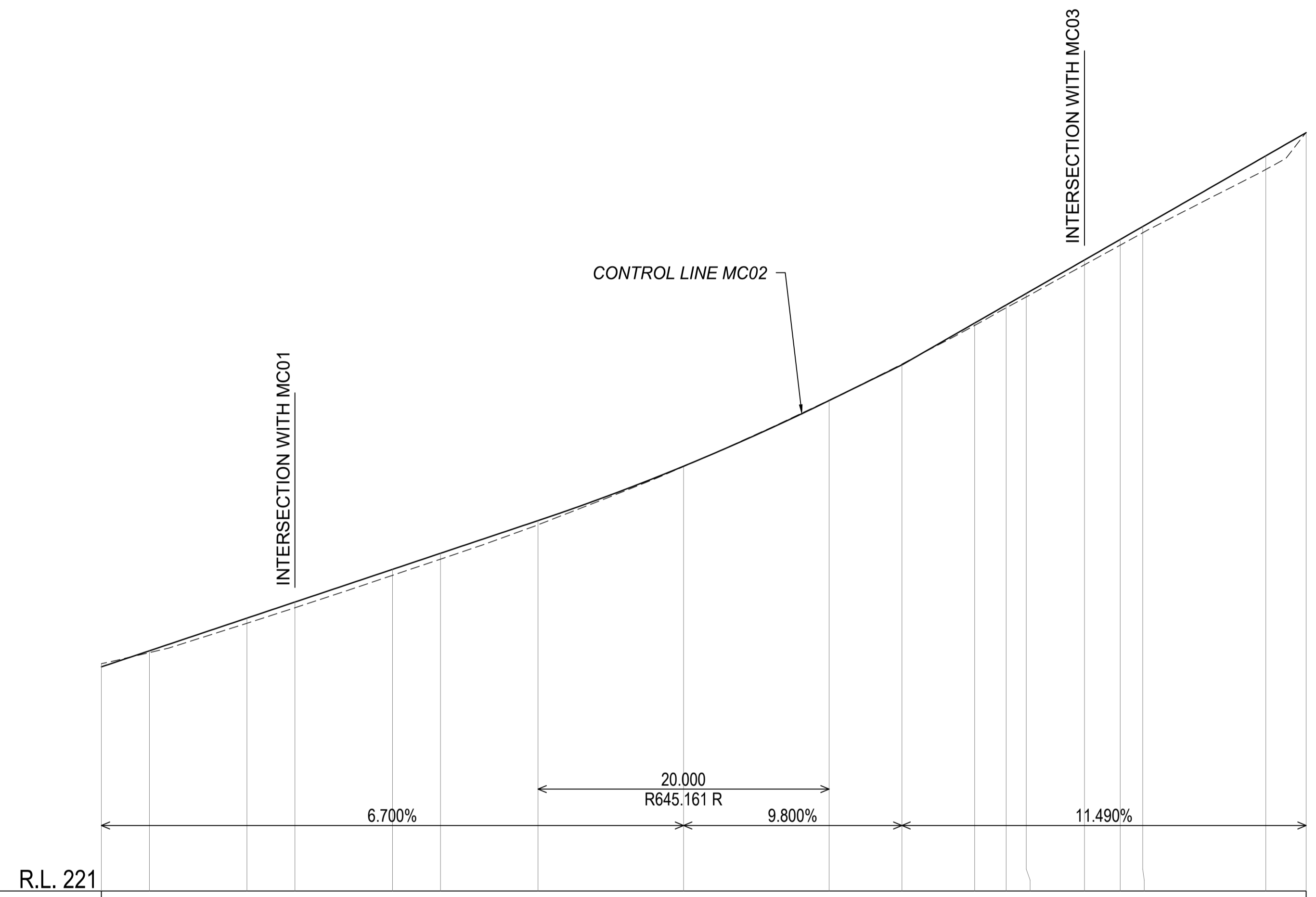
DRAWING NUMBER R0332425-2005

REVISION **B**



HORIZONTAL GEOMETRY		L=31.615		L=22.258 R=30.000		L=54.643 B=45°00'20"	
DESIGN SURFACE	221.611	221.881	221.982	222.477	222.815	223.015	223.280
EXISTING SURFACE	221.611	221.881	222.009	222.603	223.037	223.316	223.526
DEPTH TO EXISTING SURFACE	+0.000	-0.016	-0.027	-0.126	-0.222	-0.301	-0.246
CHAINAGE	26.615	30.000	31.615	40.000	50.000	60.000	70.000
SUPER ELEVATION	R3.0%		L-3.0%		R3.2%		R6.7%

MC01 LONGITUDINAL SECTION
SCALE 1:250(A1) 1:500(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT



HORIZONTAL GEOMETRY		L=82.774 B=135°00'20"	
DESIGN SURFACE	224.080	224.124	224.301
EXISTING SURFACE	224.124	224.276	224.301
DEPTH TO EXISTING SURFACE	-0.044	+0.025	+0.079
CHAINAGE	0.000	3.300	10.000
SUPER ELEVATION	L3.0%	R-3.0%	

MC02 LONGITUDINAL SECTION
SCALE 1:250(A1) 1:500(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT

ISO A1 594mm x 841mm
FILENAME: R:\24-28\03-24-25 - Mt Morgan Cemetery Design\DWG\R0332425-XSHEET1.S.dwg
PLOT DATE: 30/01/2026 8:10:01 AM

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

0 1 2 3 4m
SCALE 1:50 @ A1 1:100 @ A3

0 5 10 15 20m
SCALE 1:250 @ A1 1:500 @ A3

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION

MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY
		GDA '20



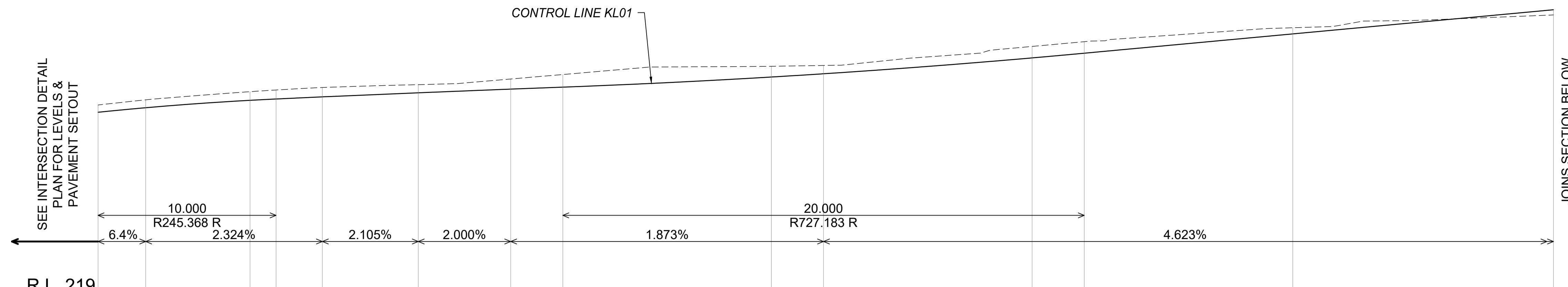
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PH (07) 4921 1780 | mail@mcmengineers.com | MCMENGINEERS.COM

PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE LONGITUDINAL SECTION CONTROL LINE MC01 & MC02

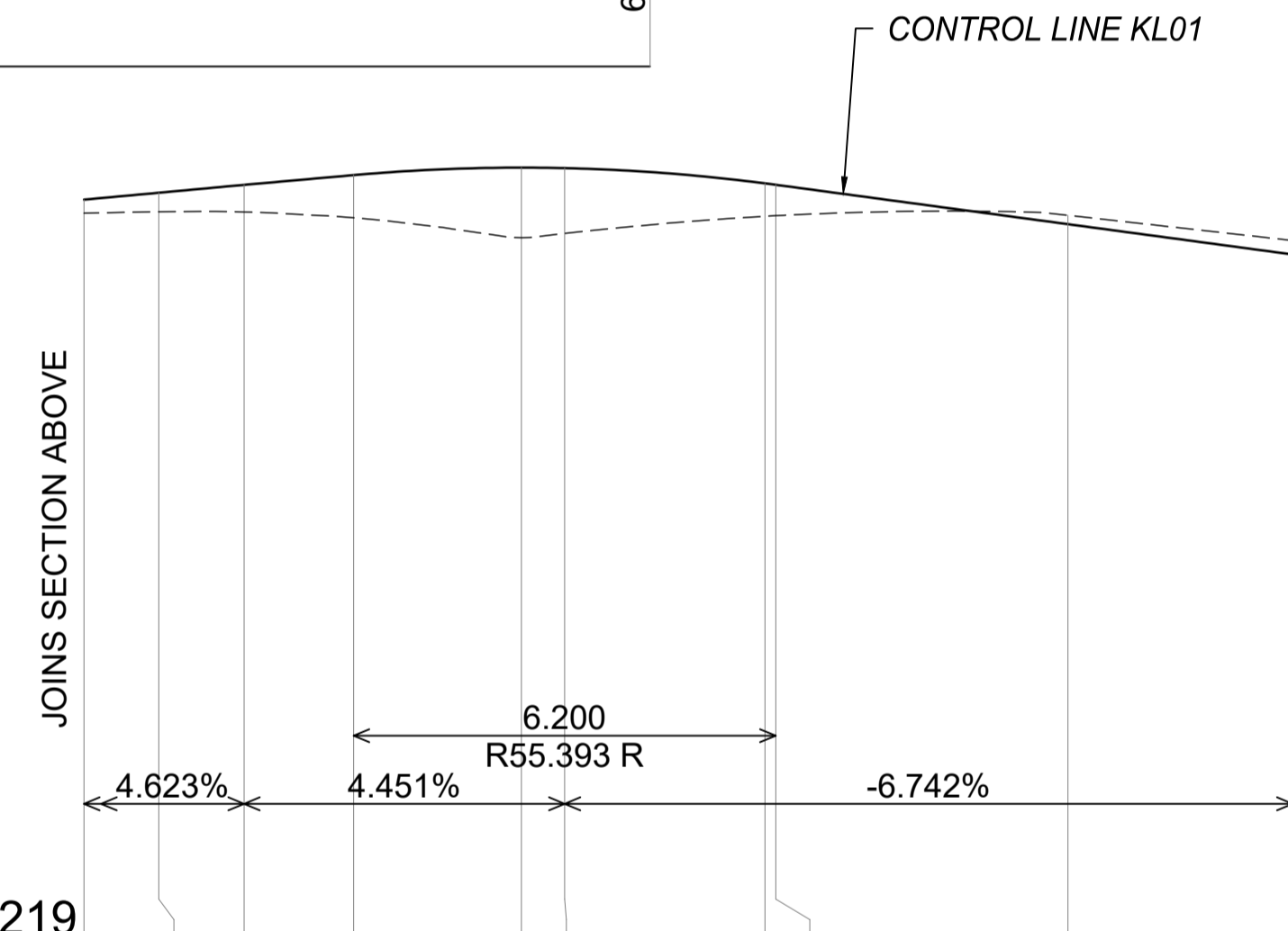
DRAWING NUMBER R0332425-2006

REVISION B



HORIZONTAL GEOMETRY	L=12.284 R=28.500										L=44.643																	
	DESIGN SURFACE	222.475	222.561	222.703	222.728	222.770	222.847	222.918	222.955	223.149	223.211	223.515	223.605	223.975	224.437	222.614	222.713	222.869	222.901	222.948	223.003	223.111	223.197	223.354	223.371	223.735	223.826	224.093
EXISTING SURFACE	222.614	222.713	222.869	222.901	222.948	223.003	223.111	223.197	223.354	223.371	223.735	223.826	224.093	224.338	222.614	222.713	222.869	222.901	222.948	223.003	223.111	223.197	223.354	223.371	223.735	223.826	224.093	224.338
DEPTH TO EXISTING SURFACE	-0.139	-0.152	-0.166	-0.173	-0.178	-0.156	-0.193	-0.242	-0.205	-0.160	-0.220	-0.221	-0.118	+0.099	-0.139	-0.152	-0.166	-0.173	-0.178	-0.156	-0.193	-0.242	-0.205	-0.160	-0.220	-0.221	-0.118	+0.099
CHAINAGE	4.170	6.000	10.000	11.000	12.775	16.455	20.000	22.000	30.000	32.000	40.000	42.000	50.000	60.000	4.170	6.000	10.000	11.000	12.775	16.455	20.000	22.000	30.000	32.000	40.000	42.000	50.000	60.000

KL01 LONGITUDINAL SECTION
SCALE 1:100(A1) 1:200(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT



HORIZONTAL GEOMETRY	L=44.643										L=13.352 R=8.500					L=3.300						
	DESIGN SURFACE	224.437	224.488	224.546	224.617	224.672	224.669	224.557	224.546	224.257	224.035	224.338	224.349	224.347	224.304	224.158	224.189	224.315	224.319	224.546	224.257	224.035
EXISTING SURFACE	224.338	224.349	224.347	224.304	224.158	224.189	224.315	224.319	224.546	224.257	224.338	224.349	224.347	224.304	224.158	224.189	224.315	224.319	224.546	224.257	224.035	
DEPTH TO EXISTING SURFACE	+0.099	+0.139	+0.199	+0.313	+0.514	+0.480	+0.242	+0.227	-0.065	-0.102	+0.099	+0.139	+0.199	+0.313	+0.514	+0.480	+0.242	+0.227	-0.065	-0.102	-0.102	-0.102
CHAINAGE	60.000	61.098	62.350	63.959	66.424	67.059	70.000	70.159	74.450	77.750	60.000	61.098	62.350	63.959	66.424	67.059	70.000	70.159	74.450	77.750	77.750	

KL01 LONGITUDINAL SECTION
SCALE 1:100(A1) 1:200(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT

ISO A1 594mm x 841mm
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PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION

MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20



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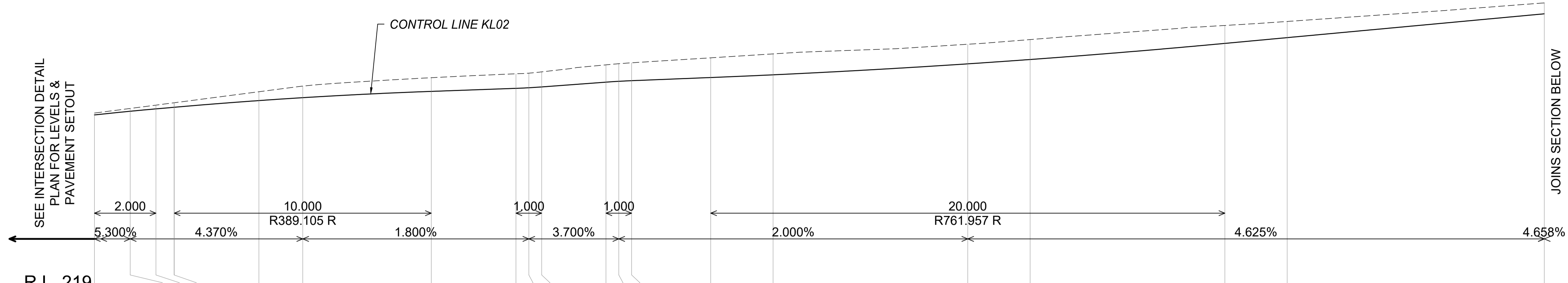
PROJECT IDENTIFIER

CLIENT: ROCKHAMPTON REGIONAL COUNCIL
PROJECT: MOUNT MORGAN CEMETERY EXPANSION
TITLE: LONGITUDINAL SECTION CONTROL LINE KL01
DRAWING NUMBER: R0332425-2007

REVISION: B

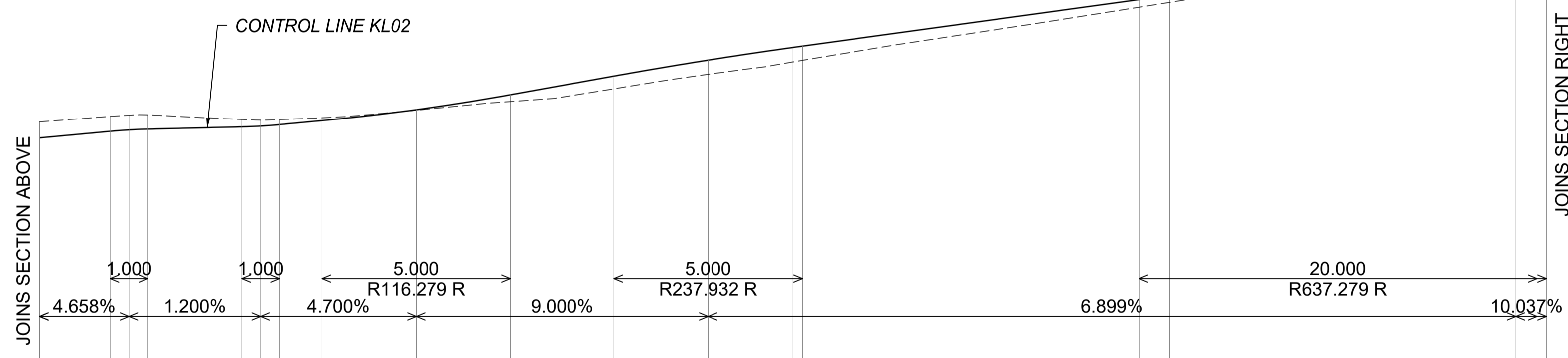
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ISO A1 594mm x 841mm
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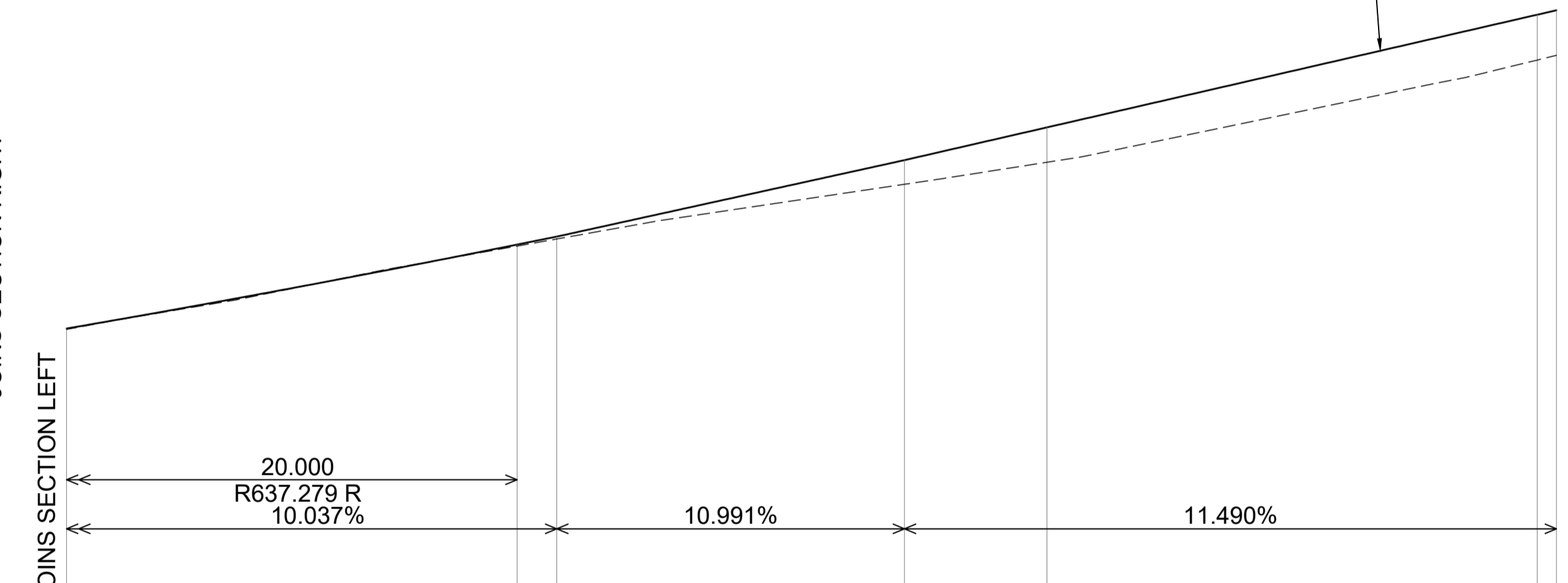
HORIZONTAL GEOMETRY		L=16.493 R=31.500		L=0.773 R=1.000 = 2.711		L=0.785 R=1.000		L=37.619												
DESIGN SURFACE	222.408	222.479	222.525	222.556	222.686	222.743	222.865	222.924	222.935	222.952	223.044	223.060	223.073	223.134	223.186	223.400	223.484	223.797	223.909	224.371
EXISTING SURFACE	222.521	222.533	222.598	222.644	222.858	222.968	223.131	223.207	223.219	223.244	223.380	223.403	223.420	223.517	223.593	223.780	223.871	224.145	224.223	224.584
DEPTH TO EXISTING SURFACE	-0.113	-0.054	-0.073	-0.088	-0.172	-0.225	-0.266	-0.283	-0.284	-0.292	-0.336	-0.343	-0.347	-0.383	-0.407	-0.380	-0.387	-0.348	-0.314	-0.213
CHAINAGE	3.601	4.995	5.995	6.705	10.000	11.705	16.705	20.000	20.500	21.000	23.500	24.000	24.500	27.575	30.000	37.575	40.000	47.575	50.000	60.000

KL02 LONGITUDINAL SECTION
SCALE 1:100(A1) 1:200(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT



HORIZONTAL GEOMETRY		L=37.619 R=1.000		L=0.785 R=1.000		L=2.692 R=1.000		L=0.782 R=1.000		L=13.352 R=8.500		L=50.000						
DESIGN SURFACE	224.371	224.459	224.477	224.488	224.518	224.528	224.547	224.600	224.745	224.943	225.190	225.402	226.205	226.973	227.042			
EXISTING SURFACE	224.584	224.655	224.671	224.676	224.615	224.607	224.613	224.637	224.738	224.853	225.022	225.214	225.379	225.400	225.588			
DEPTH TO EXISTING SURFACE	-0.213	-0.196	-0.194	-0.188	-0.097	-0.079	-0.066	-0.037	+0.007	+0.090	+0.168	+0.188	+0.102	+0.016	+0.009			
CHAINAGE	60.000	61.874	62.374	62.874	65.366	65.866	66.366	67.500	70.000	72.500	75.250	77.750	80.000	80.250	88.191	90.000	99.191	100.000

KL02 LONGITUDINAL SECTION
SCALE 1:100(A1) 1:200(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT



HORIZONTAL GEOMETRY		L=50.000	
DESIGN SURFACE	227.042	227.898	227.980
EXISTING SURFACE	227.033	227.883	227.955
DEPTH TO EXISTING SURFACE	+0.009	+0.015	+0.025
CHAINAGE	100.000	109.191	110.000

KL02 LONGITUDINAL SECTION
SCALE 1:100(A1) 1:200(A3) HORZ
SCALE 1:50(A1) 1:100(A3) VERT

PROJECT STAMP

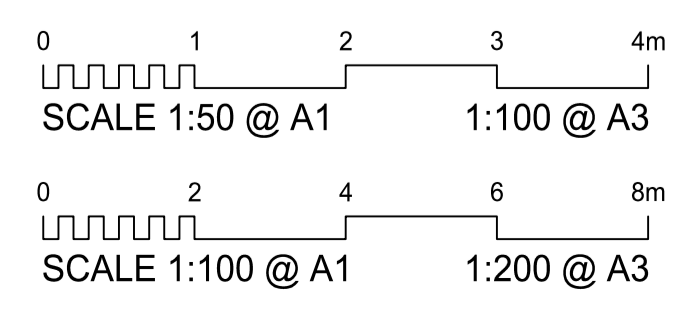
DRAWING SCALE

ISSUE/REVISION

PROJECT MANAGEMENT

PROJECT IDENTIFIER

FOR CONSTRUCTION



ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

RPEQ CERTIFICATION		23569
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY
		GDA '20



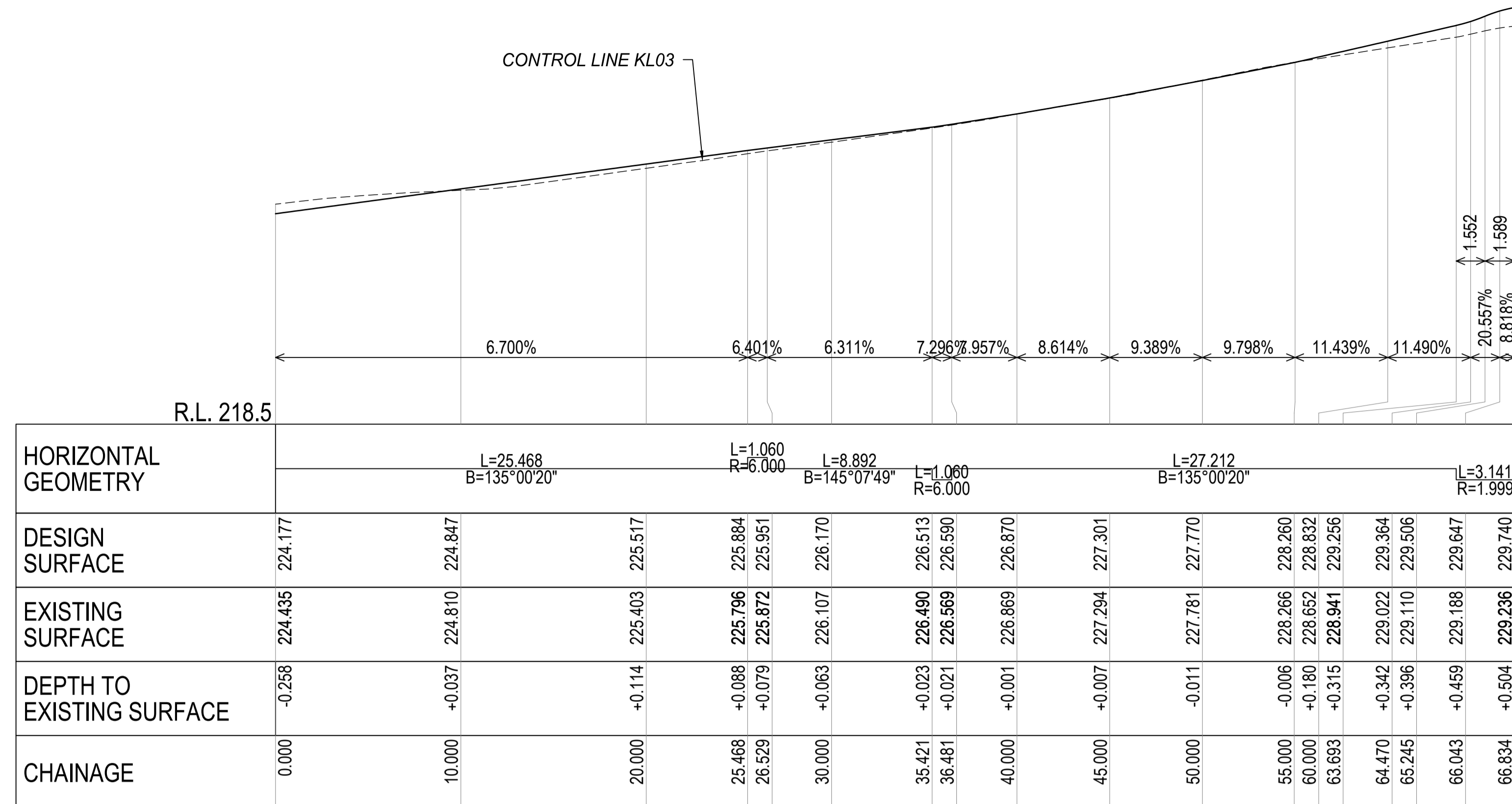
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PH (07) 4921 1780 | mail@mcmengineers.com | MCMENGINEERS.COM

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE LONGITUDINAL SECTION
CONTROL LINE KL02

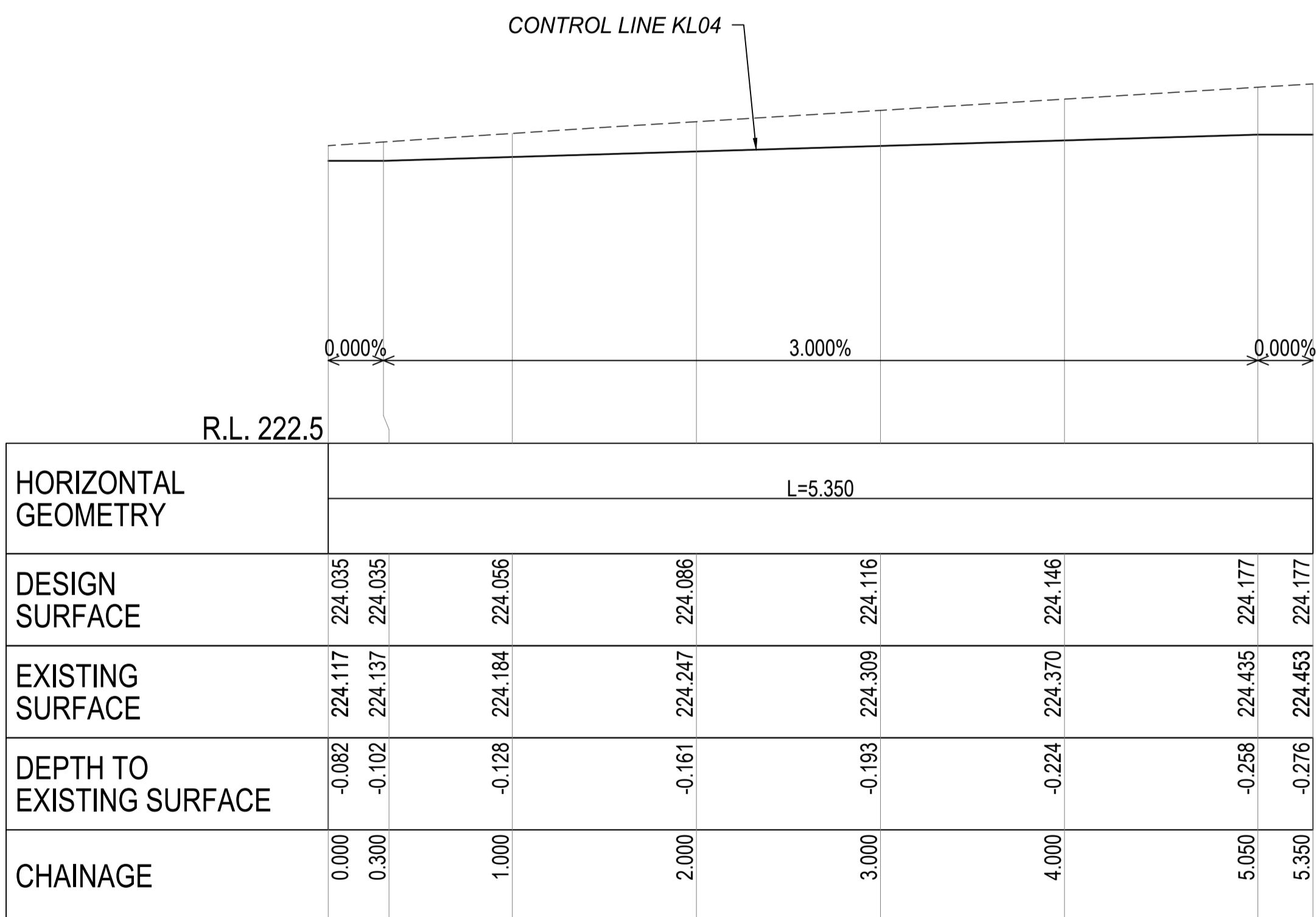
DRAWING NUMBER R0332425-2008

REVISION B

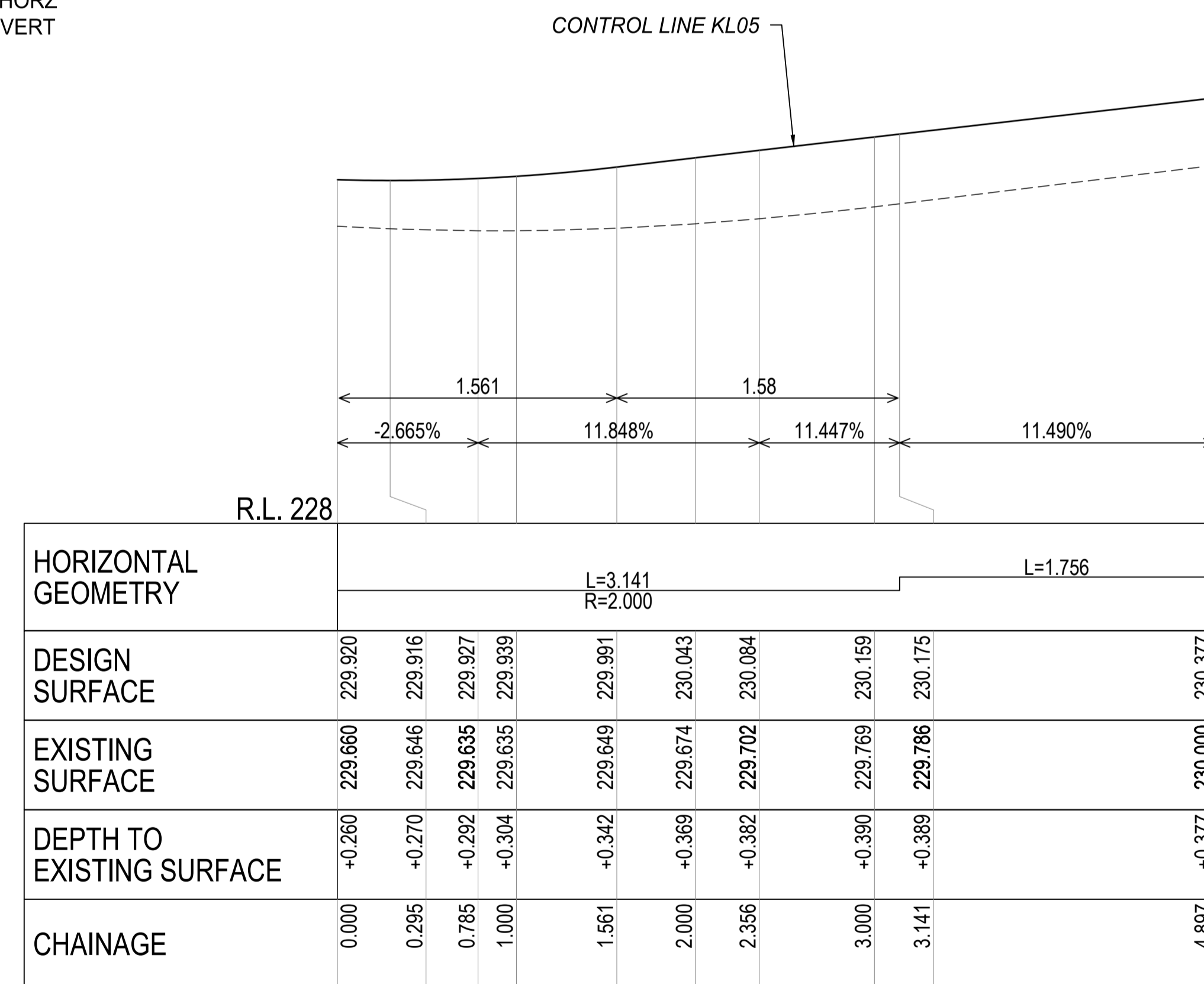
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KL03 LONGITUDINAL SECTION
SCALE 1:200(A1) 1:400(A3) HORZ
SCALE 1:100(A1) 1:200(A3) VERT



KL04 LONGITUDINAL SECTION
SCALE 1:25(A1) 1:50(A3) HORZ
SCALE 1:25(A1) 1:50(A3) VERT



KL05 LONGITUDINAL SECTION
SCALE 1:25(A1) 1:50(A3) HORZ
SCALE 1:25(A1) 1:50(A3) VERT

ISO A1 594mm x 841mm
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PLOT DATE: 30/01/2026 8:10:02 AM

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

0 0.5 1.0 1.5 2.0m
SCALE 1:25 @ A1 1:50 @ A3

0 4 8 12 16m
SCALE 1:200 @ A1 1:400 @ A3

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

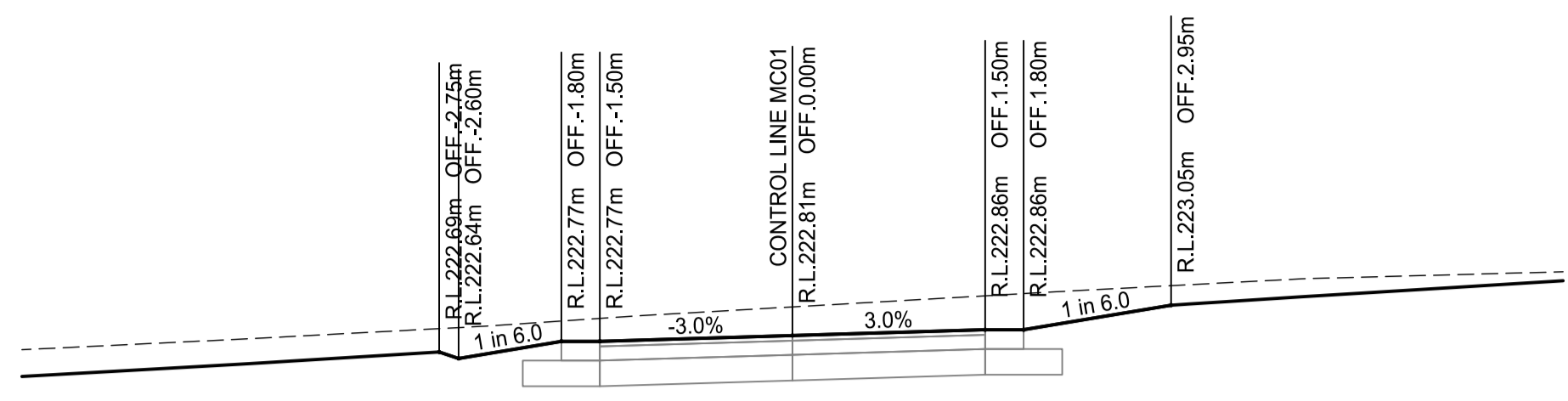


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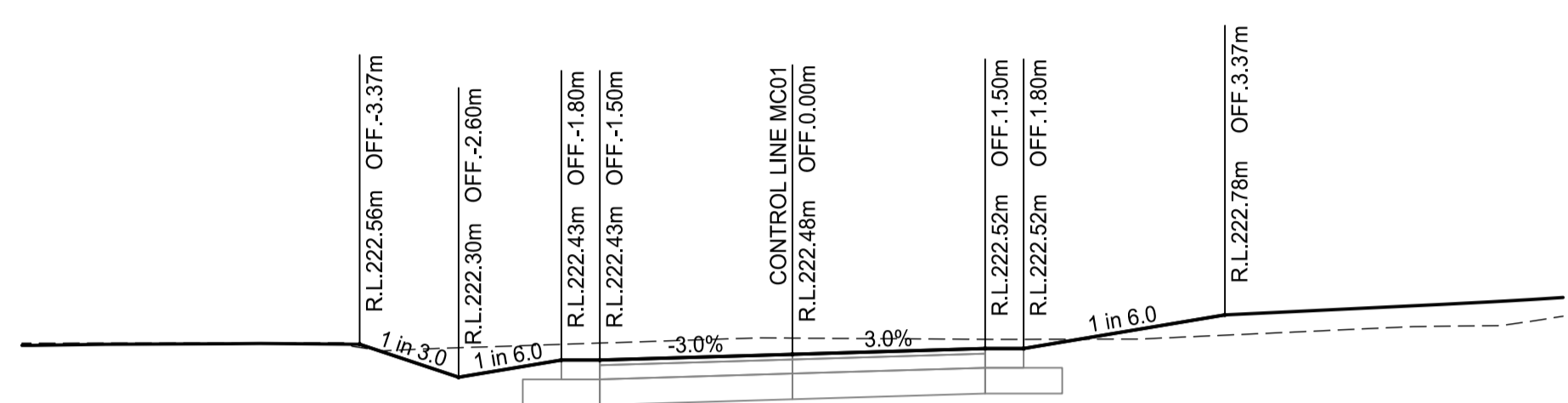
PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE LONGITUDINAL SECTION
CONTROL LINE KL03, KL04, KL05
DRAWING NUMBER R0332425-2009
REVISION B

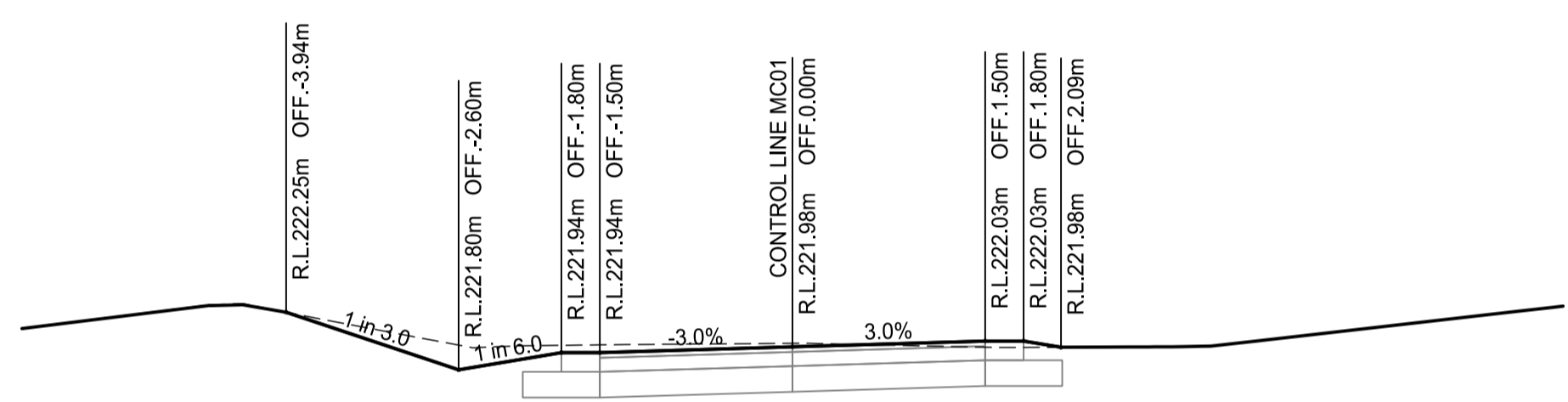
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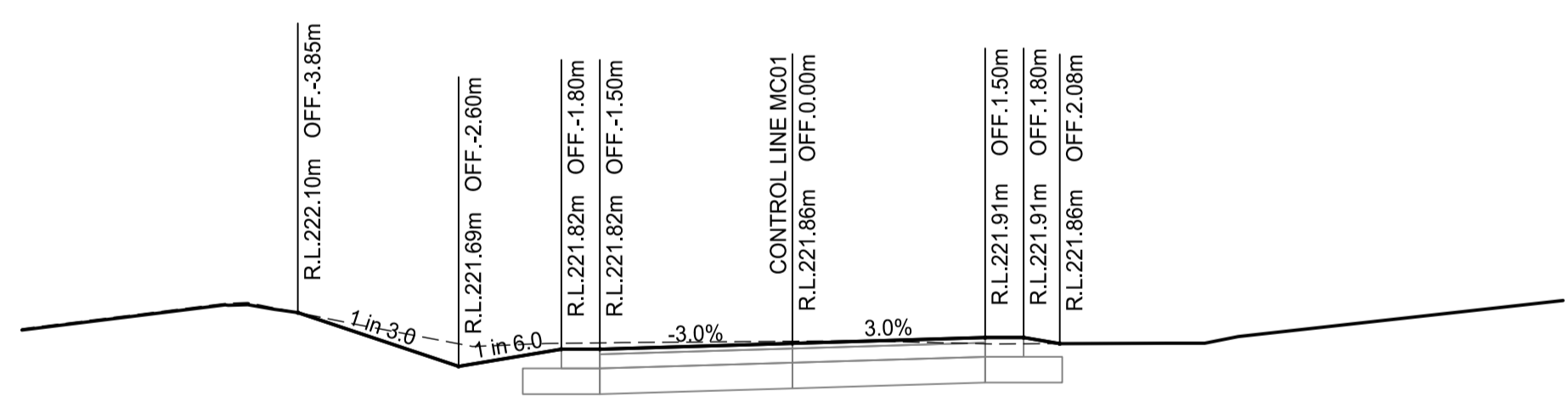
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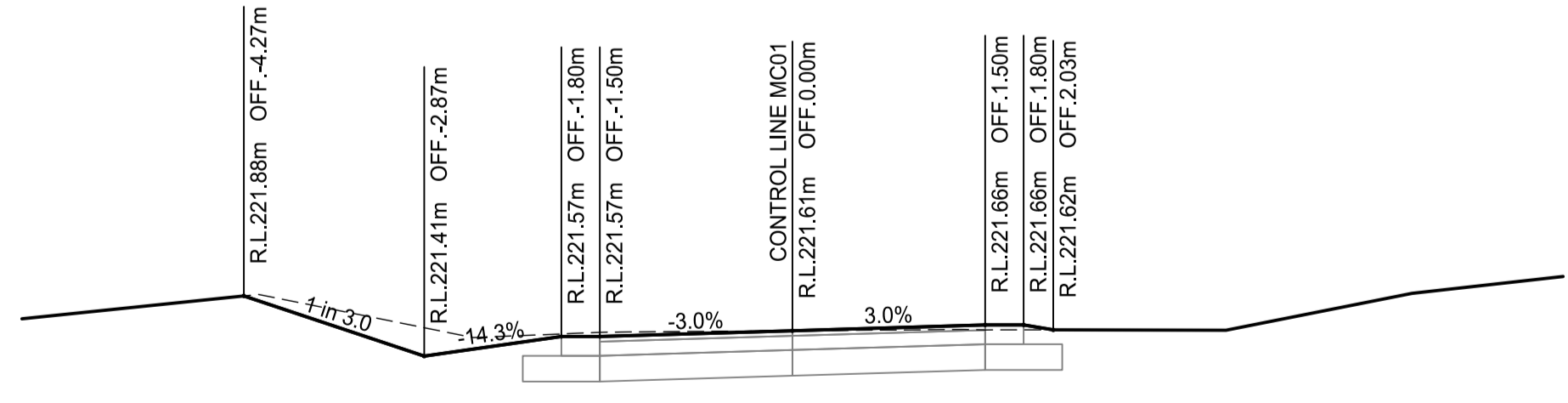
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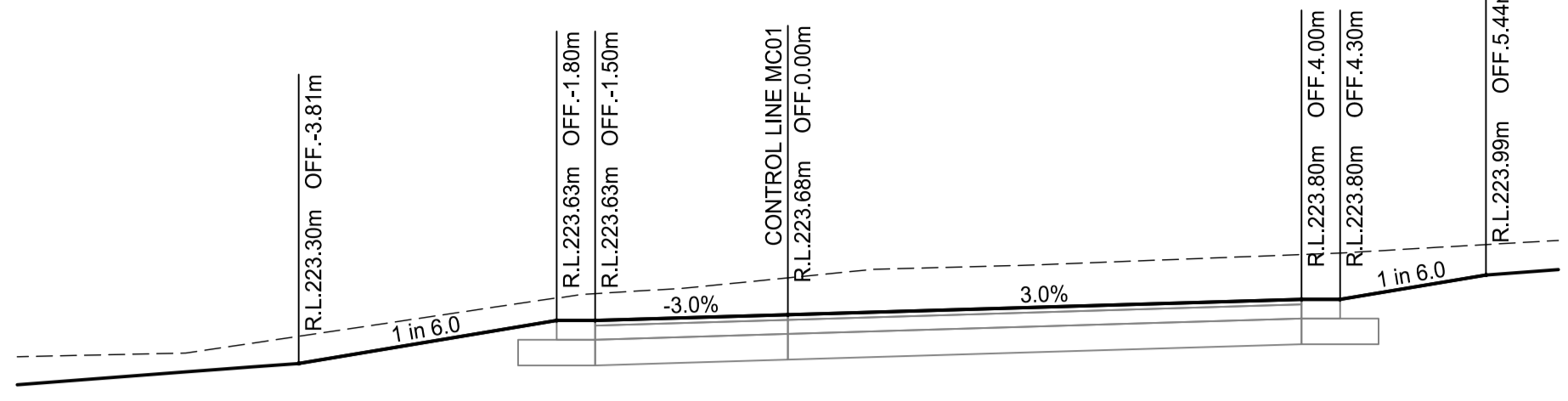
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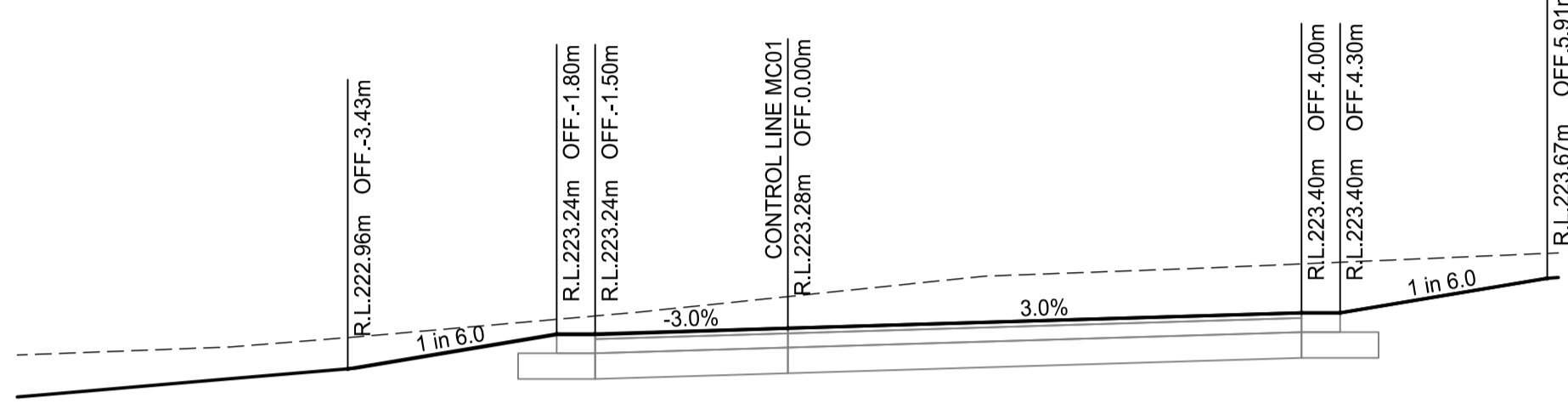
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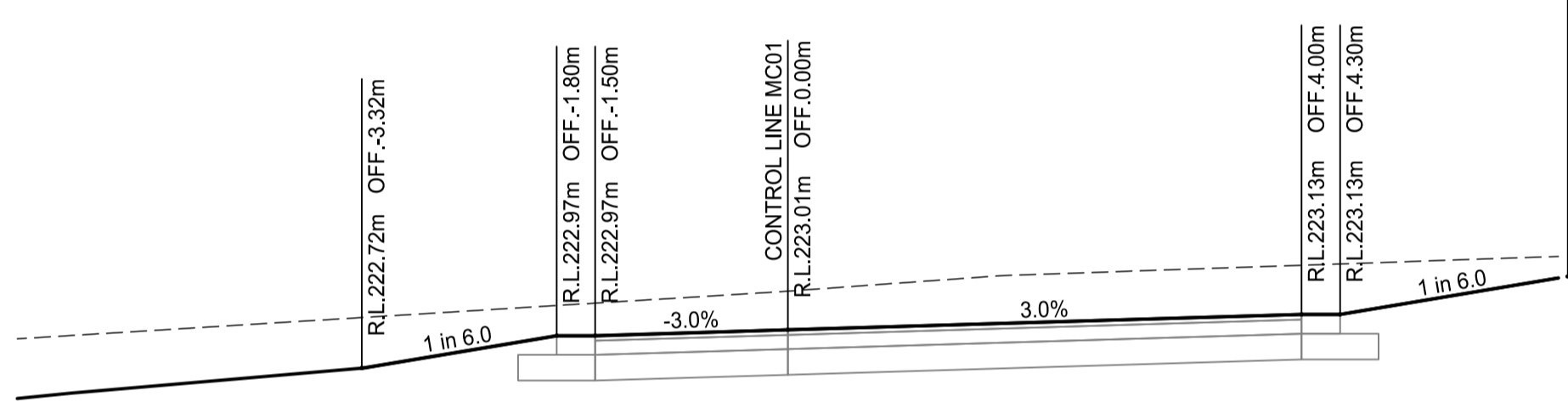
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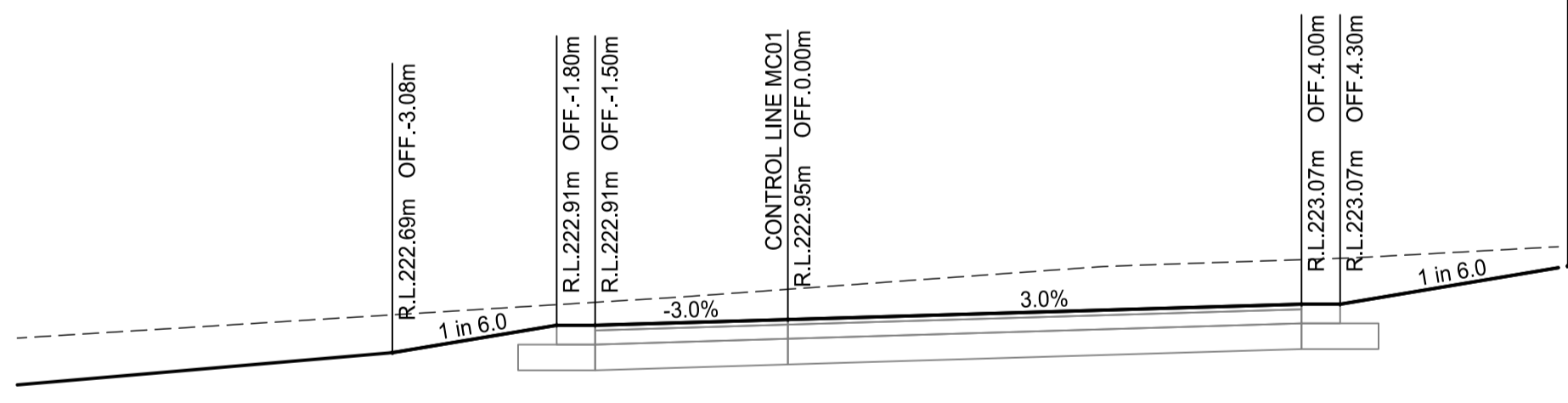
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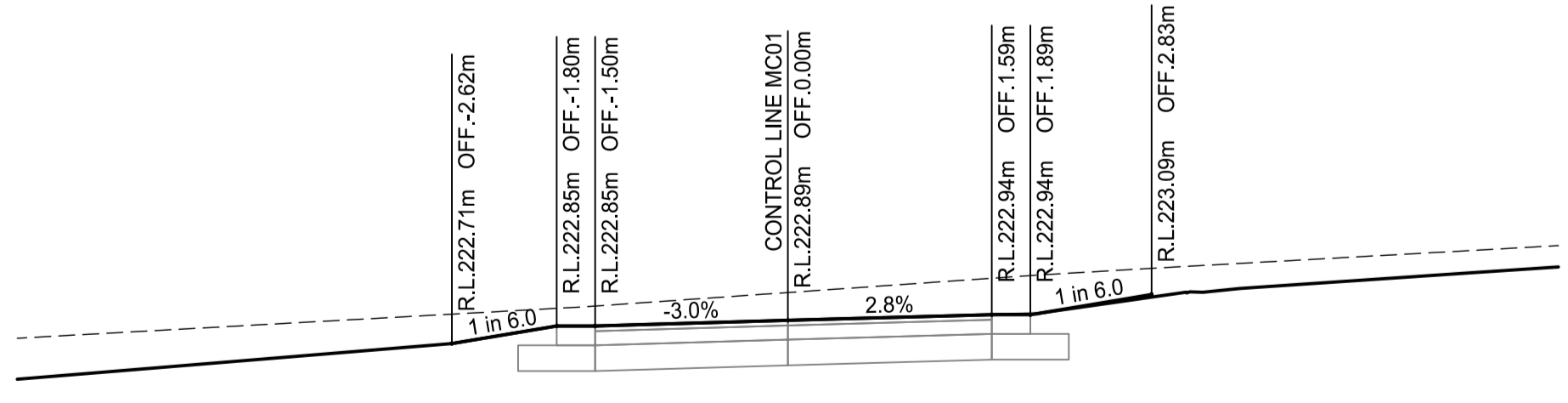
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CH 70



DATUM 221.700
CH 60



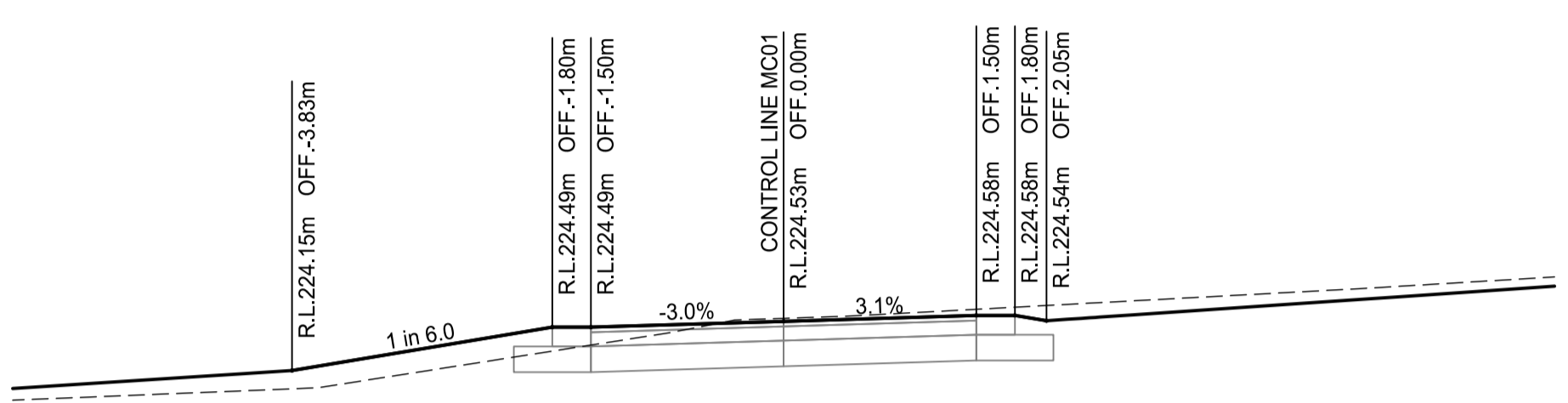
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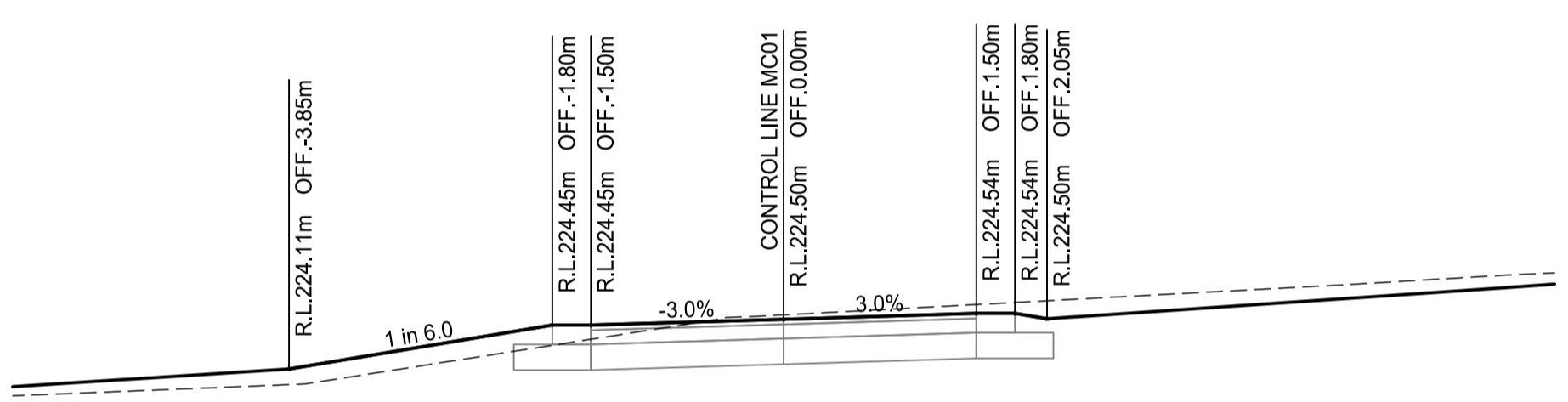
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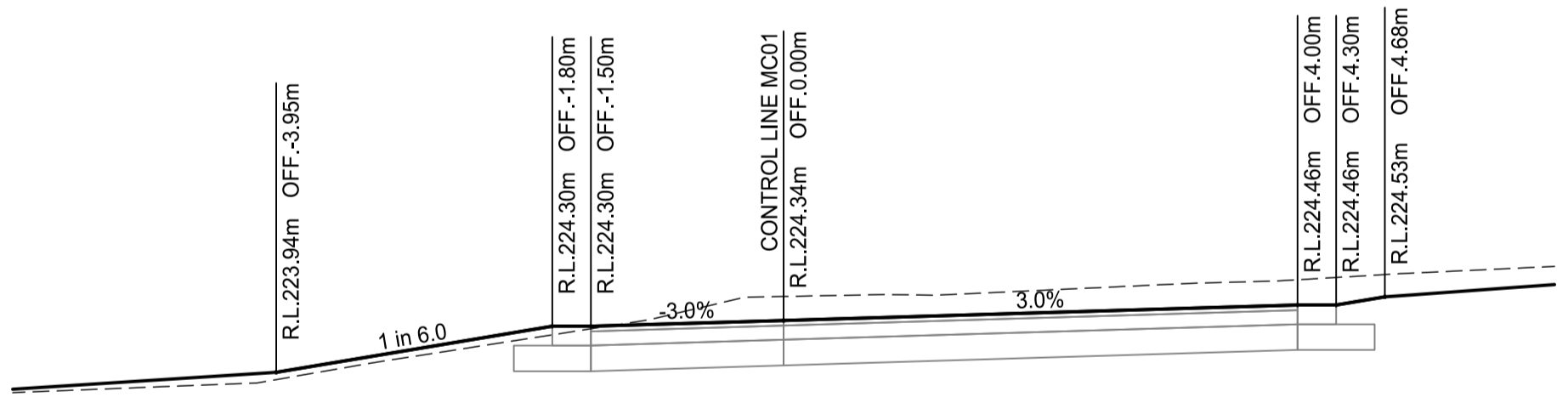
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DATUM 223.100
CH 97.734



DATUM 223.000
CH 94.406



DATUM 222.800
CH 90

PROJECT STAMP

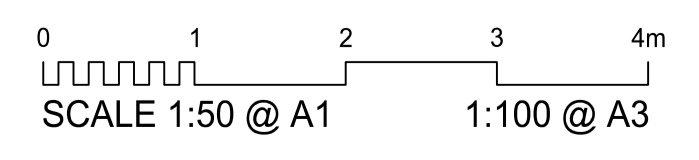
DRAWING SCALE

ISSUE/REVISION

PROJECT MANAGEMENT

PROJECT IDENTIFIER

FOR CONSTRUCTION



ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

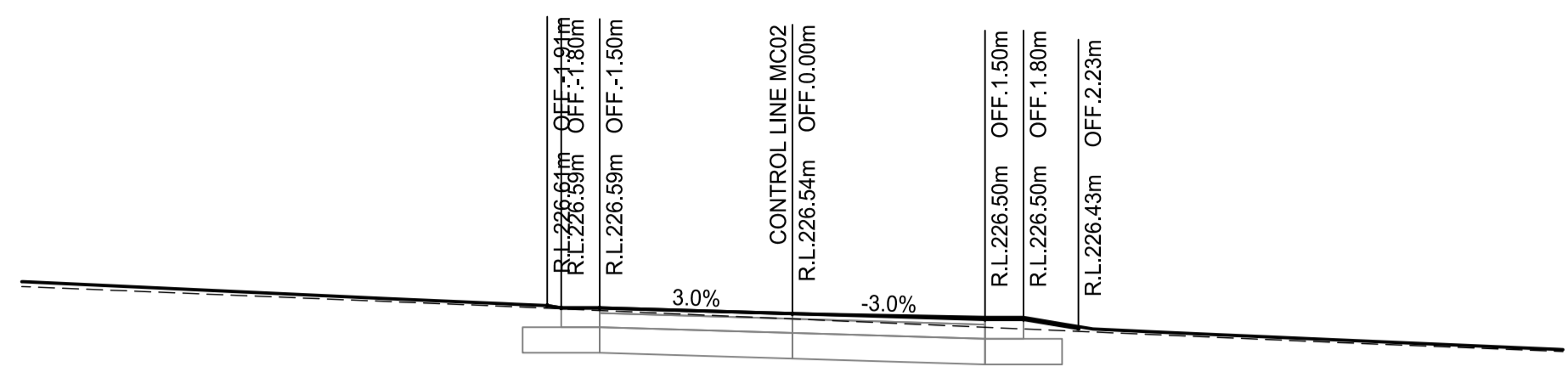
RPEQ CERTIFICATION		23569
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCE
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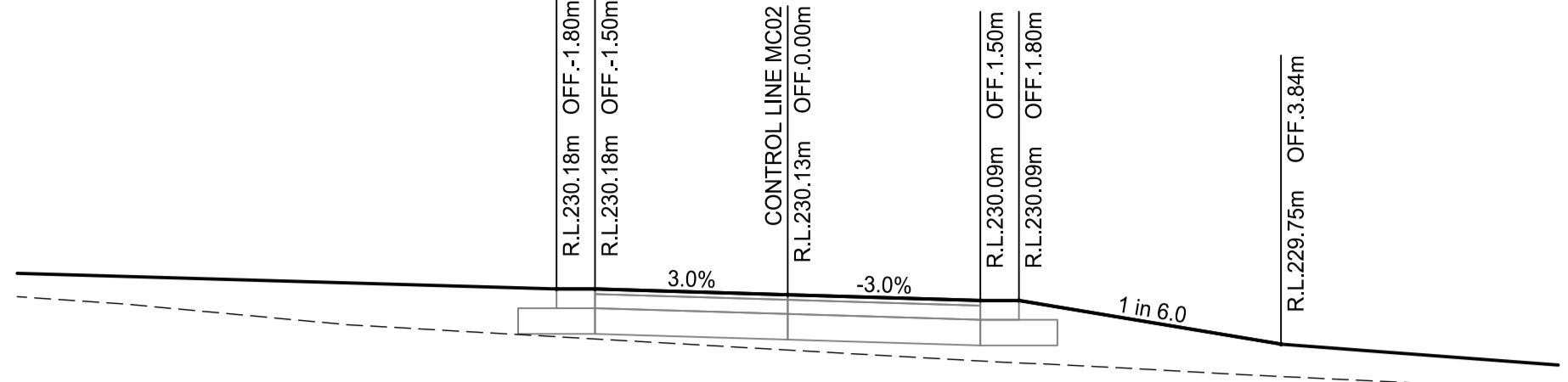
PROJECT IDENTIFIER
 CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE CROSS SECTIONS
 CONTROL LINE MC01
 DRAWING NUMBER R0332425-2010
 REVISION B

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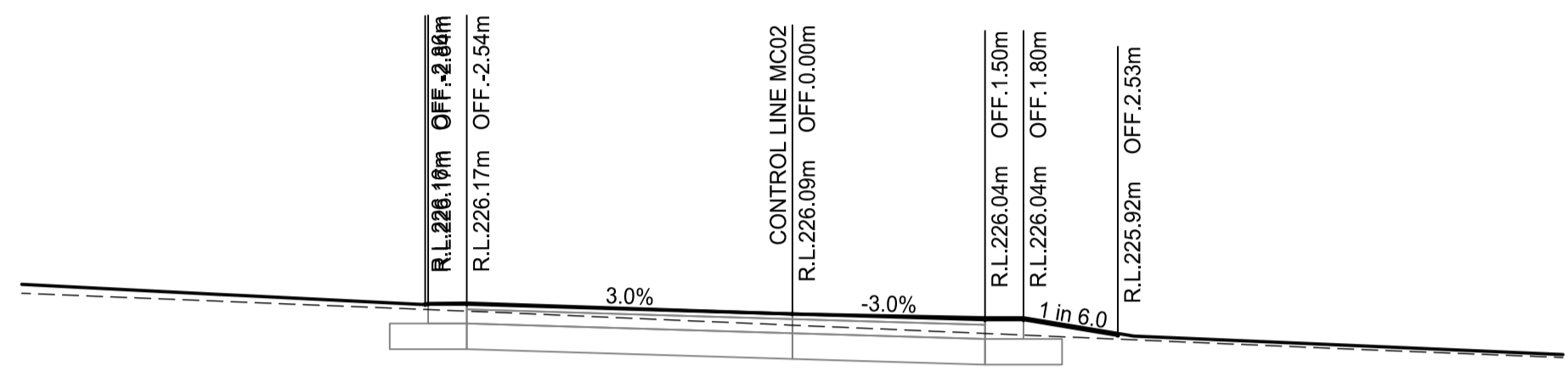
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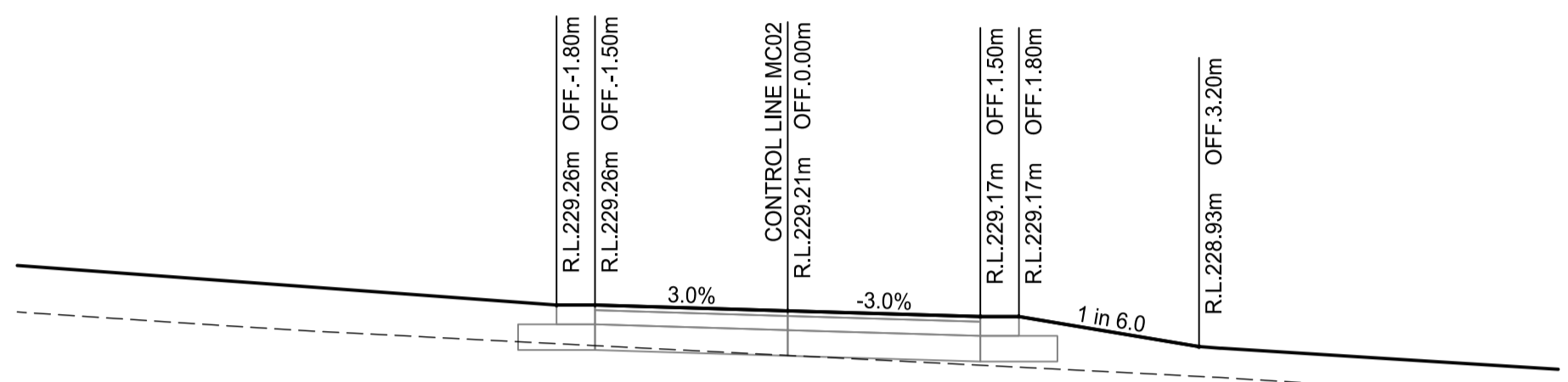
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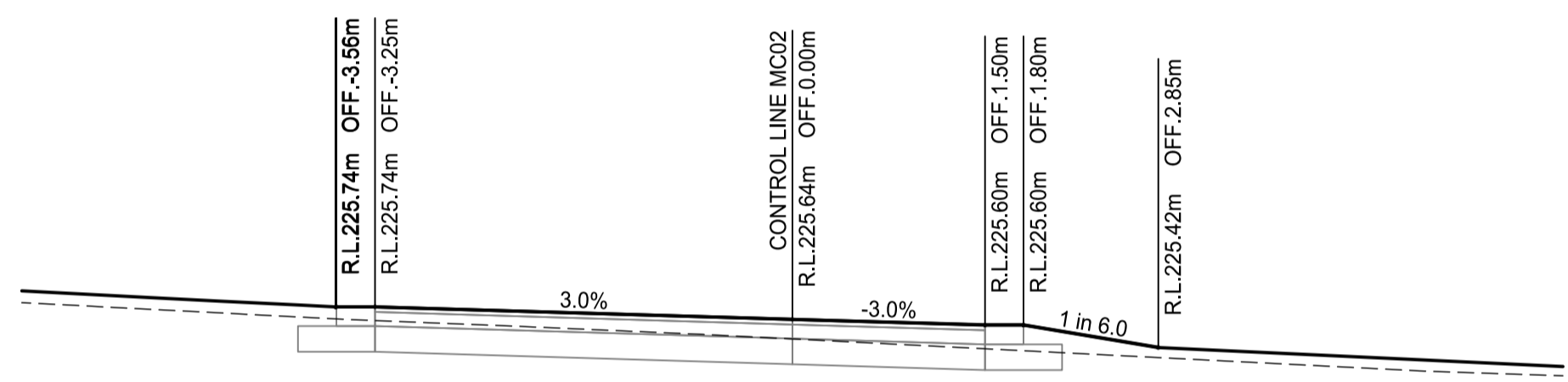
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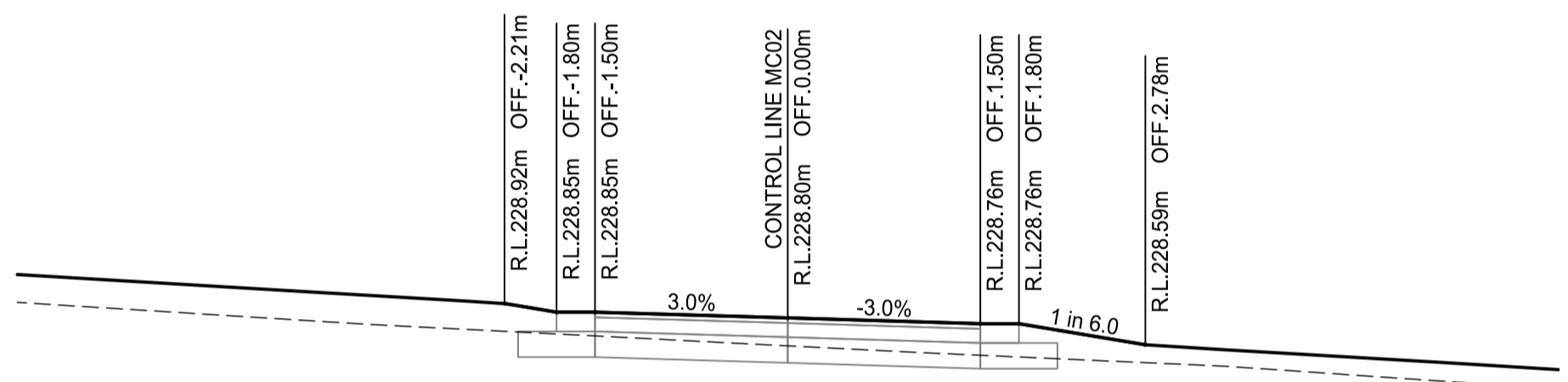
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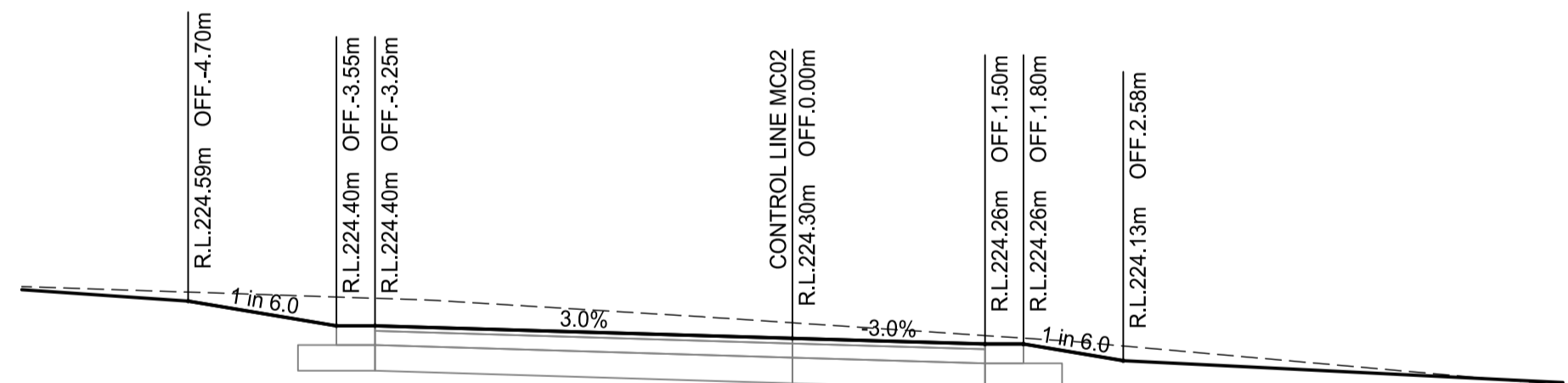
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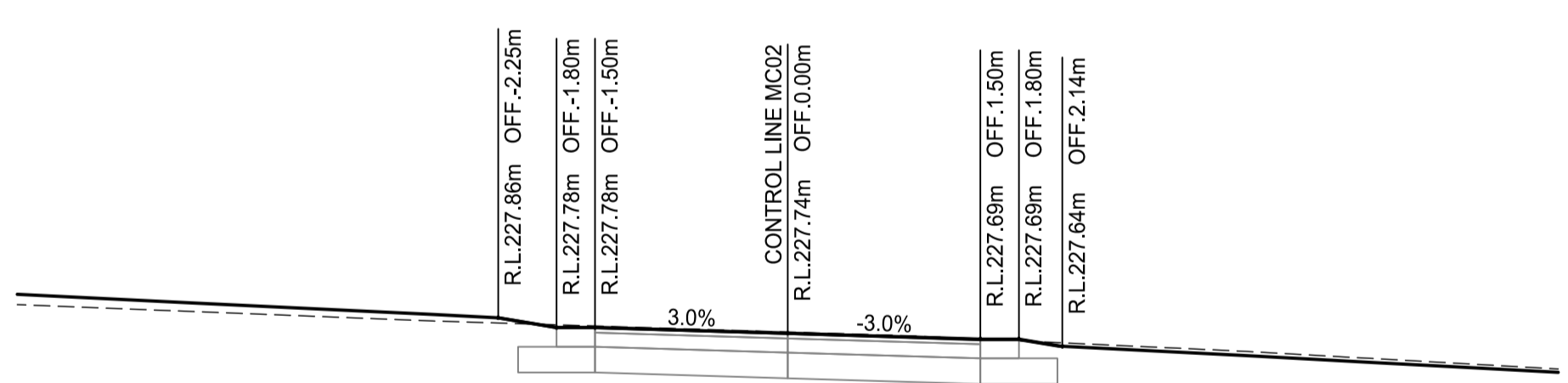
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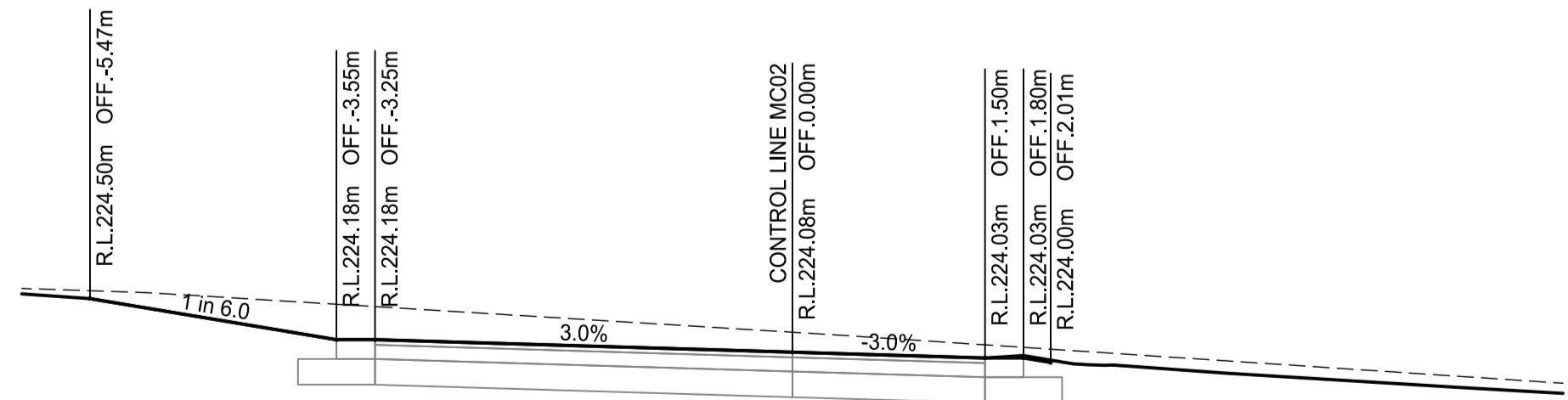
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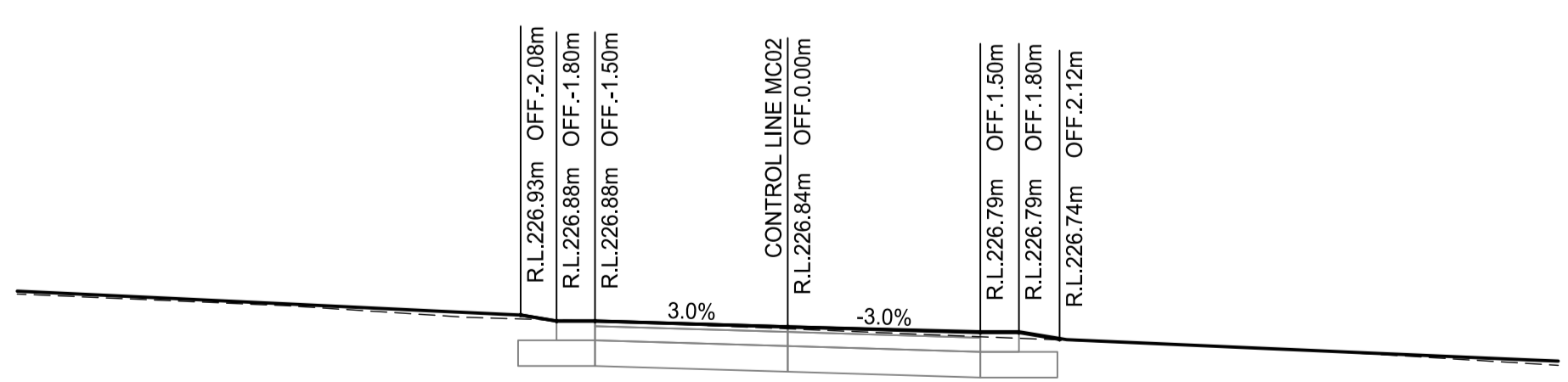
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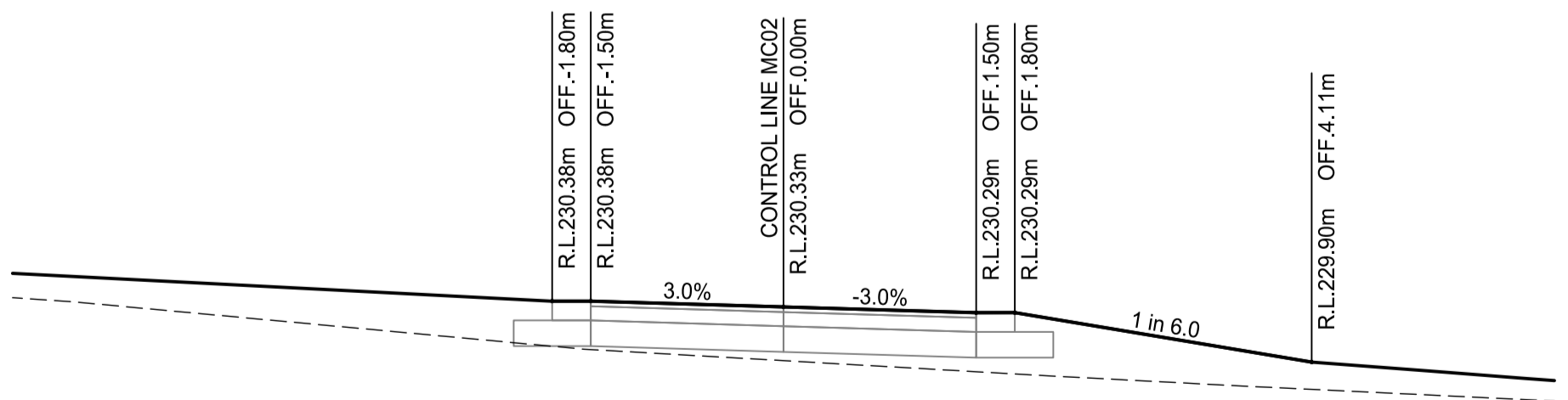
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CH 50



DATUM 222.900
CH 0



DATUM 225.600
CH 40



DATUM 228.800
CH 73.3

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

SCALE 1:50 @ A1 1:100 @ A3

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ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

NSG 23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20



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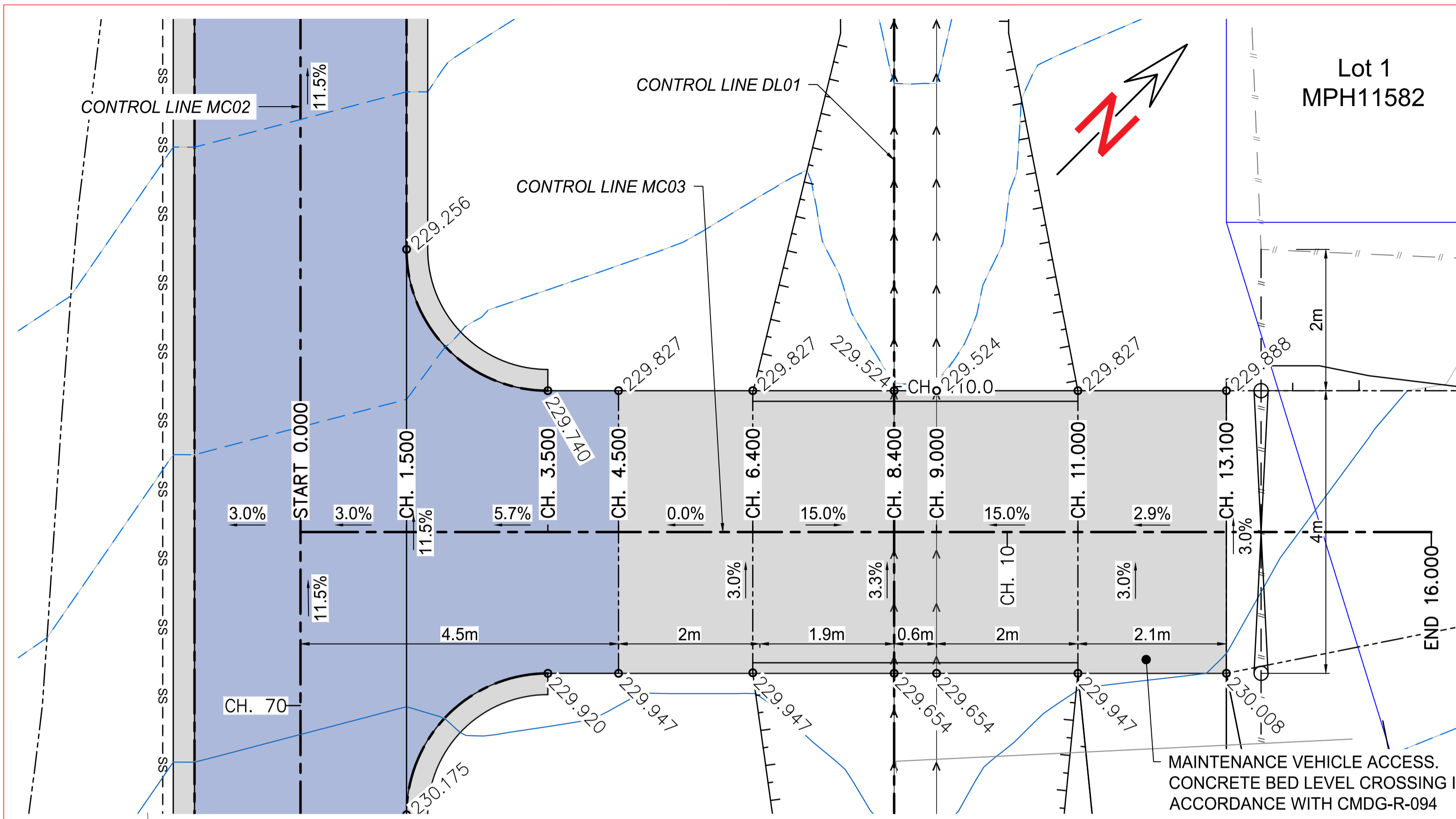
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CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE CROSS SECTIONS
 CONTROL LINE MC02

DRAWING NUMBER R0332425-2011

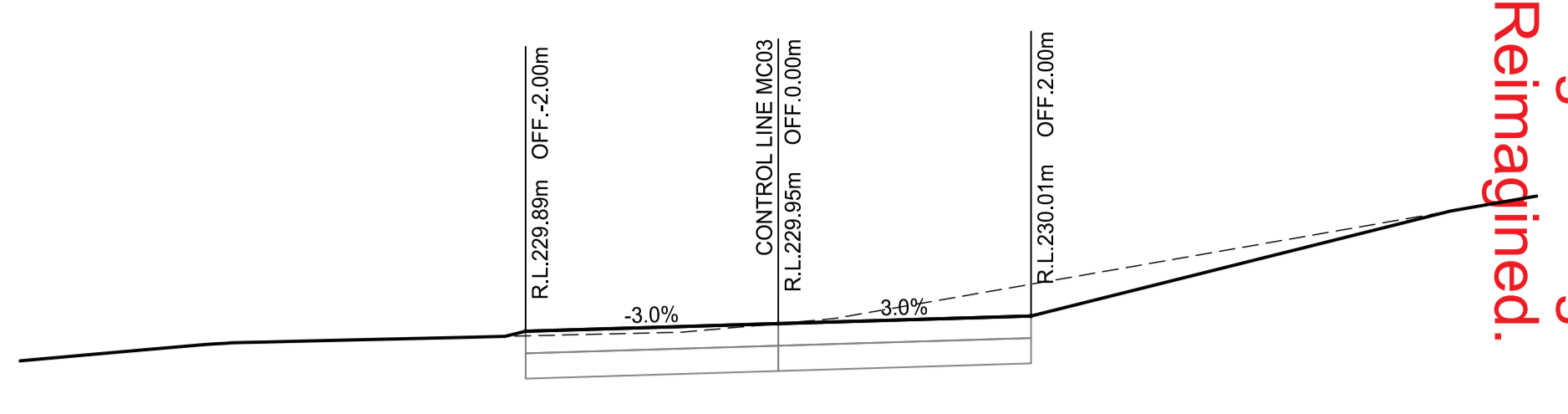
REVISION **B**

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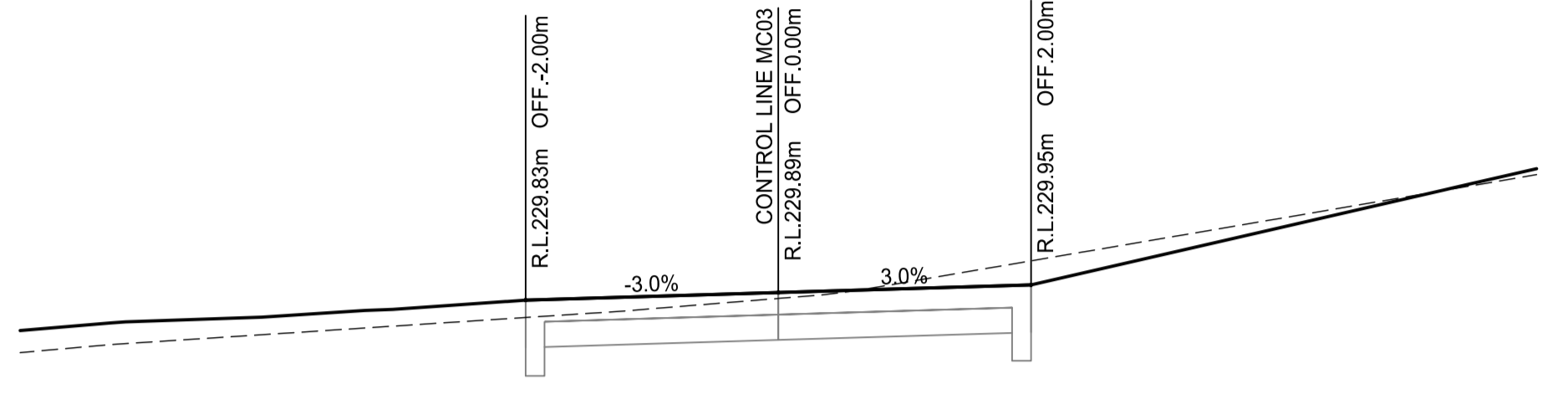


- LEGEND - EXISTING**
- EXISTING CONTOURS MAJOR
 - - - EXISTING CONTOURS MINOR
 - - - BOTTOM BANK
 - - - EDGE OF UNSEALED TRACK
 - - - FENCE
 - PROPERTY BOUNDARY

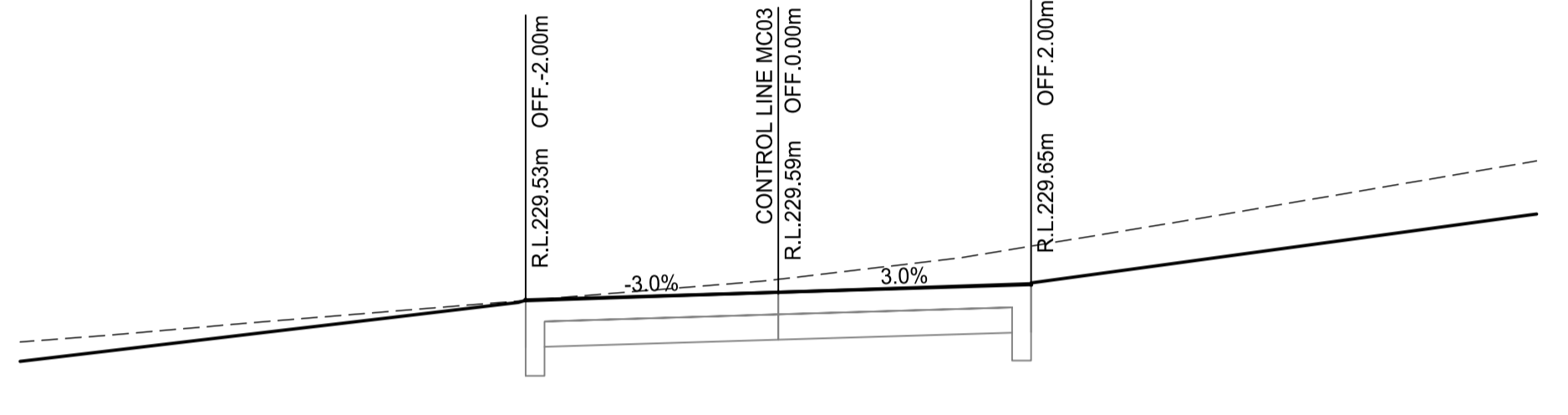
- LEGEND - PROPOSED**
- - - CONTROL LINE
 - DESIGN CONTOURS MAJOR
 - - - DESIGN CONTOURS MINOR
 - - - DESIGN ROAD EDGE
 - CONCRETE
 - - - TOE OF BATTER / CHANGE OF GRADE
 - PROPOSED CONCRETE
 - PROPOSED PAVEMENT
 - ▨ GRAVE PLOT AREA



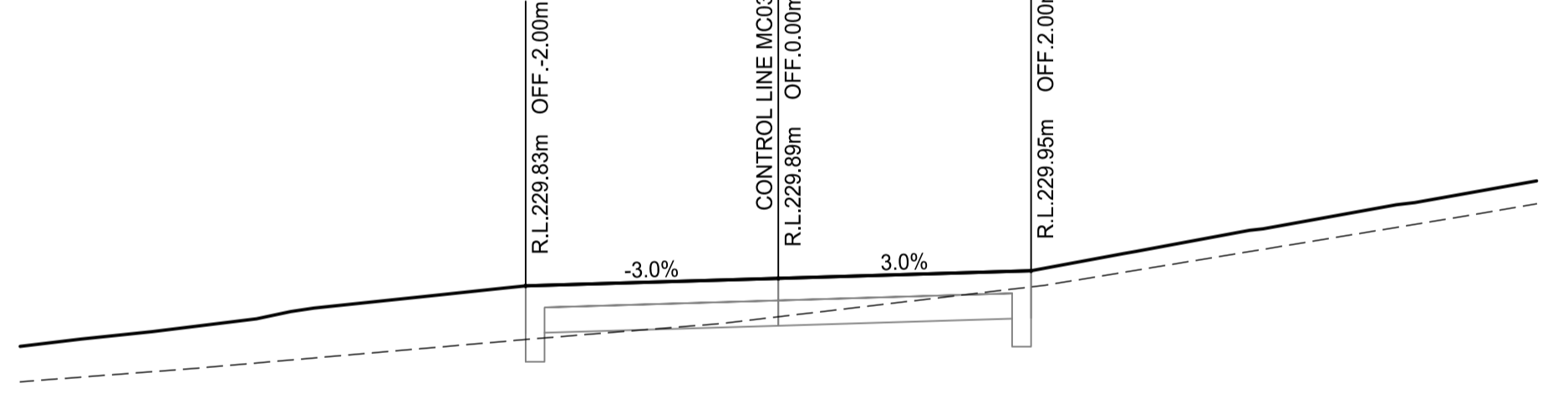
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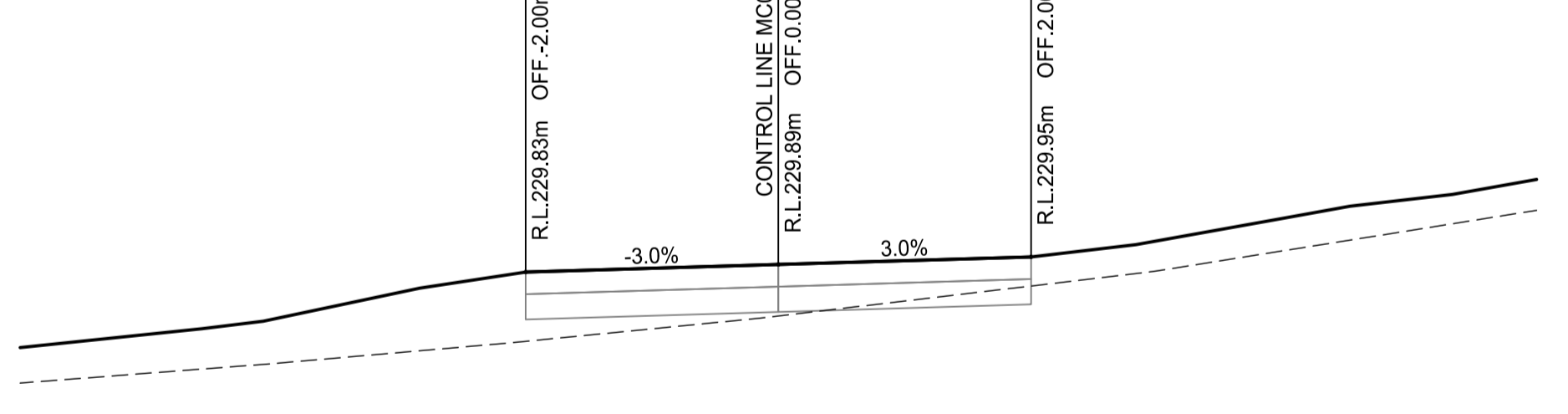
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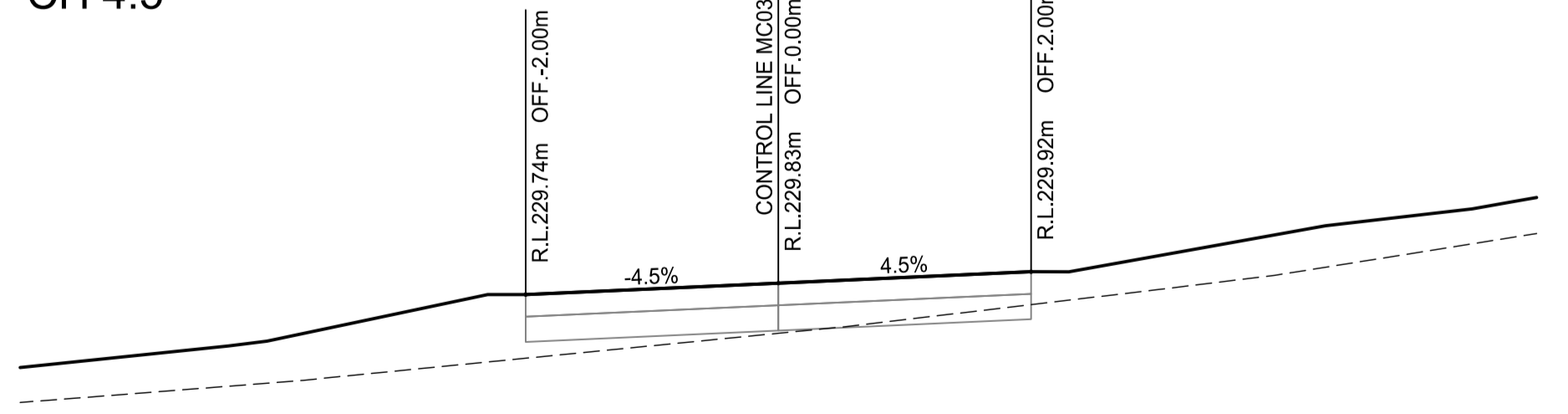
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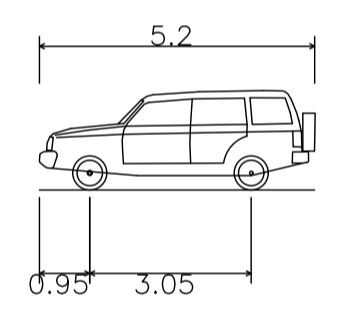
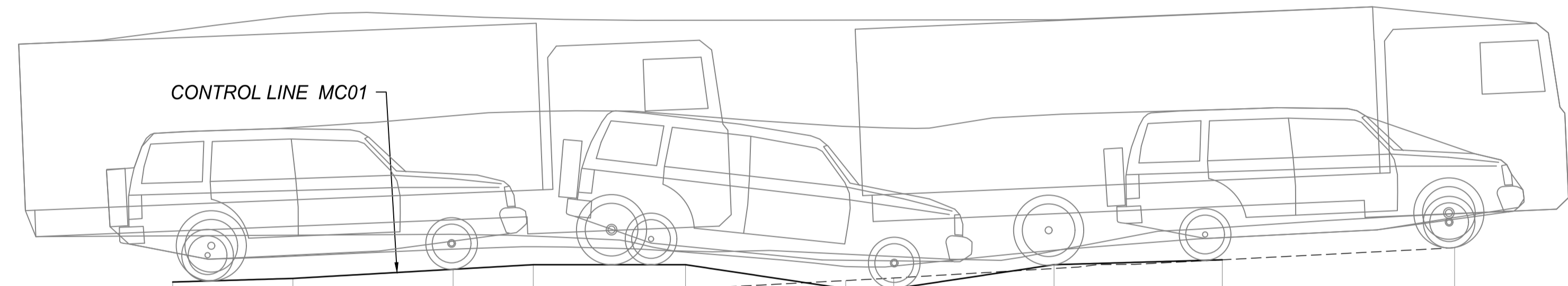
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DATUM 228.100
CH 4.5

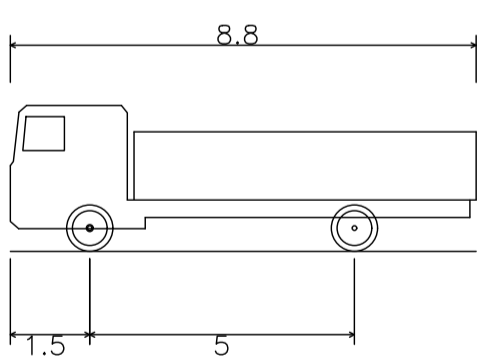


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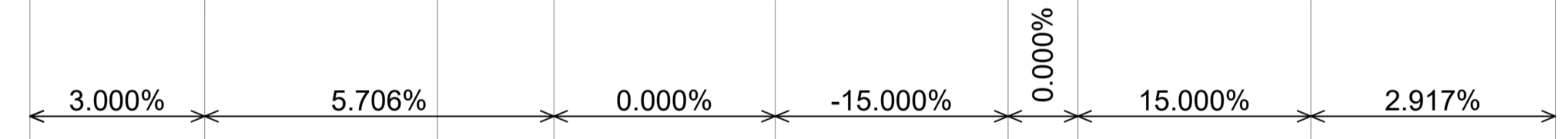
B99 Vehicle - 4WD Design Vehicle

- Overall Length 5.200m
- Overall Width 1.940m
- Overall Body Height 1.878m
- Min Body Ground Clearance 0.272m
- Track Width 1.840m
- Lock-to-lock time 4.00s
- Curb to Curb Turning Radius 6.250m



Service Vehicle (8.8 m)

- Overall Length 8.800m
- Overall Width 2.500m
- Overall Body Height 4.300m
- Min Body Ground Clearance 0.427m
- Track Width 2.500m
- Lock-to-lock time 4.00s
- Curb to Curb Turning Radius 12.500m



HORIZONTAL GEOMETRY		L=16.000									
DESIGN SURFACE		229.671	229.716	229.830	229.887	229.887	229.587	229.587	229.887	229.948	230.098
EXISTING SURFACE		229.276	229.347	229.434	229.480	229.583	229.689	229.721	229.840	229.948	230.098
DEPTH TO EXISTING SURFACE		+0.395	+0.369	+0.396	+0.407	+0.304	-0.102	-0.134	+0.047	+0.000	+0.000
CHAINAGE		0.000	1.500	3.499	4.500	6.400	8.400	9.000	11.000	13.100	16.000

MC03 LONGITUDINAL SECTION
 SCALE 1:50(A1) 1:50(A3) HORZ
 SCALE 1:50(A1) 1:50(A3) VERT

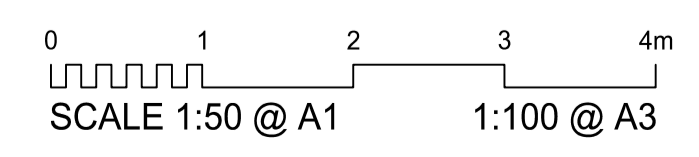
PROJECT STAMP

DRAWING SCALE

ISSUE/REVISION

PROJECT MANAGEMENT

FOR CONSTRUCTION



ISSUE	REV	DATE	DES	DESCRIPTION
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IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

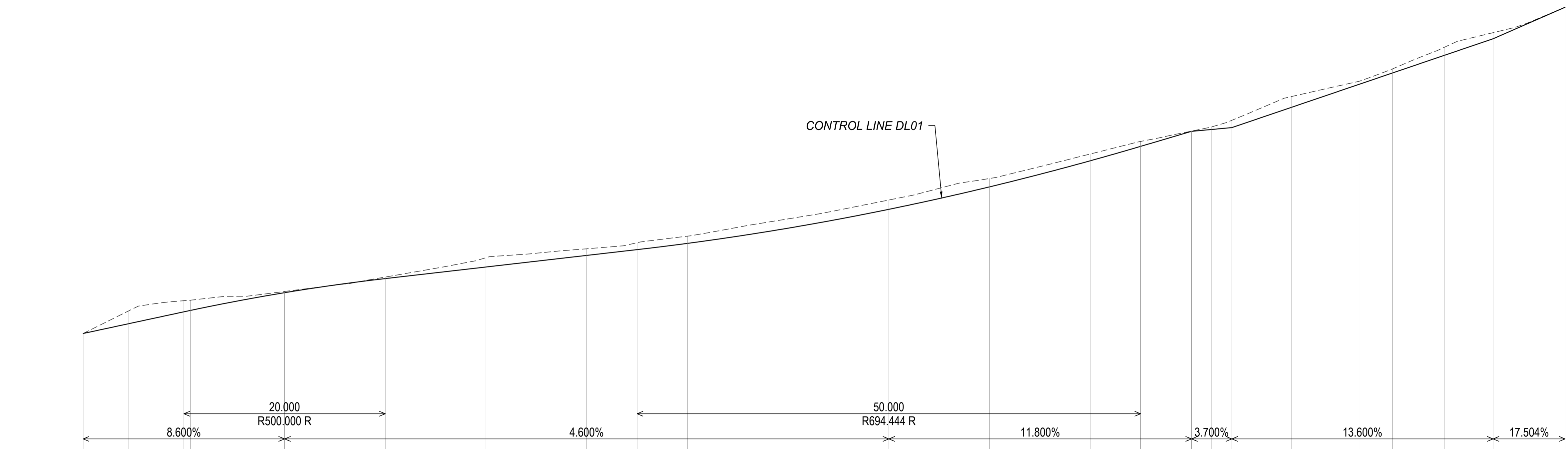
RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20



PROJECT IDENTIFIER
 CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE BED LEVEL CROSSING WORKING PLAN
 MC03 LONGITUDINAL SECTION, CROSS SECTIONS & PLAN
 DRAWING NUMBER R0332425-2012
 REVISION B

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HORIZONTAL GEOMETRY	L=4.536 R=15.000		L=6.127 R=15.000		L=116.019										L=8.465 R=10.000		L=12.000							
DESIGN SURFACE	221.486	221.876	222.346	222.403	223.106	223.666	224.126	224.586	224.816	225.064	225.668	226.416	227.308	228.344	228.916	229.513	229.587	229.661	230.469	231.378	231.829	232.529	233.189	234.440
EXISTING SURFACE	221.486	222.388	222.789	222.809	223.154	223.727	224.495	224.849	225.091	225.351	226.037	226.787	227.640	228.614	229.113	229.523	229.689	229.951	230.896	231.498	231.991	232.849	233.431	234.440
DEPTH TO EXISTING SURFACE	+0.000	-0.512	-0.443	-0.406	-0.048	-0.061	-0.369	-0.263	-0.275	-0.287	-0.369	-0.371	-0.332	-0.270	-0.197	-0.010	-0.102	-0.290	-0.427	-0.120	-0.162	-0.320	-0.242	+0.000
CHAINAGE	0.000	4.536	10.000	10.663	20.000	30.000	40.000	50.000	55.000	60.000	70.000	80.000	90.000	100.000	105.000	110.069	112.059	114.059	120.000	126.682	130.000	135.147	140.000	147.147

DL01 LONGITUDINAL SECTION
 SCALE 1:250(A1) 1:500(A3) HORZ
 SCALE 1:100(A1) 1:200(A3) VERT

PROJECT STAMP

FOR CONSTRUCTION

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DRAWING SCALE

0 1 2 3 4m
 SCALE 1:50 @ A1 1:100 @ A3

0 5 10 15 20m
 SCALE 1:250 @ A1 1:500 @ A3

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

NSG 23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

MCMCE
 McMurtrie Consulting Engineers

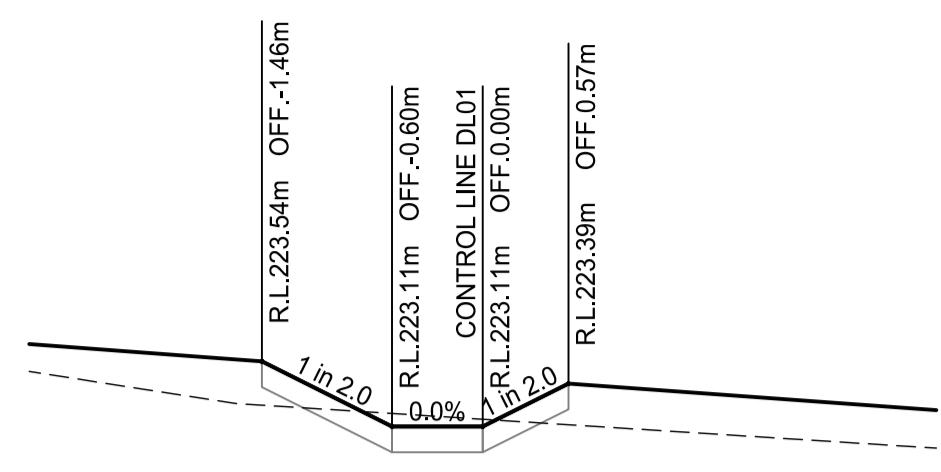
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PROJECT IDENTIFIER

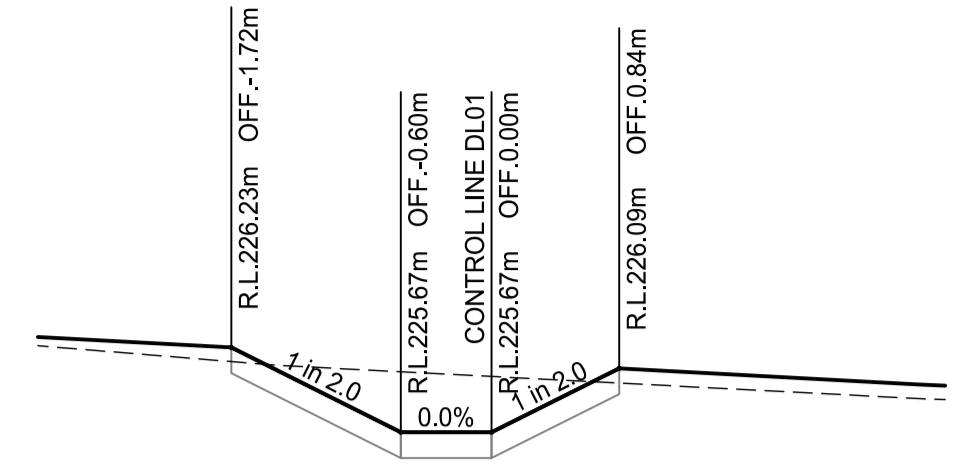
CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE LONGITUDINAL SECTION CONTROL LINE DL01
 DRAWING NUMBER R0332425-3001

REVISION **B**

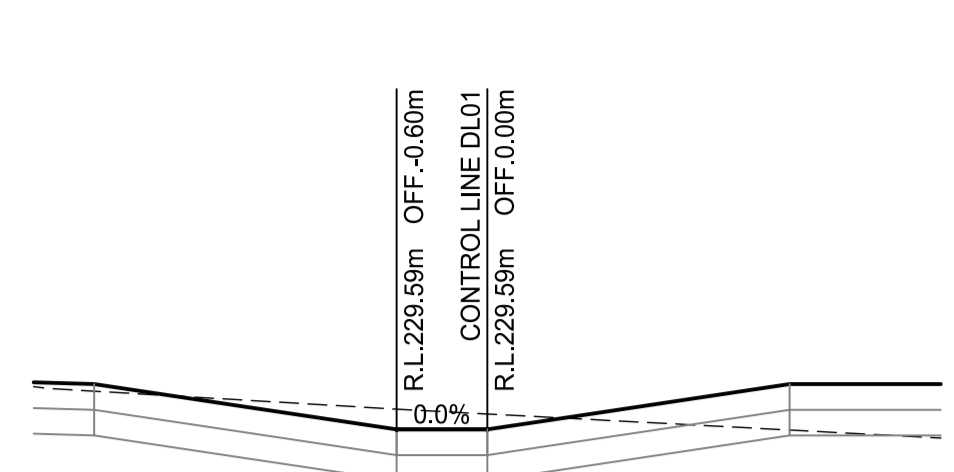
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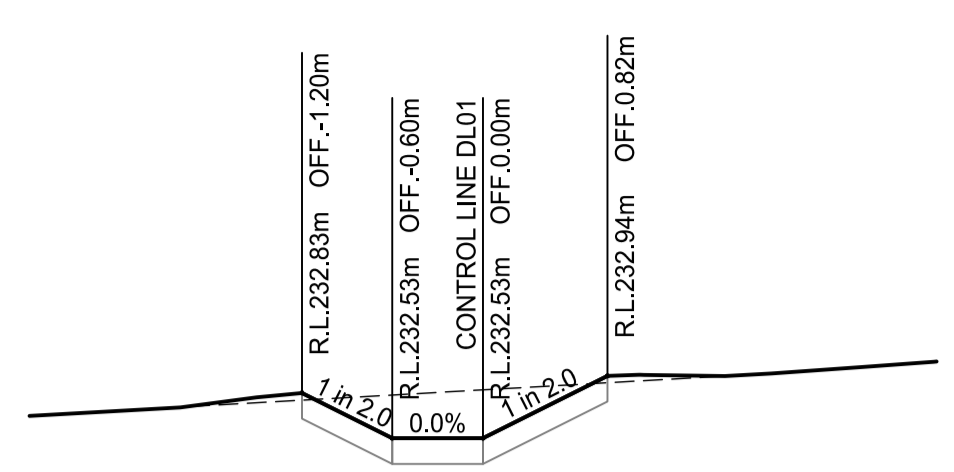
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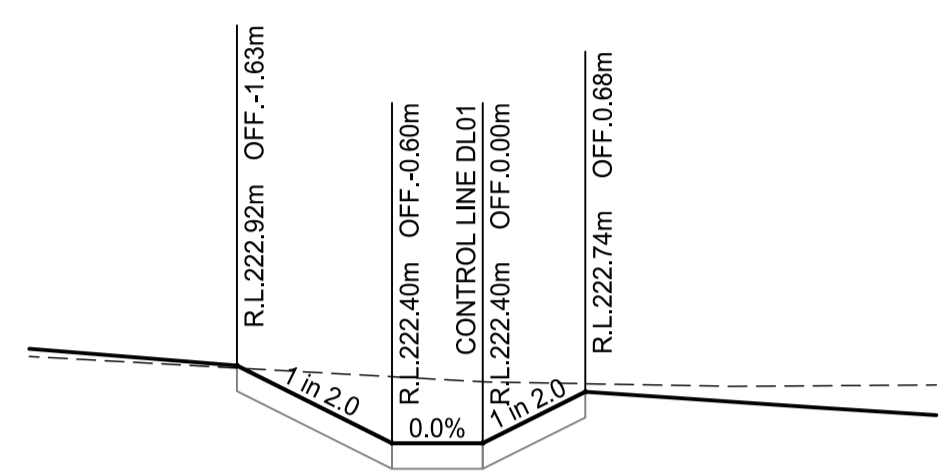
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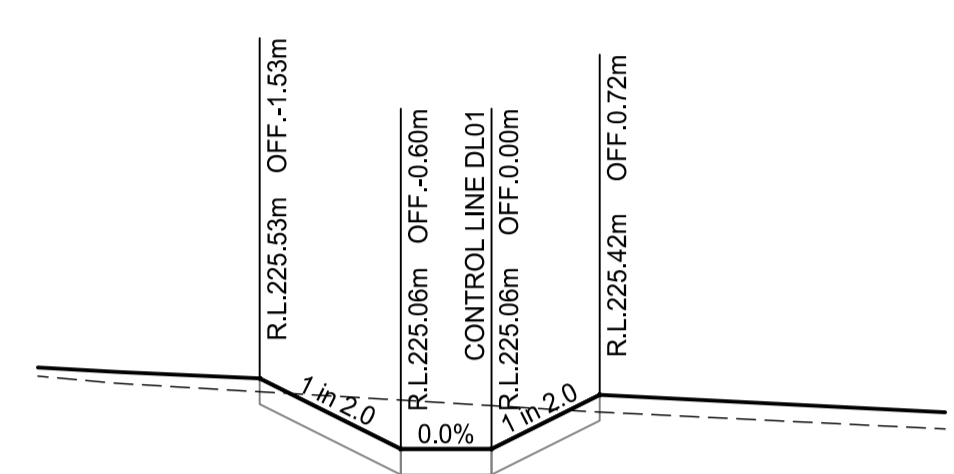
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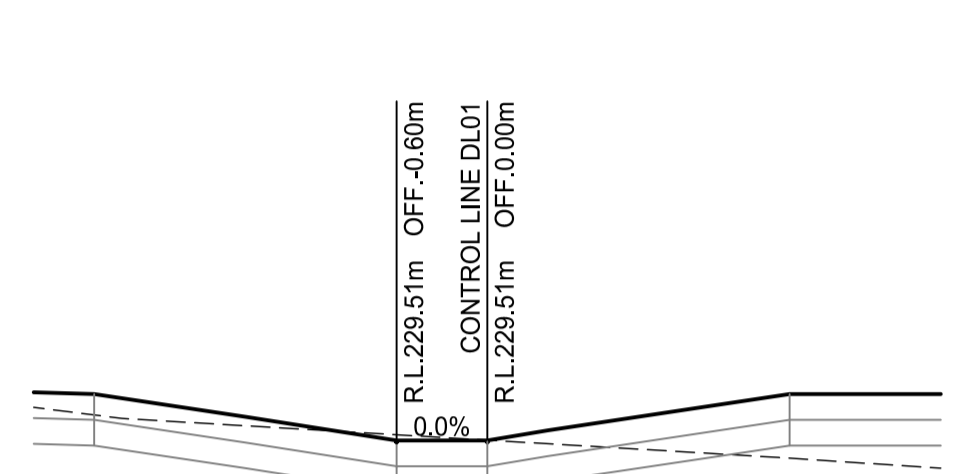
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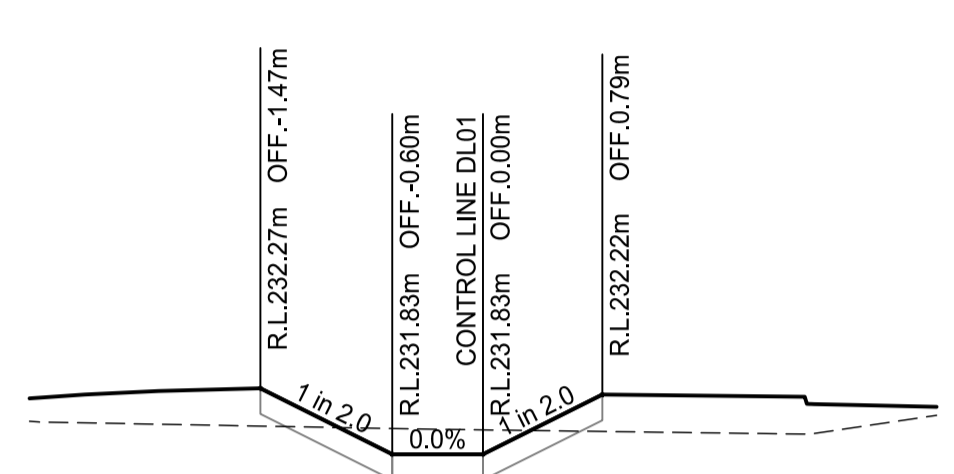
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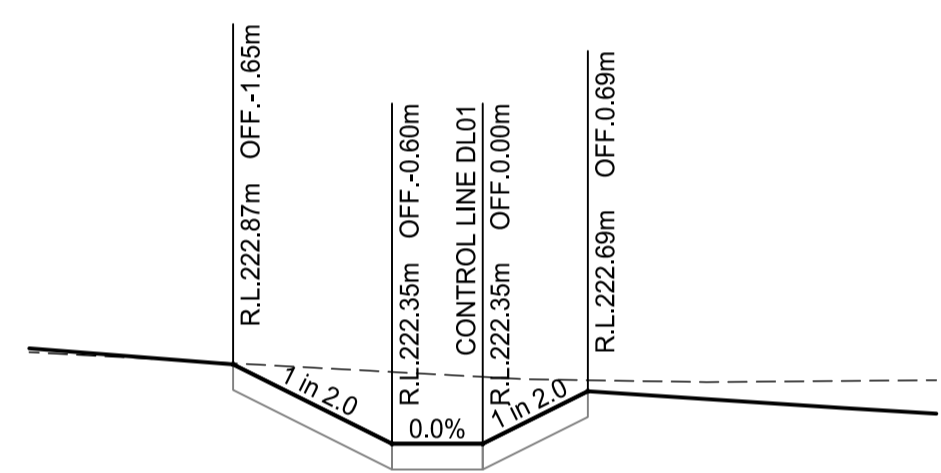
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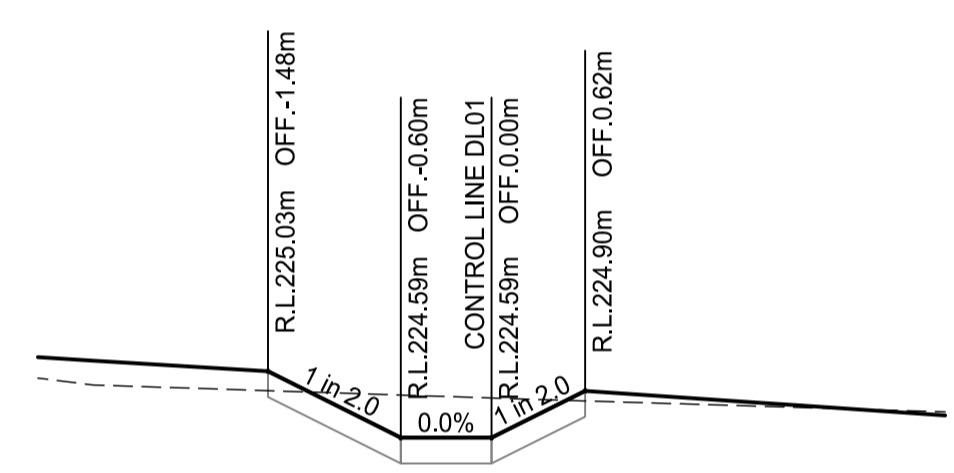
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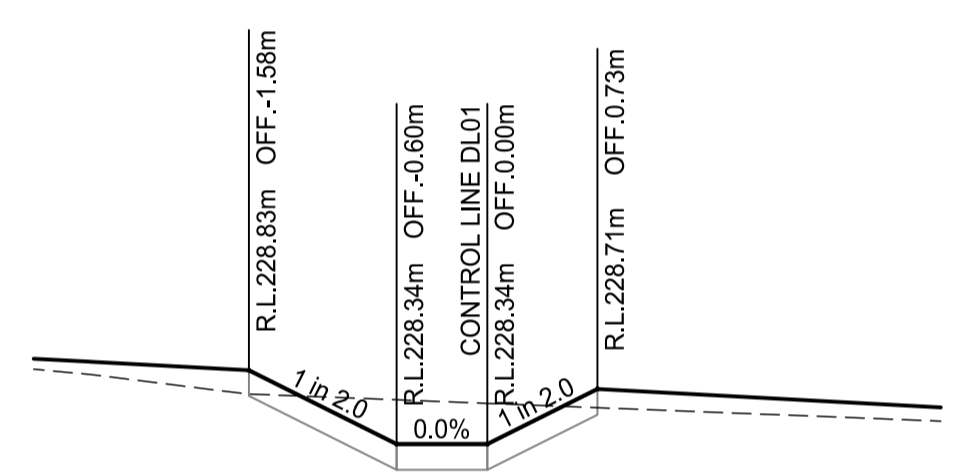
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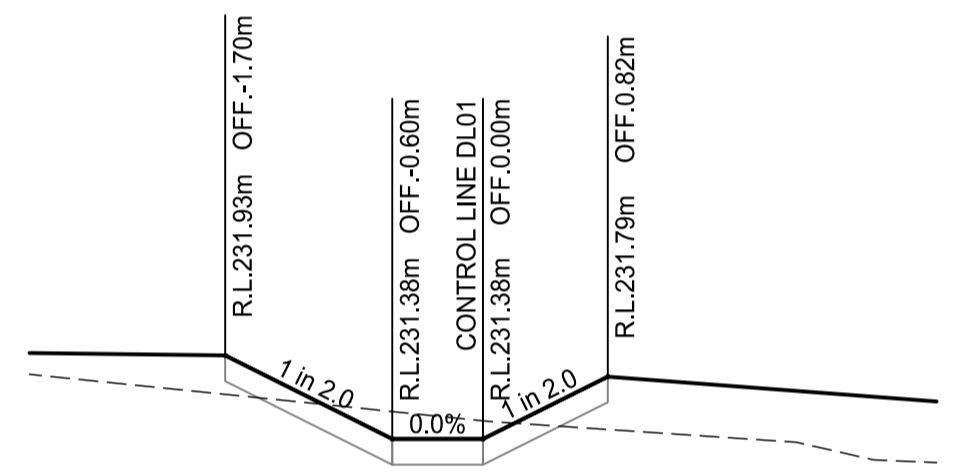
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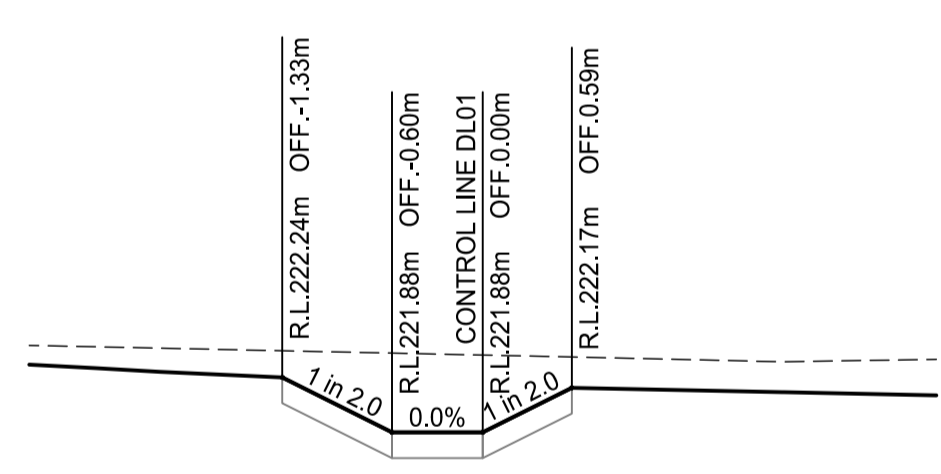
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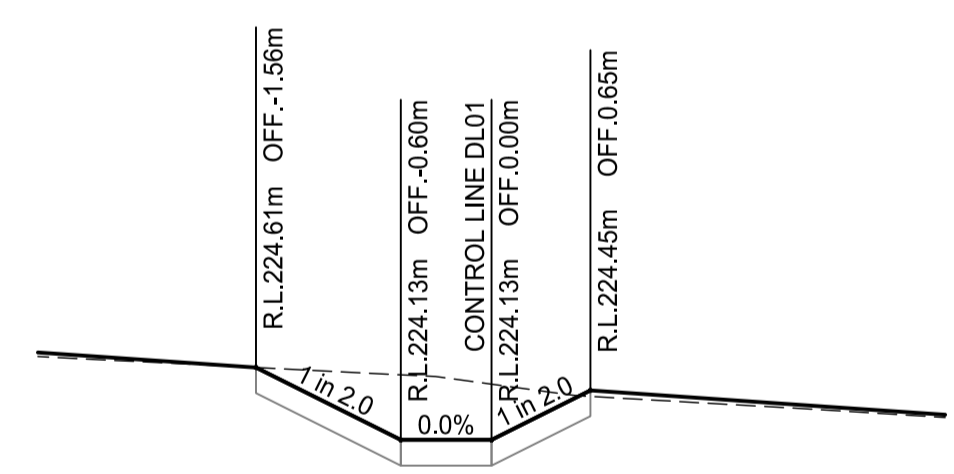
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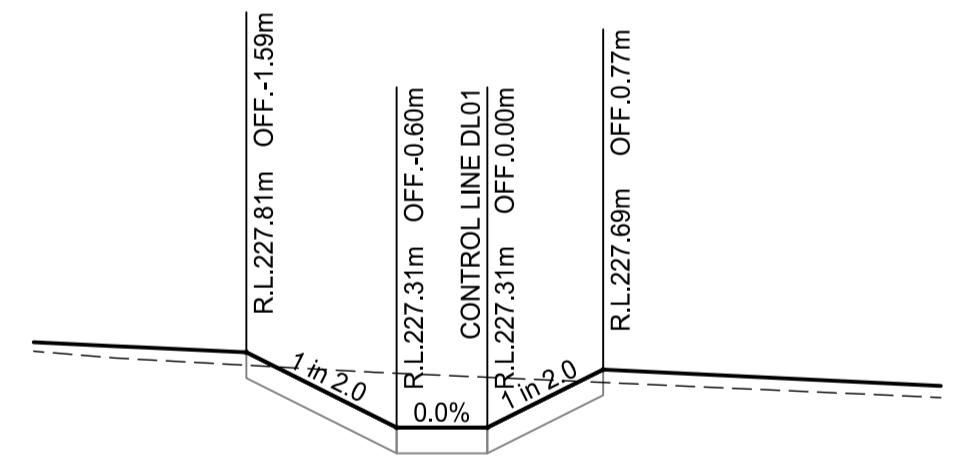
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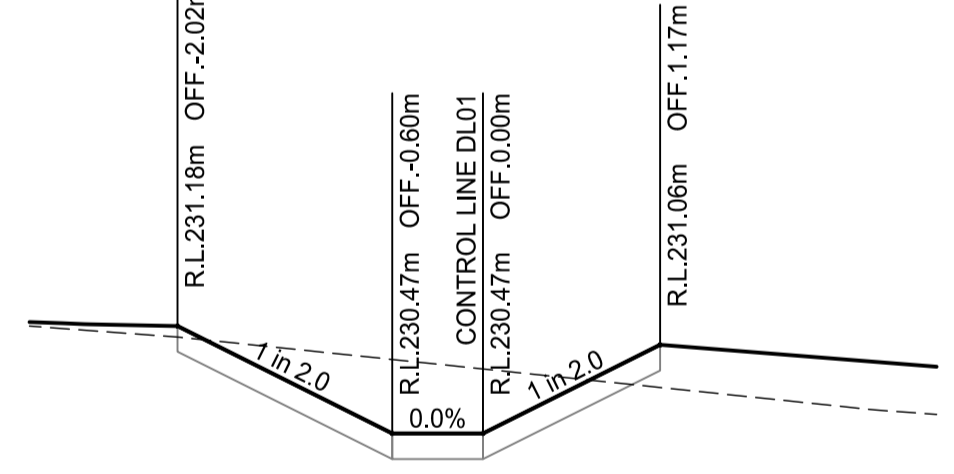
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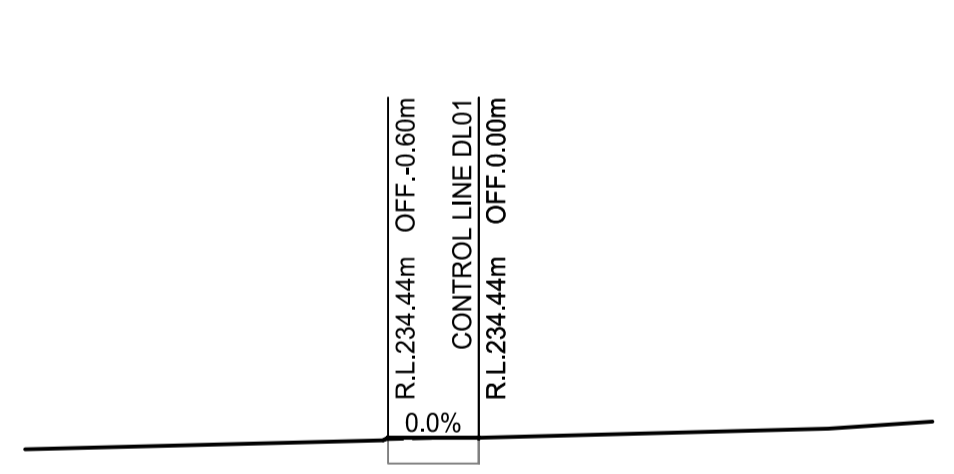
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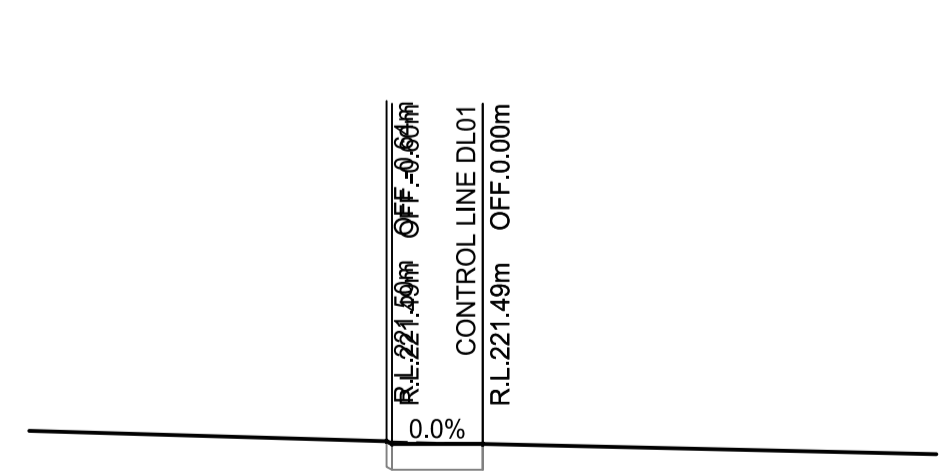
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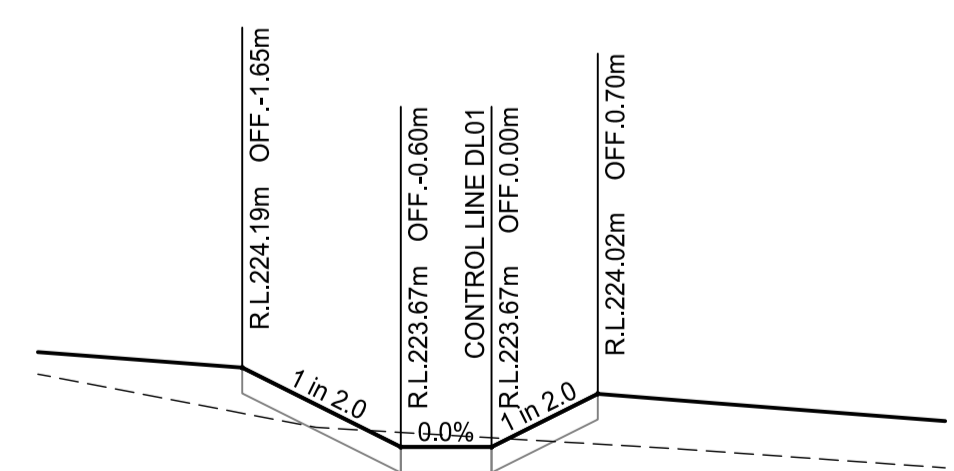
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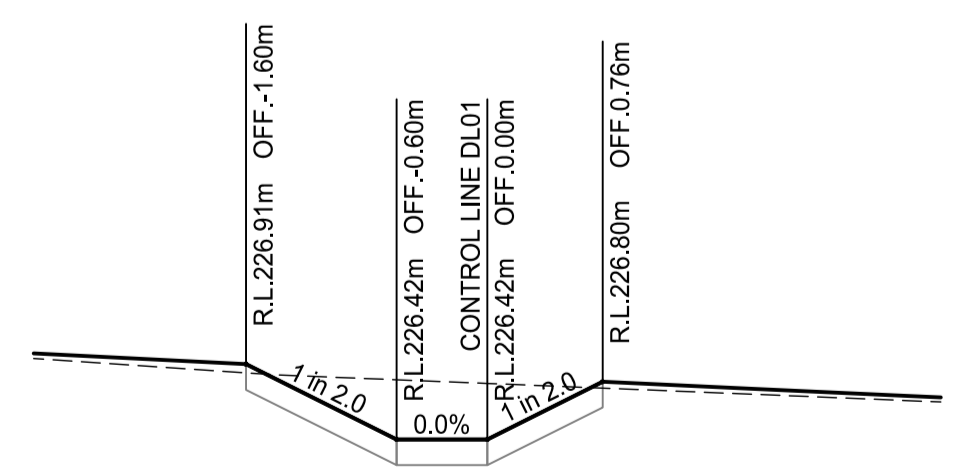
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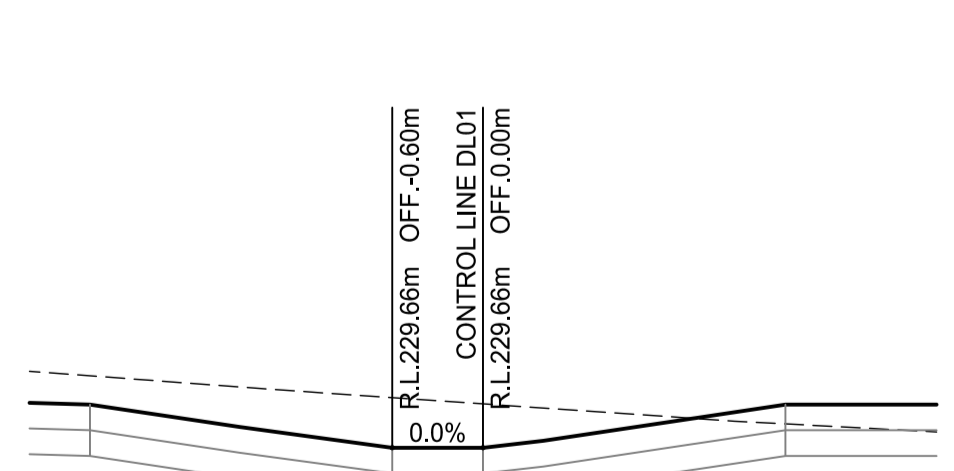
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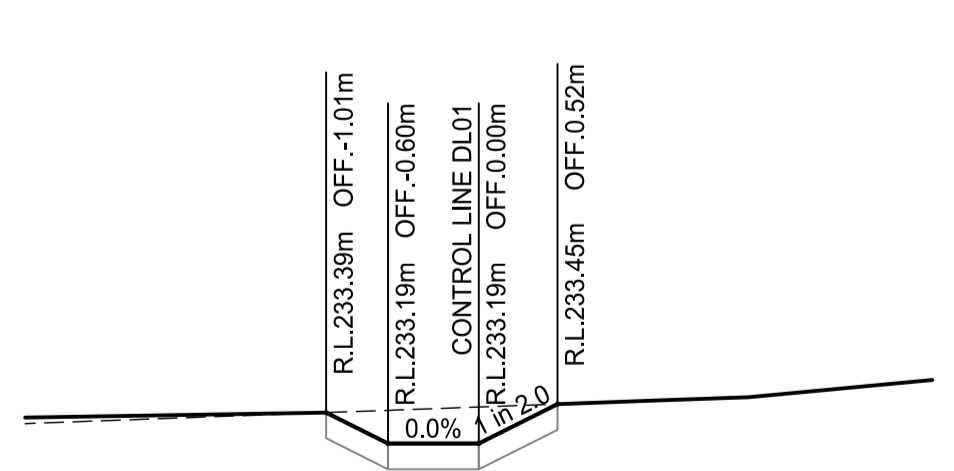
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CH 140

PROJECT STAMP

FOR CONSTRUCTION

DRAWING SCALE

SCALE 1:50 @ A1 1:100 @ A3

ISSUE/REVISION

ISSUE	REV	DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

NSG 23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20



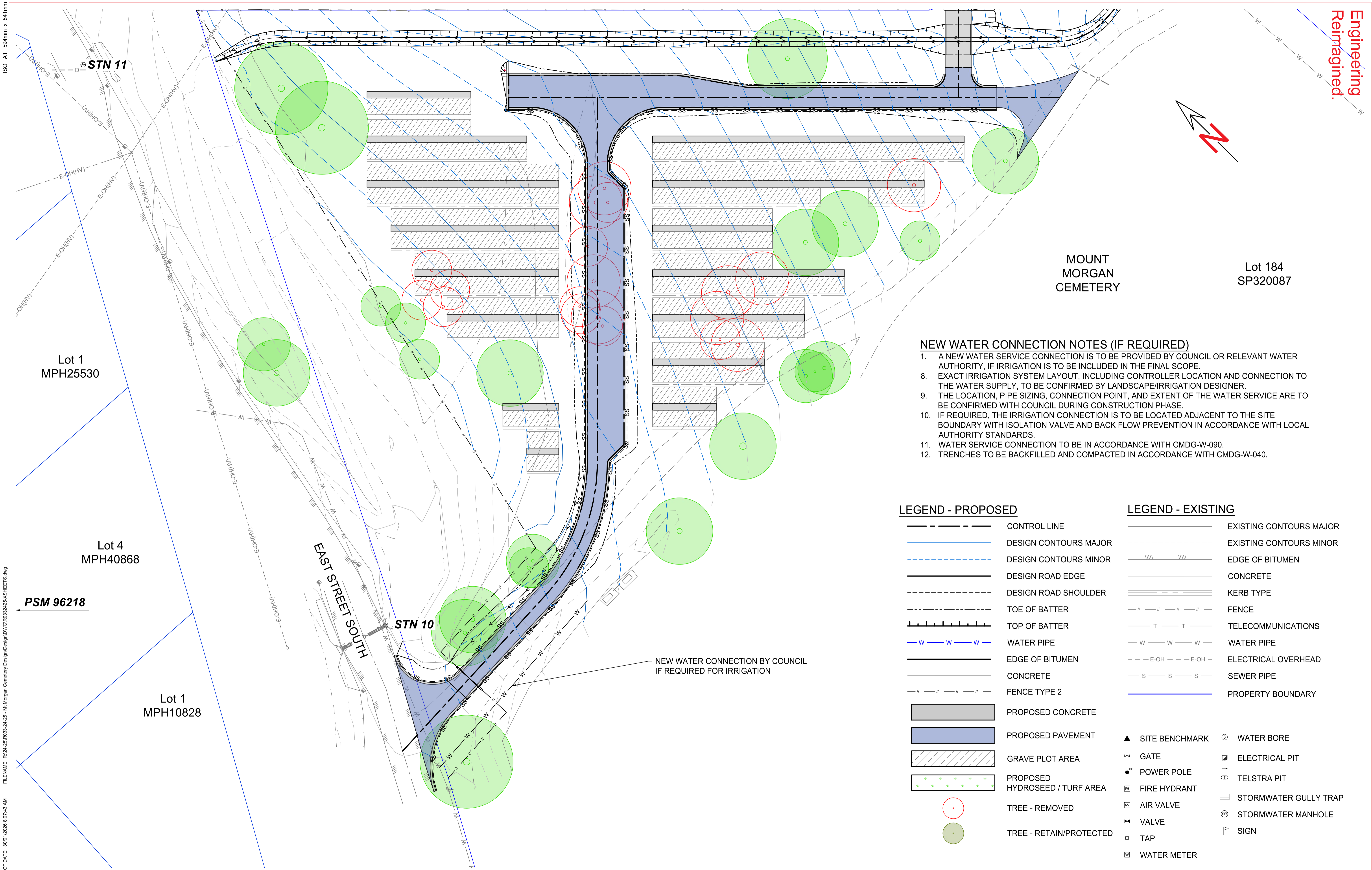
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 PH (07) 4921 1780 | mail@mcmengineers.com | MCMENGINEERS.COM

PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
 PROJECT MOUNT MORGAN CEMETERY EXPANSION
 TITLE CROSS SECTIONS CONTROL LINE DL01
 DRAWING NUMBER R0332425-3002

REVISION **B**

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MOUNT MORGAN CEMETERY
Lot 184 SP320087

NEW WATER CONNECTION NOTES (IF REQUIRED)

1. A NEW WATER SERVICE CONNECTION IS TO BE PROVIDED BY COUNCIL OR RELEVANT WATER AUTHORITY, IF IRRIGATION IS TO BE INCLUDED IN THE FINAL SCOPE.
8. EXACT IRRIGATION SYSTEM LAYOUT, INCLUDING CONTROLLER LOCATION AND CONNECTION TO THE WATER SUPPLY, TO BE CONFIRMED BY LANDSCAPE/IRRIGATION DESIGNER.
9. THE LOCATION, PIPE SIZING, CONNECTION POINT, AND EXTENT OF THE WATER SERVICE ARE TO BE CONFIRMED WITH COUNCIL DURING CONSTRUCTION PHASE.
10. IF REQUIRED, THE IRRIGATION CONNECTION IS TO BE LOCATED ADJACENT TO THE SITE BOUNDARY WITH ISOLATION VALVE AND BACK FLOW PREVENTION IN ACCORDANCE WITH LOCAL AUTHORITY STANDARDS.
11. WATER SERVICE CONNECTION TO BE IN ACCORDANCE WITH CMDG-W-090.
12. TRENCHES TO BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH CMDG-W-040.

LEGEND - PROPOSED

- CONTROL LINE
- DESIGN CONTOURS MAJOR
- DESIGN CONTOURS MINOR
- DESIGN ROAD EDGE
- DESIGN ROAD SHOULDER
- TOE OF BATTER
- TOP OF BATTER
- W --- W --- W --- WATER PIPE
- EDGE OF BITUMEN
- CONCRETE
- FENCE TYPE 2
- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- GRAVE PLOT AREA
- PROPOSED HYDROSEED / TURF AREA
- TREE - REMOVED
- TREE - RETAIN/PROTECTED

LEGEND - EXISTING

- EXISTING CONTOURS MAJOR
- EXISTING CONTOURS MINOR
- EDGE OF BITUMEN
- CONCRETE
- KERB TYPE
- FENCE
- TELECOMMUNICATIONS
- W --- W --- W --- WATER PIPE
- E-OH --- E-OH --- ELECTRICAL OVERHEAD
- S --- S --- S --- SEWER PIPE
- PROPERTY BOUNDARY
- ▲ SITE BENCHMARK
- ⊥ GATE
- POWER POLE
- ⊠ FIRE HYDRANT
- ⊠ AIR VALVE
- ⊠ VALVE
- TAP
- ⊠ WATER METER
- ⊙ WATER BORE
- ⊠ ELECTRICAL PIT
- ⊠ TELSTRA PIT
- ⊠ STORMWATER GULLY TRAP
- ⊙ STORMWATER MANHOLE
- ⊠ SIGN

NEW WATER CONNECTION BY COUNCIL IF REQUIRED FOR IRRIGATION

ISO A1 594mm x 841mm
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PLOT DATE: 30/01/2026 8:07:43 AM

FOR CONSTRUCTION

PROJECT STAMP

DRAWING SCALE

SCALE 1:250 @ A1 1:500 @ A3

ISSUE/REVISION		DATE	DES	DESCRIPTION
IFC	A	18/11/2025	MH	ISSUED FOR CONSTRUCTION
IFC	B	22/01/2026	MH	LOT BOUNDARY VARIATION & ACCESS RD EXTENSION

PROJECT MANAGEMENT

23569

RPEQ CERTIFICATION		
MH	RB	RB
DESIGNER	CHECKED	APPROVED
INTERNAL PROJECT NO.	R0332425	
DATUM	AHD	SURVEY GDA '20

M MCE
McMurtrie Consulting Engineers

ROCKHAMPTON | BUNDABERG
PH (07) 4921 1780 | mail@mcmengineers.com | MCMENGINEERS.COM

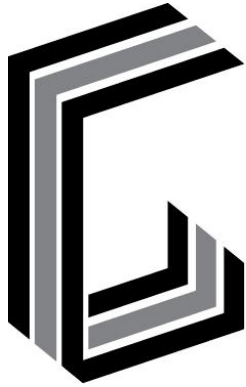
PROJECT IDENTIFIER

CLIENT ROCKHAMPTON REGIONAL COUNCIL
PROJECT MOUNT MORGAN CEMETERY EXPANSION
TITLE WATER RETICULATION PLAN

DRAWING NUMBER R0332425-4001

REVISION B

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GIDEON

TOWN PLANNING

PLANNING REPORT

MATERIAL CHANGE OF USE FOR A CEMETERY (EXPANSION)

**CEMETERY ROAD
MOUNT MORGAN
QLD 4714**

LOT 184 SP355353

Rockhampton Regional Council

10 March 2026

DOCUMENT CONTROL SHEET

Report Details	
Document Title:	Planning Report
Author:	LS/GHG
Client:	Rockhampton Regional Council
Reference:	GTP 2570

Document Status			
Revision No	Date	Author	Reviewer
Original	17/11/2025	DC	GHG
Final	10/03/2025	LS	GHG

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TABLE OF CONTENTS

1.0 INTRODUCTION	1
2.0 Project Overview	2
2.1 Site Details	2
2.2 Application Details	2
3.0 CHARACTERISTICS OF SITE AND SURROUNDING AREA	3
3.1 Site Details and Location	3
3.2 Site Characteristics	4
3.2.1 Area & Configuration	4
3.2.2 Topography and landscaping	4
3.2.3 Existing Infrastructure and Build Form	4
3.2.4 Vehicle access and car parking	4
3.2.5 Urban Services	4
3.2.6 Easements	5
4.0 DEVELOPMENT PROPOSAL	6
4.1 Proposal Description	6
4.1.1 Access and car parking	7
4.1.2 Landscaping	7
4.1.3 Stormwater Management	7
4.1.4 Waste Management	7
4.1.5 Services	7
5.0 REVIEW OF LEGISLATIVE REQUIREMENTS	8
5.1 Assessment Overview	8
5.1.1 Matters to be assessed	8
5.2 Rockhampton Region Planning Scheme 2015	9
5.2.1 Planning Scheme Definitions	9
5.2.2 Planning Scheme Zone	9
5.2.3 Level of Assessment	9
5.2.4 Planning Scheme Overlays and Codes	9
5.2.5 Other Planning Scheme Codes	10
5.2.6 Strategic Framework	15
5.2.7 Planning Scheme Policies	17
5.3 State Government Planning Framework	17
5.3.1 Central Queensland Regional Plan 2013	17
5.3.2 State Planning Policy 2016	17
5.3.3 State Planning Regulatory Provisions	17
6.0 Referrals	18
6.1 Transport Infrastructure	18
6.2 Heritage	18
7.0 CONCLUSION	20

LIST OF FIGURES

Figure 1 Site Location Context	3
Figure 2 Zoning	3
Figure 3 Road hierarchy and access points	4
Figure 4 Site Council Infrastructure	5
Figure 5 Proposal Plans	6

LIST OF TABLES

Table 1 Planning Scheme Overlays and Codes	9
Table 2 Other Planning Scheme Codes	10
Table 3 Alignment with Zone Purpose and Overall Outcomes.....	11
Table 4 Settle Pattern	15
Table 5 Natural Environment and Hazards.....	15
Table 6 Community Identity and Diversity	16
Table 7 Access and Mobility.....	16
Table 8 Infrastructure and Services.....	16
Table 9 Natural Resources and Economic Development	17

APPENDICES

DA FORM 1	A
TITLE SEARCH	B
PROPOSAL PLANS	C
CODE ASSESSMENT	D
STATE CODE 1	E

1.0 INTRODUCTION

This Planning Report has been prepared on behalf of *Rockhampton Regional Council* in support of a Development Application for Material Change of Use Cemetery (expansion) at 2 Cemetery Road, Mount Morgan, on land described as Lot 184 on SP355353.

In accordance with the *Rockhampton Region Planning Scheme 2015* (Planning Scheme) and pursuant to the *Planning Act 2016*, the proposed development constitutes Assessable Development in the combined Community Facilities Zone and Low Density Residential Zone, requiring a Development Permit for a Material Change of Use (Impact Assessment).

The development proposal is to expand Mount Morgans Cemetery to provide an additional 467 new grave sites in the northern corner of the subject site.

It is considered that the proposal is consistent with the Overall Outcomes of the Community Facilities Zone and Low Density Residential Zone based on the following:

- The proposal represents an extension of the existing cemetery, a community use, and is consistent with the intended purpose of the zones.
- The expansion will not alter the amenity or characteristics of the surrounding area, as the cemetery is an established use on the site.
- The development continues to meet community needs in Mount Morgan and the surrounding region.
- No major structures or buildings are proposed, ensuring the existing built form and site layout are maintained.
- The proposal is not expected to increase noise, odour, lighting, overlooking, or traffic impacts on nearby sensitive land uses.
- The expansion is located outside the Heritage Overlay on relatively level ground, with no significant environmental constraints.
- Internal access is provided to the expanded cemetery area, with primary access maintained via East Street South and Cemetery Road.
- The proposal is a logical and compatible extension of an established community facility that respects the character, amenity, and functionality of the site and surrounding area.

This report addresses the relevant Codes and Policies of the Planning Scheme and relevant State planning instruments. Supporting information is provided to identify compliance with the acceptable outcomes of the applicable planning scheme codes and demonstrate planning merit for the proposed development.

The proposed development is considered to satisfy the relevant requirements of the regional, State, and local planning instruments. The development accords with the relevant Planning Scheme Codes and maintains the outcomes sought for the Community Facilities Zone and Low Density Residential Zone. It is considered that the proposal has merit and warrants favourable consideration by the Council.

2.0 PROJECT OVERVIEW

2.1 Site Details

Property Address: Cemetery Road, Mount Morgan

Property Description: Lot 184 on SP355353

Encumbrances: N/A

Registered Owner Rockhampton Regional Council

Total Site Area: 5.50 hectares

2.2 Application Details

Applicant: **Rockhampton Regional Council**
c/- Gideon Town Planning

Approval Type: Development Permit for Material Change of Use

Description of proposal Cemetery (expansion)

Local Government Area: Rockhampton Regional Council

Assessment Manager: Rockhampton Regional Council

Planning Scheme: Rockhampton Region Planning Scheme 2015, V5

Zoning: Community Facilities Zone and Low Density Residential Zone

Overlays:

- Biodiversity Area – Matters of State Environmental Significance (MSES)
- Bushfire Hazard Area – Buffer Area
- Flood Hazard – Planning Area 1 and 2; Local Catchment DFE
- Heritage Place (portional area onsite)
- Steep Land – 15-20%; 20-25%
- Road Hierarchy – Highway and Rural Access
- Sewer Planning Area
- Transport Noise Corridor – Main Roads Noise Corridor Category 0
- Water Supply Planning Area

Level of Assessment: Impact Assessment

Relevant Code: Zone and Development Codes:

- Low Density Residential Zone
- Community Facilities Zone Code
- Access, Parking and Transport Code
- Landscape Code
- Stormwater Management Code
- Waste Management Code
- Water and Sewer Code

Referral Agencies: SARA

- State-Controlled Road

Regional Plan: Central Queensland Regional Plan 2013

3.0 CHARACTERISTICS OF SITE AND SURROUNDING AREA

3.1 Site Details and Location

The subject site is located at Cemetery Road, Mount Morgan, on land described as Lot 184 on SP355353. The site is situated approximately 1km south of the Mount Morgan CBD (Figure 1).

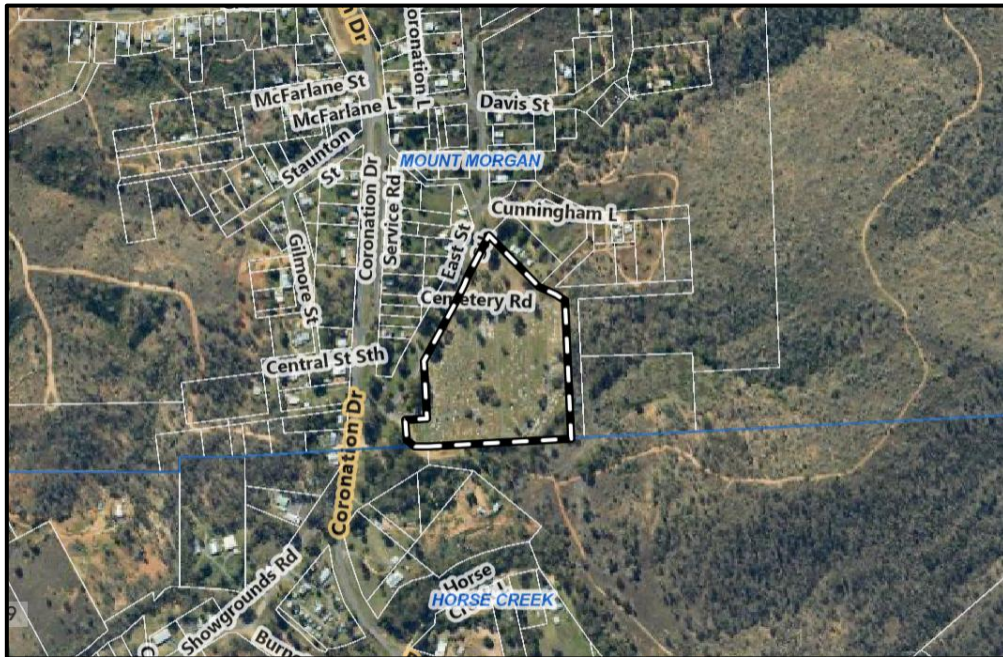


Figure 1 Site Location Context
Source: RRC Interactive Mapping

The subject site is split-zoned, comprising land within both the Community Facilities Zone and the Low Density Residential Zone. These two zones are physically separated by Cemetery Road, which traverses the site and forms the boundary between the zoning designations. The proposed expansion is located within the Low density Residential Zone.

The surrounding area includes land within the Residential, Rural Residential, and Rural zoned areas to the north; Rural zoned land to the east; Rural and Rural Residential zoned land to the south; and a mix of Residential, Open Space, and Rural Residential zoning to the west.

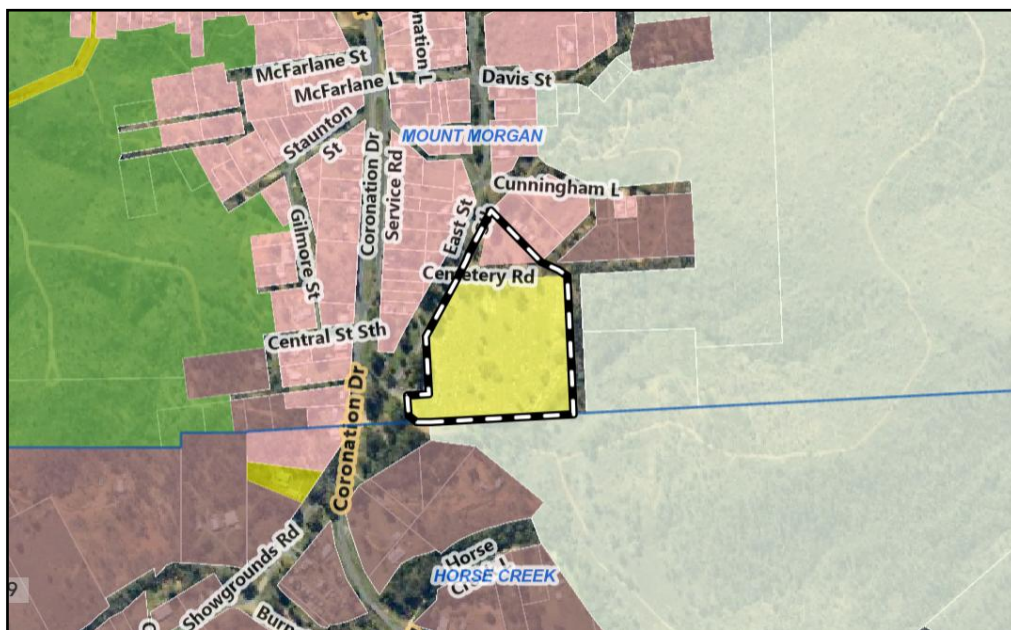


Figure 2 Zoning
Source: RRC Interactive Mapping

3.2 Site Characteristics

3.2.1 Area & Configuration

The subject site has an irregular configuration with a total area of 5.50 hectares. It has approximately 332 metres of frontage to East Street South and a further 260 metres of road frontage to an unnamed road along the eastern boundary. The subject site was created following the amalgamation of two (2) lots, being Lot 3614 on MPH10984 and Lot 184 on SP320087 (existing Mount Morgan Cemetery)

3.2.2 Topography and landscaping

The subject site slopes downward from the north-eastern portion of the land towards the road frontage, with levels falling from approximately 232m AHD to 221m AHD.

3.2.3 Existing Infrastructure and Build Form

The subject site is currently an existing Cemetery in the southern portion. There are no existing structures on the portion of the site where the development expansion is proposed.

3.2.4 Vehicle access and car parking



Figure 3 Road hierarchy and access points

Source: RRC Interactive Mapping, edited by the author

The site has three existing access points:

1. To the north, via East Street South (rural-standard access), which connects through to Cemetery Road.
2. To the south, via East Street South, which further intersects with Coronation Drive (a State-controlled road), providing access to the existing internal driveway network.
3. To the north-west, via an unnamed road.

There is no designated car parking area on the site; however, sufficient space is available for vehicles to park along the internal driveway network.

3.2.5 Urban Services

The subject site is serviced by the following urban services:

- Water infrastructure is located within East Street South (blue on insert map below)
- No sewer available within the street frontage.
- Stormwater infrastructure is available within East Street South.

- Electrical infrastructure, not owned or managed by Council, is available along the road frontage of the subject sites.
- Telecommunications infrastructure, not owned or managed by Council, is available along the road frontage of the subject sites.

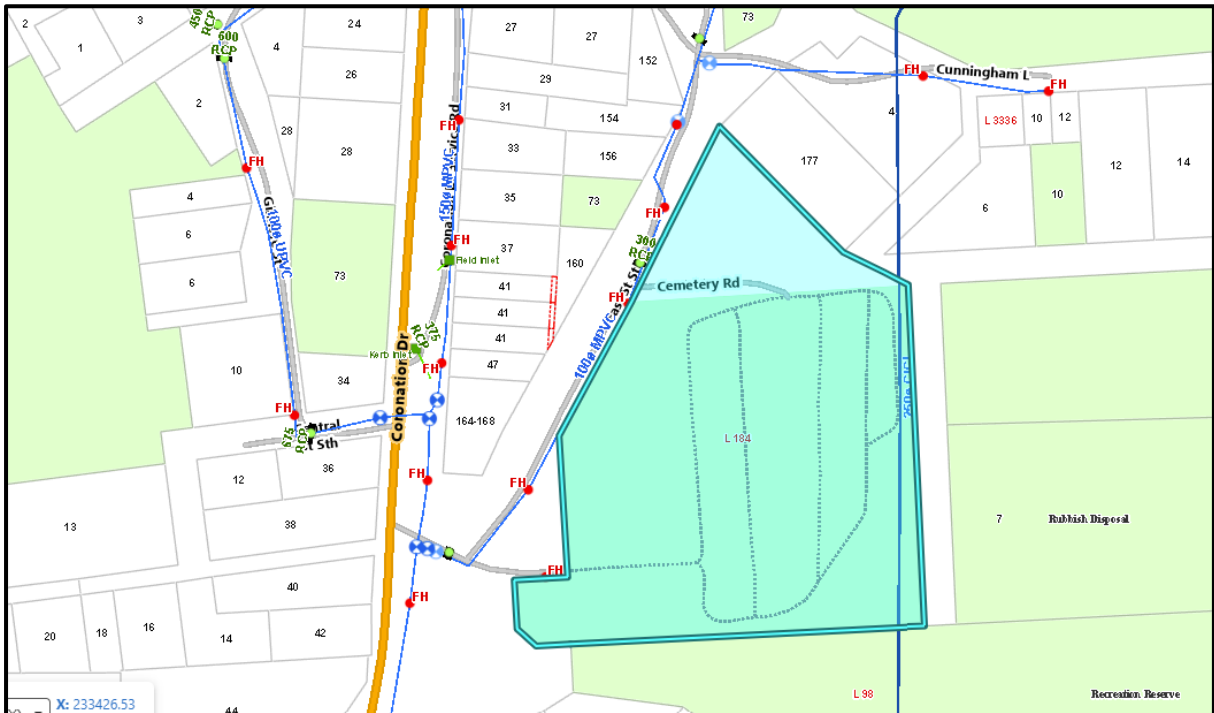


Figure 4 Site Council Infrastructure
 Source: RRC Interactive Mapping

3.2.6 Easements

The subject site does not contain any easements.

4.0 DEVELOPMENT PROPOSAL

4.1 Proposal Description

The proposal seeks to expand the existing Mount Morgan Cemetery into the northern portion of the subject site. The expansion will provide 467 additional grave sites and include the construction of a new internal driveway to service the extended burial area.

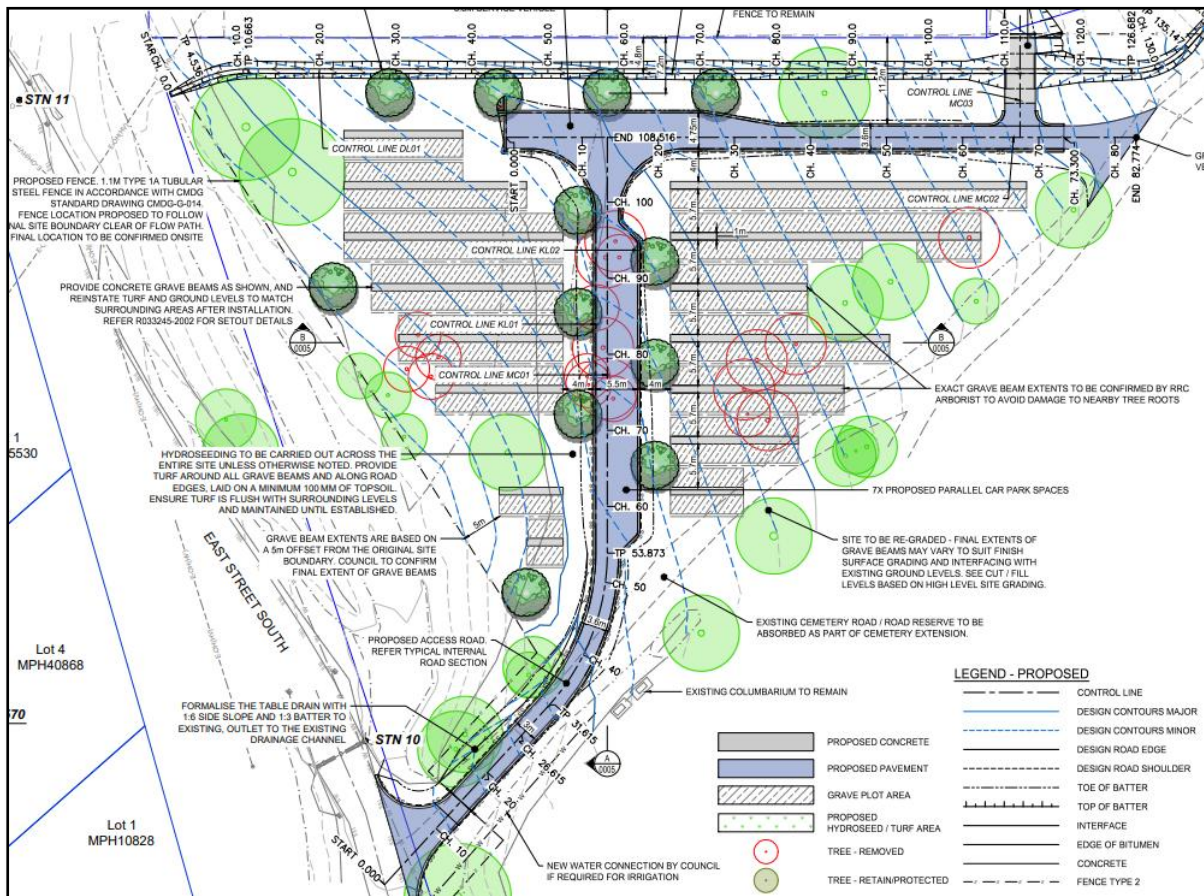


Figure 5 Proposal Plans

Source: MCE Consulting Engineers

A new internal driveway will extend from East Street South in an eastern direction, then turn north-eastward, creating a central driveway through the development site. From here, the driveway turns to the southeast to connect to the existing cemetery. The grave sites are located on both sides of the driveway. No buildings or other structures are proposed as part of the Cemetery expansion.

Buffer setbacks have been incorporated to maintain separation between the new grave sites and site boundaries, as follows:

- North boundary: 19.95 metres
- East boundary: minimum 4 metres
- Western boundary: minimum 5 metres, with frontage to East Street South

The expansion will involve the removal of a small number of trees to accommodate the additional grave sites. Grave beams will be installed in consultation with the Council's Arborist to retain surrounding vegetation and avoid damage to nearby tree roots. Earthworks are required, with a total cut volume of 820 m³ and a fill volume of 320 m³, to establish the new grave sites and the internal driveway.

4.1.1 Access and car parking

The proposed internal driveway will be at least 3 metres wide, connecting the northern and southern portions of the site. Seven (7) parallel car parking spaces are proposed along the eastern section of the internal driveway.

4.1.2 Landscaping

The development proposed to use hydroseed to establish turf across the expanded Cemetery area. Approximately 21 trees located in the centre of the northern site will be removed to accommodate the new grave sites and internal driveway. The layout retains 16 established trees along the northern boundaries and incorporates 12 new trees to offset the removal of existing vegetation.

4.1.3 Stormwater Management

An angular rock-lined drainage channel is proposed along the northeastern property boundary. No external works are proposed.

4.1.4 Waste Management

The existing standard Council waste bins will be utilised for any refuse generated on site.

4.1.5 Services

The development will retain all existing connections to all services, including water and electricity. Sewer infrastructure is not available to the subject site.

5.0 REVIEW OF LEGISLATIVE REQUIREMENTS

5.1 Assessment Overview

5.1.1 Matters to be assessed

In accordance with the *Rockhampton Region Planning Scheme 2015* and, in particular, in accordance with *Table 5.4.1.1 and 5.4.6.1 Table of Assessment for Material Change of Use in Community Facilities Zone and Low Density Residential Zone*, the proposed development is subject to **Impact Assessment**.

According to Section 45(5) of the Planning Act:

"(5) An impact assessment is an assessment that—

- a) *must be carried out—*
 - i. *against the assessment benchmarks in a categorising instrument for the development; and*
 - ii. *having regard to any matters prescribed by regulation for this subparagraph; and*
- b) *may be carried out against, or having regard to, any other relevant matter, other than a person's personal circumstances, financial or otherwise."*

Assessment benchmarks are described in Section 30 of the Planning Regulation 2017 ("Planning Regulation"):

- (1) For section 45(5)(a)(i) of the Act, the impact assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.
- (2) Also, if the prescribed assessment manager is the local government, the impact assessment must be carried out against the following assessment benchmarks—
 - a) *the assessment benchmarks stated in—*
 - i. *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - ii. *the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - iii. *a temporary State planning policy applying to the premises;*
 - b) *(b) if the development is not in a local government area—any local planning instrument for a local government area that may be materially affected by the development;*
 - c) *(c) if the local government is an infrastructure provider—the local government's LGIP*
- (3) However, an assessment manager may, in assessing development requiring impact assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development."

The following sections include an assessment of the proposal against the relevant components of the *Rockhampton Region Planning Scheme 2015* and the relevant State Government planning instruments and legislative requirements.

5.2 Rockhampton Region Planning Scheme 2015

5.2.1 Planning Scheme Definitions

Under the *Rockhampton Region Planning Scheme 2015*, the proposal has been defined as:

Cemetery —

Cemetery means the use of premises for the interment of bodies or ashes after death.

Examples include:

Burial ground, crypt, columbarium, lawn cemetery, pet cemetery, mausoleum.

The use, as described in section 4, aligns with the above land use definition.

5.2.2 Planning Scheme Zone

The subject site is located within the Community Facilities Zone and Low Density Residential Zone under the *Rockhampton Region Planning Scheme 2015*.

5.2.3 Level of Assessment

As previously discussed, the proposed Material Change of Use in accordance with *Table 5.4.2.6.2 Table of Assessment for Material Change of Use in the Community Facilities Zone and Low Density Residential Zone within the Rockhampton Region Planning Scheme 2015* is **Impact Assessable**.

5.2.4 Planning Scheme Overlays and Codes

The site is affected by the following Planning Scheme Overlays.

Table 1 Planning Scheme Overlays and Codes

Overlays	Relevant Code	Comment
Biodiversity Area – Matters of State Environmental Significance (MSES)	Biodiversity Overlay Code	The proposed development expansion is not within the existing MSES areas. Therefore, it is not deemed necessary to address the code in full. This overlay is not further discussed in this application.
Bushfire Hazard Area – Buffer Area	Bushfire Hazard Overlay Code	The subject site is affected by a buffer area in the south-eastern corner of the site. The proposed development is not within this catchment area. Therefore, it is not deemed necessary to address the code in full. This overlay is not further discussed in this application.
Flood Hazard – Planning Area 1 and 2; Local Catchment DFE	Flood Hazard Overlay Code	The subject site is affected by a local catchment flood area in the north-western corner of the site. The proposed development is not within this catchment area. Therefore, it is not deemed necessary to address the code in full. This overlay is not further discussed in this application.
Hertiage Place (portional area onsite)	Hertiage Place Overlay Code	The subject site is affected by the Hertiage Place overlay from Cemetery Road to the southern boundary. The proposed development is not located within this area. Notwithstanding this, it is considered that the proposed driveway and associated landscaping will not impact the significance of the hertiage place.

Accordingly, it is not considered necessary to address the Heritage overlay code in full, and this overlay is not discussed further as part of this application.

Steep Land – 15-20%; 20-25%	Steep Land Overlay Code	The subject site is affected by Steep land located along the eastern boundary of the site. The proposed development is not within this area for the grave sites. Therefore, it is not deemed necessary to address the code in full. This overlay is not further discussed in this application.
Road Hierarchy – Highway and Rural Access	N/A	It is noted that Cemetery Road is designated as Rural Access under the planning scheme.
Transport Noise Corridor – Main Roads Noise Corridor Category 0	N/A	Noted.

The proposed development is consistent with the outcomes sought for the Planning Scheme Overlay provisions as they apply to the subject site.

5.2.5 Other Planning Scheme Codes

The following other Planning Scheme Codes have been identified as being relevant to the assessment of proposed development:

Table 2 Other Planning Scheme Codes

Code	Comment
Low Density Residential Zone	The proposed Cemetery expansion is consistent with the purpose and overall outcomes of the Low Density Residential Zone. The development maintains the established character of the locality and does not introduce built form or urban-style intensification. A detailed assessment against the relevant provisions is provided in <i>Appendix D – Code Assessment</i> .
Community Facilities Zone Code	The expansion of the existing cemetery aligns with the intent of the Community Facilities Zone, which provides for land uses that serve community needs. The proposal represents a logical extension of an established community use and is consistent with the zone's purpose. As the expansion occurs outside the Community Facilities Zone, a detailed assessment against the Code is not considered necessary.
Access, Parking and Transport Code	The development utilises existing access arrangements from East Street South via Coronation Drive (State-controlled road) and connects to the established internal access network of the Cemetery. The proposal includes seven (7) parallel car parking spaces within the new internal driveway. Given the minor scale of infrastructure works and the continuation of established access patterns, the development is consistent with the intent of the Code and does not warrant a full assessment.
Landscape Code	The proposal includes hydroseeded turf across the northern expansion area, removal of approximately 21 centrally located trees to accommodate graves and the internal driveway, retention of 16 established boundary trees, and planting of 12 new trees to offset removals. Landscaping outcomes remain appropriate to the site's setting, and the overall character is maintained. A full assessment of the Code is therefore not considered necessary.

Stormwater Management Code	No buildings or roofed structures are proposed, and the development does not alter existing stormwater management practices beyond minor earthworks associated with graves and the driveway. Accordingly, the intent of the Code is maintained without the need for detailed assessment.
Waste Management Code	The expansion is expected to generate minimal waste, significantly less than commercial uses. Standard Council waste collection services will be utilised if required. The proposal remains consistent with the intent of the Code and does not necessitate a detailed assessment.
Water and Sewer Code	The development will retain existing connections to Council's reticulated water supply. No sewer infrastructure is available at the site. Any new water connection required for the expansion will be designed in accordance with CMDG-W-090, with details to be confirmed during the construction phase. As no significant new servicing demand is generated, a full assessment of the Code is not considered necessary.

5.2.5.1 Low Density Residential Zone Code

Table 3 below provides an assessment of the proposed development against the purpose and overall outcomes for the Low Density Residential Zone.

Table 3 Alignment with Zone Purpose and Overall Outcomes

Low Density Residential Zone Purpose	Development Alignment
<p>The purpose of the low density residential zone code is to:</p> <ul style="list-style-type: none"> (a) provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop; (b) provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area; (c) minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and (d) ensure that development within the zone has appropriate standards of infrastructure and essential services. 	<p>Although the proposed expansion of the cemetery is mapped within the Low Density Residential Zone, the area forms part of a single lot that is predominantly used for the existing Mount Morgan Cemetery, which is located within the Community Facilities Zone to the south.</p> <p>Given that the majority and primary use of the subject site is the cemetery, the northern area does not function as a standalone residential parcel capable of accommodating conventional low density residential development due to its configuration and integration with the broader cemetery site. The proposal does not introduce buildings, urban-style built form, or residential intensification. Instead, it represents a logical and orderly continuation of an existing community facility use across the balance of the lot.</p> <p>The expansion maintains appropriate setbacks to adjoining residential land, preserves the existing character and amenity of the locality, and retains adequate servicing arrangements. As the development is an extension of an established lawful use on one consolidated lot, it does not create additional land use conflict nor undermine the intent of the zone.</p> <p>Accordingly, notwithstanding the Low Density Residential zoning over part of the land, the continuation and modest expansion of the cemetery use is considered appropriate and consistent with the purpose of the zone in this particular context.</p>

The purposes of the zone will be achieved through the following overall outcomes:

- (a) development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally a low-rise, 1-2 storey built form and low density character with small scale, detached buildings;
- (b) residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in d.;
- (c) low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university, etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;
- (d) short-term accommodation only occurs where it:
 - a. is established in an existing dwelling;
 - b. does not adversely impact on the amenity of the surrounding residential area;
 - c. maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and
 - d. is limited in scale and duration;
- (e) non-residential uses only occur within the zone where they:
 - i. do not compromise the residential character and existing amenity of the surrounding area;
 - ii. are small-scale and consistent with the surrounding urban form;
 - iii. primarily function to service the needs of the immediate local residential community;
 - iv. do not detract from the role and function of centres;
 - v. do not result in the expansion of a centre zone; and
 - vi. have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;

Overall Outcomes (a)–(d) primarily relate to the form and type of residential development anticipated within the zone; however, the proposal does not introduce any residential uses, buildings or structures within the Low Density Residential area. Instead, it represents a logical extension of the established cemetery use across the broader site.

As no built form, short-term accommodation, or higher-intensity residential activities are proposed, the development does not alter the prevailing low-rise, low-density character of the locality or adversely affect residential amenity. Infrastructure services remain available to the site, and the expansion does not compromise the underlying intent of these overall outcomes.

Although the proposal involves a non-residential use within the portion of the site mapped Low Density Residential, it represents a minor expansion of the existing Mount Morgan Cemetery on a single allotment where the predominant use is a community facility.

The expansion does not introduce buildings or urban-style development, and it maintains the existing residential character and amenity of the surrounding area. The cemetery primarily serves the local community, does not detract from the function or role of existing centres, and does not result in the expansion of any centre or industrial area.

No new neighbourhood or higher-order centres are proposed, and the site is not located within a greenfield area intended for full-line supermarkets. Accordingly, the development is consistent with

- (f) no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;
- (g) neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;
- (h) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;

Overall Outcomes (e)–(h) and aligns with the intended use and character of the zone.

- (i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
- (j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
- (k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;
- (l) new residential developments are located and integrated with existing neighbourhoods;
- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;
- (n) development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;
- (o) development is serviced by infrastructure that is commensurate with the needs of the use; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
- (q) Fitzroy River accommodation precinct; and
- (r) Residential stables precinct.

The proposed expansion of the Mount Morgan Cemetery does not introduce any buildings or structures and therefore does not alter the streetscape, built form, or appearance of the site. While the development does not activate street fronts in the traditional residential sense, it maintains visual integration with surrounding areas and preserves residential amenity, with no impacts from traffic, noise, dust, odour, lighting, or other localised factors.

The cemetery is an existing, compatible use that maintains appropriate separation from residential and other sensitive land uses. The expansion does not conflict with local heritage, environmental constraints, or sustainable design principles and is serviced by existing infrastructure, including access via East Street South and Coronation Drive. The site is not within a designated precinct such as the Fitzroy River Accommodation or Residential Stables Precinct. Accordingly, the proposal is considered consistent with Overall Outcomes (i)–(r) of the Low Density Residential Zone Code.

As demonstrated in the above table, the development generally complies with the purpose and overall outcomes for the Low Density Residential Zone.

5.2.5.2 Community Facilities Zone Code

Table 4 below provides an assessment of the proposed development against the purpose and overall outcomes for the Community Facilities Zone Code.

Community Facilities Zone Code Purpose	Development Alignment
<p>1. The purpose of the community facilities zone code is to:</p> <ul style="list-style-type: none"> (a) provide for priority development areas regulated by planning instruments other than the planning scheme including the Central Queensland University (CQU) Rockhampton development scheme; (b) provide for a range of community activities, equally distributed throughout urban and rural areas that are easily accessible by all members of the community; (c) facilitate collocation of community and recreation uses to strengthen their community focus; (d) integrate community related activities with the amenity and characteristics of the surrounding area. 	<p>The proposed expansion to the existing Cemetery is located within the Low Density Residential Zone for the proposed development. While the proposed extension is not within the Community Facilities Zone, the proposal does align with the purpose of the Community Facilities Zone Code and is consistent minimal impact to surrounding amenity and characteristics of the surrounding area.</p>
Community Facilities Zone Code Overall Outcomes	Development Alignment
<p>2. The purpose of the zone will be achieved through the following outcomes:</p> <ul style="list-style-type: none"> a. development in the zone includes predominantly community related uses; b. a limited range of recreation uses, club, food and drink outlet, market and residential uses occur where they: <ul style="list-style-type: none"> i. are small in scale; ii. are ancillary to a community related activity on the site; iii. are compatible with and support the development of the zone for community related activities; and iv. do not undermine the role and function of centres; c. development ensures that community related activities remain the dominant use and continue to effectively meet the community needs; d. the built form and site layout integrates with the surrounding areas unless separation is required for operational or safety requirements; e. development minimises the impacts of noise, odour, lighting, overlooking and traffic on nearby sensitive land use(s); f. development is located and designed to respond to local heritage features, 	<p>The proposed expansion of the existing cemetery, while located within the Low Density Residential Zone, aligns with the purpose and overall outcomes of the Community Facilities Zone Code. The development represents a continuation of an established community use, with minimal impact on surrounding residential amenity and character.</p> <p>No buildings or structures are proposed, and appropriate buffer setbacks to adjoining lots are provided to manage potential noise, odour, lighting, and traffic impacts on properties to the north.</p> <p>A new internal driveway will provide safe and accessible access for visitors, including older and less mobile people. Existing infrastructure services, including water, roads, and stormwater, are available and sufficient to support the expanded use. Accordingly, the proposal is consistent with the intended outcomes of the Community Facilities Zone, ensuring that community-related activities remain the dominant use and continue to meet local community needs.</p>

- natural landscape features and environmental constraints;
- g. development is easily accessible to residents (including older, less mobile people and people with disabilities) served by the facility and is well located in relation to public and [active transport](#) networks;
 - h. development is serviced by infrastructure that is commensurate with the needs of the use; and
 - i. the establishment of one (1) precinct within the zone where particular requirements are identified:
 - i. Rockhampton health services precinct.

As demonstrated in the above table, the development generally complies with the purpose and overall outcomes for the Community Facilities Zone Code.

5.2.6 Strategic Framework

The strategic framework themes and their strategic outcomes, as identified within Part 3 of the *Rockhampton Region Planning Scheme 2015*, are applicable.

5.2.6.1 Settlement Pattern

Table 4 Settle Pattern

Element	Comment
<i>Natural conservation, open space and natural corridor or link</i>	The development proposal does not relate to or impact this element.
<i>Township</i>	The development proposal does not relate to or impact this element.
<i>Rural residential</i>	The development proposal does not relate to or impact this element.
<i>Rural</i>	The development proposal does not relate to or impact this element.
<i>Industrial</i>	The development proposal does not relate to or impact this element.
<i>Urban and new urban</i>	The development proposal does not relate to or impact this element.
<i>Future urban</i>	The development proposal does not relate to or impact this element.
<i>Urban Infill and intensification</i>	The development proposal does not relate to or impact this element.
<i>Centres</i>	The proposal will not compromise the role and function of designated centres.
<i>Specialised centres</i>	The development proposal does not relate to or impact this element.
<i>Specific Use</i>	The development proposal does not relate to or impact this element.

5.2.6.2 Natural Environment and Hazards

Table 5 Natural Environment and Hazards

Element	Comment
<i>Areas of environmental significance</i>	The development proposal does not relate to or impact this element.
<i>Natural hazards and climate change</i>	The development proposal does not relate to or impact this element.
<i>Coastal environment</i>	The development proposal does not relate to or impact this element.
<i>Water resources, catchment management and healthy waters</i>	The development proposal does not relate to or impact this element.
<i>Landscape and scenic amenity</i>	The proposal includes landscaping and maintains the character. The development proposes hydroseed turf across the northern part of the subject site for the expansion of the Cemetery. The proposal includes the removal of approximately 21 trees located in the centre of the northern part of the site where grave sites and internal driveway access is proposed onsite. The

	layout includes the retention of 16 established trees on the northern part of the site along the boundaries and includes 12 new trees to offset the removal of existing trees onsite.
<i>Air-noise and hazardous materials</i>	The development proposal does not relate to or impact this element.
<i>Waste</i>	The development will continue to utilise existing waste storage and removal practices as per the existing cemetery.

5.2.6.3 Community Identity and Diversity

Table 6 Community Identity and Diversity

Element	Comment
<i>Housing diversity, safe communities and equitable access</i>	The proposal does not involve residential development, the development proposal does not relate to or impact this element.
<i>Community identity</i>	The proposed expansion to the existing Cemetery is located within the Low Density Residential Zone for the proposed development. While the proposed extension is not within the Community Facilities Zone, the proposal does align with the purpose of the Community Facilities Zone Code. The development enhances the amenity and vitality of the centre in Mount Morgan, supporting its role as an inviting place for the community to access services and employment.
<i>Heritage and character</i>	The proposal does not change the heritage or character features of the site which is used as a Cemetery. The proposed expansion of the Cemetery does not include buildings or structures and is considered to maintain the character and identity of existing and new communities in the urban area. The proposal includes additional landscaping to the northern part of the onsite.
<i>Sport and recreation and open space</i>	The development proposal does not relate to or impact this element.
<i>Social, arts and cultural infrastructure</i>	The development proposal does not relate to or impact this element.

5.2.6.4 Access and Mobility

Table 7 Access and Mobility

Element	Comment
<i>Public and active transport</i>	The development proposal does not relate to or impact this element.
<i>Road network</i>	The development makes use of an existing access to Cemetery Road, The site frontage access is from East Street South (Rural Access) off Coronation Drive (State Controlled Road) and connects to the existing internal accessway to the existing Cemetery. Traffic generated will be minimal and safely accommodated within the existing network, ensuring no impact on the safety, efficiency, or function of state or local roads. The proposal does not compromise future road alignments, flood resilience projects, or the role of key freight and transport corridors, and maintains safe access for all road users.
<i>Rail network</i>	The development proposal does not relate to or impact this element.
<i>Freight network and key logistics hub</i>	The development proposal does not relate to or impact this element.
<i>Air transport</i>	The development proposal does not relate to or impact this element.
<i>Sea transport</i>	The development proposal does not relate to or impact this element.

5.2.6.5 Infrastructure and Services

Table 8 Infrastructure and Services

Element	Comment
<i>Inter-regional networks</i>	The development proposal does not impact this element.
<i>Local area networks</i>	The proposal will be connected to relevant infrastructure where required.

5.2.6.6 Natural Resources and Economic Development

Table 9 Natural Resources and Economic Development

Element	Comment
Protection of key assets	The development proposal does not impact this element.
Industrial development	The development proposal does not relate to or impact this element.
Rural land	The development proposal does not expand onto land with rural productive capacity.
Extractive and mineral resources	The development proposal does not relate to or impact this element.
Forestry	The development proposal does not relate to or impact this element.
Marine resources	The development proposal does not relate to or impact this element.
Tourism	The development proposal does not relate to or impact this element.

The proposed development does not conflict with the Strategic Framework of the *Rockhampton Region Planning Scheme 2015*.

5.2.7 Planning Scheme Policies

Any applicable Planning Scheme Policies will be addressed as considered necessary to the assessment of the proposed development.

5.3 State Government Planning Framework

5.3.1 Central Queensland Regional Plan 2013

The subject site is identified as being within the Priority Living Area (PLA) of the Central Queensland Regional Plan 2013 (CQRP). The PLA safeguards areas required for the growth of towns in the regions while providing for resource activities to locate within these areas where it meets communities' expectations as determined by the relevant local government.

5.3.2 State Planning Policy 2016

The *State Planning Policy* was released on 3 July 2017. It is a State planning instrument made under Chapter 2, Part 2, Section 10 of the *Planning Act 2016*.

As prescribed in Section 26(2)(a)(ii) of the Planning Regulation, the *State Planning Policy* represents an assessment benchmark, and the assessment manager must have regard to State Planning Policies if it is not identified as being appropriately reflected in the planning scheme.

The State Planning Policy is identified as being reflected in the Rockhampton Region Planning Scheme, which is the relevant planning scheme in this instance. Since the commencement of the Planning Scheme, the July 2017 version of the SPP has taken effect. It is considered that the amendments in the July 2017 version of the State Planning Policy are not substantial and do not affect the State interests reflected in the Planning Scheme. Therefore, the State Planning Policy is not directly applicable to the development of the site.

5.3.3 State Planning Regulatory Provisions

No State Planning Regulatory Provision will be compromised as a result of the proposed development.

6.0 REFERRALS

The Planning Regulation 2017 identifies triggers and thresholds for development requiring referral to the State and other agencies.

The proposed development triggers a referral to the State Assessment and Referral Agency for matters relating to Transport Infrastructure. While the site is identified as containing a Queensland Heritage Place, referral is not required, and further information is provided below.

6.1 Transport Infrastructure

Schedule 10, Part 9, Division 4, Subdivision 2:

- State transport corridors and future State transport corridors
 - 1) Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor:
 - a) Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises—
 - (a) are within 25m of a State transport corridor; or
 - (b) are a future State transport corridor; or
 - (c) are—
 - (i) adjacent to a road that intersects with a State-controlled road; and
 - (ii) **within 100m of the intersection**

The application will be referred to the State Assessment and Referral Agency. An assessment of the proposed development against *State Code 1: Development in a state-controlled road environment* is included in *Appendix G*.

6.2 Heritage

Schedule 10, Part 8, Division 2, Subdivision 1:

- 15 Assessable development—development on or adjoining a Queensland heritage place
 - 2) A material change of use of premises is assessable development, if—
 - a) the material change of use is carried out on a lot that shares a common boundary with another lot that is or contains a Queensland heritage place; or
 - b) the material change of use is carried out on a lot that contains a Queensland heritage place, but is not carried out on the Queensland heritage place.
 - 3) However, subsection (2) does not apply if 1 or more of the following apply—
 - a) the Queensland heritage place is an archaeological State heritage place as defined under the Heritage Act, schedule;...
- e) all buildings and structures, other than dwelling houses, constructed as part of the material change of use have a height of less than 3.5m;...**

The proposed expansion of the Mount Morgan Cemetery does not trigger a heritage assessment, as the works do not include any buildings or structures with a height of 3.5 or higher. The subject site is mapped as a Queensland Heritage Place (Register ID 600753) for the existing cemetery, including the Chinese Shrine and Linda Memorial. The proposed expansion occurs within the Low Density Residential Zone, well separated from the heritage-listed portion of the cemetery. Refer to *Figure 6: SARA Mapping – Queensland Heritage Place Overlay*.

The Mount Morgan Cemetery's heritage significance is recognised for its demonstration of the evolution of Mount Morgan as a major mining centre (Criterion A), its rare Chinese ceremonial burner (Criterion B), its potential to reveal historical burial customs (Criterion C), its characteristics as a regional cemetery with a broad range of memorial types (Criterion D), its

aesthetic qualities (Criterion E), and its strong social and cultural association with the local community (Criterion G).

The proposed expansion has been designed to clearly separate from the heritage-listed portion of the cemetery. The layout of new grave sites is distinguishable from the existing cemetery, with simple and contemporary headstones that will not detract from the scale, prominence, or historic character of the heritage place. No new structures, such as columbaria or shade shelters, are proposed, and no works will impact existing trees, memorials, or grave sites along the northern edge. Accordingly, the proposal will not diminish the cultural heritage significance of the Mount Morgan Cemetery.



Figure 6 SARA Mapping: Queensland Heritage Place Overlay

Source: SARA Mapping Queensland Government

7.0 CONCLUSION

This Planning Report has been prepared on behalf of *Rockhampton Regional Council* in support of a Development Application for Material Change of Use for Cemetery (expansion) at 2 Cemetery Road, Mount Morgan, on land described as Lot 184 on SP355353.

The development proposal is to expand Mount Morgans Cemetery to provide an additional 467 new grave sites in the northern corner of the subject site. Grave beams will be installed in consideration of the Council's Arborist, with retaining vegetation to avoid damage to nearby tree roots. Existing access will continue from East Street South and Cemetery Road. Seven (7) car parking spaces will be available in parallel with the proposed internal accessway.

It is considered that the proposal is consistent with the Overall Outcomes of the Community Facilities Zone and Low Density Residential Zone based on the following:

- The proposal represents an extension of the existing cemetery, a community use, and is consistent with the intended purpose of the zones.
- The expansion will not alter the amenity or characteristics of the surrounding area, as the cemetery is an established use on the site.
- The development continues to meet community needs in Mount Morgan and the surrounding region.
- No major structures or buildings are proposed, ensuring the existing built form and site layout are maintained.
- The proposal is not expected to increase noise, odour, lighting, overlooking, or traffic impacts on nearby sensitive land uses.
- The expansion is located outside the Heritage Overlay on relatively level ground, with no significant environmental constraints.
- Internal access is provided to the expanded cemetery area, with primary access maintained via East Street South and Cemetery Road.
- The proposal is a logical and compatible extension of an established community facility that respects the character, amenity, and functionality of the site and surrounding area.

The proposed development is considered to satisfy the relevant requirements of the regional, State, and local planning instruments. The development accords with the relevant Planning Scheme Codes and maintains the outcomes sought for the Community Facilities Zone and Low Density Residential Zone. It is considered that the proposal has merit and warrants favourable consideration by the Council.

APPENDIX A

DA FORM 1

APPENDIX B

TITLE SEARCH

APPENDIX C

PROPOSAL PLANS

APPENDIX D

CODE ASSESSMENT

APPENDIX E

STATE CODE 1



Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT ASSESSMENT RULES

Application number:	D/37-2026	<i>For further information regarding this notice, please contact:</i>	Sophie Muggeridge
Date application properly made:	25 March 2026	Phone:	07 4936 8099

1. APPLICANT DETAILS

Name:	Rockhampton Regional Council		
Postal address:	C/- Gideon Town Planning PO BOX 450 ROCKHAMPTON QLD 4700		
Contact number:	(07) 4806 6959	Email:	info@gideontownplanning.com.au

2. PROPERTY DESCRIPTION

Street address:	L 184 Burnett Highway, Mount Morgan
Real property description:	Lot 184 on SP355353

3. OWNER DETAILS

Name:	Rockhampton Regional Council
Postal address:	PO BOX 1860 ROCKHAMPTON QLD 4700

4. DEVELOPMENT APPROVAL SOUGHT

Development Permit for a Material Change of Use for a Cemetery (expansion)

5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. REFERRAL AGENCIES

NIL

Based on the information accompanying the lodged application, in accordance with the *Planning Regulation 2017*, referral to the following Referral Agencies is required.

For an application involving	Name of agency	Role of Agency	Contact Details
STATE TRANSPORT INFRASTRUCTURE (State Transport Corridors and Future State Transport Corridors)			

Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor

<p>Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises—</p> <p>(a) are within 25m of a State transport corridor; or</p> <p>(b) are a future State transport corridor; or</p> <p>(c) are—</p> <p>(i) adjacent to a road that intersects with a State-controlled road; and</p> <p>(ii) within 100m of the intersection</p>	<p>The chief executive of the department in which the <i>Planning Act 2016</i> is administered:</p> <p>Department of State Development, Infrastructure and Planning (State Assessment and Referral Agency)</p>	<p>Concurrence</p>	<p><u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City</p> <p><u>Online lodgement using MyDAS2:</u> https://prod2.dev-assess.qld.gov.au/suite/</p> <p><u>Email:</u> RockhamptonSARA@dSDLGP.qld.gov.au</p> <p><u>Postal:</u> PO Box 113 Rockhampton Qld 4700</p>
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It is the responsibility of the applicant to give within 10 business days each referral agency a copy of -

- the application (including application form and supporting material);
- this confirmation notice; and
- any applicable concurrence agency application fee (refer to the *Planning Regulation* to confirm the applicable referral agencies).

The applicant must provide written advice to Council (as the Assessment Manager) of the day on which this action was completed.

7. IMPACT ASSESSMENT

<p>Will Impact Assessment be required?</p>	<p>YES</p>
<p>The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:</p>	
<ul style="list-style-type: none"> - Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and - Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and - Giving a notice to all owners of any lots adjoining the premises which are the subject of the application. 	

8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

9. INFORMATION REQUEST

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

10. SUPERSEDED PLANNING SCHEME

<p>Is the application to be assessed under a Superseded Planning Scheme?</p>	<p>NO</p>
<p>Planning Scheme</p>	

- | | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | The development was not assessable under the Superseded Planning Scheme and the application may proceed, as proposed. |
| <input type="checkbox"/> | The development was assessable under the Superseded Planning Scheme and this Development Application will be assessed under the Superseded Planning Scheme. |
| <input type="checkbox"/> | The application will not be assessed under the Superseded Planning Scheme. The application will instead be assessed against the current planning scheme. |

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.

11. ASSESSMENT MANAGER

Name: **Sophie Muggeridge**
PLANNING OFFICER

Signature:

Date: 26 March 2026



SARA reference: 2603-51510 SRA
 Council reference: D/37-2026
 Applicant reference: GTP2570

22 April 2026

The Chief Executive Officer
 Rockhampton Regional Council
 PO Box 1860
 Rockhampton QLD 4700
 enquiries@rrc.qld.gov.au

Dear Sir/Madam

SARA referral agency response—Burnett Highway, Mount Morgan

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 31 March 2026.

Response

Outcome:	Referral agency response - No requirements Under section 56(1)(a) of the <i>Planning Act 2016</i> , SARA advises it has no requirements relating to the application.
Date of response:	22 April 2026
Advice:	Advice to the applicant is in Attachment 1
Reasons:	The reasons for the referral agency response are in Attachment 2

Development details

Description:	Development permit	Material change of use for a Cemetery (expansion)
SARA role:	Referral agency	
SARA trigger:	Schedule 10, Part 8, Division 2, Subdivision 3, Table 2, Item 1 (Planning Regulation 2017)	
	Material change of use of premises on a lot containing a Queensland heritage place	
SARA reference:	2603-51510 SRA	

Assessment manager: Rockhampton Regional Council
 Street address: Burnett Highway, Mount Morgan
 Real property description: Lot 184 on SP355353
 Applicant name: Rockhampton Regional Council
 Applicant contact details: c/- Gideon Town Planning
 PO Box 450
 Rockhampton QLD 4700
 gg@gideontownplanning.com.au

Human Rights Act 2019 considerations: Consideration of the *Human Rights Act 2019* sections 15 to 35 has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s. 30 Development Assessment Rules).

Copies of the relevant provisions are in **Attachment 3**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Tracey Beath, Senior Planning Officer, on 07 4924 2917 or via email RockhamptonSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
 Manager Planning

cc Rockhampton Regional Council C/- Gideon Town Planning, gg@gideontownplanning.com.au

enc Attachment 1 - Advice to the applicant
 Attachment 2 - Reasons for referral agency response
 Attachment 3 - Representations about a referral agency response provisions

Attachment 1—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP), (version 3.5). If a word remains undefined it has its ordinary meaning.

Attachment 2—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for SARA's decision are:

- SARA assessed the development against the following code of the State Development Assessment Provisions (SDAP), version 3.5:
 - o State code 14: Queensland Heritage.

- The development complies with the assessment benchmarks of State code 14 of SDAP in that the development:
 - o maintains or substantially reduces unavoidable impacts on, the setting and/or streetscape where these form part of the cultural heritage significance of the Queensland heritage place;
 - o avoids direct adverse impacts on the cultural heritage significance of the Queensland heritage place.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP, version 3.5, as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- Section 58 of the *Human Rights Act 2019*

Attachment 3— Representations about a referral agency response provisions

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Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

1 May 2026

Rockhampton Regional Council
PO Box 1860
ROCKHAMPTON QLD 4700



ATTENTION: Sophie Muggeridge

Via Email: DevelopmentAdvice@rrc.qld.gov.au

RE: NOTICE OF INTENTION TO COMMENCE PUBLIC NOTIFICATION – D/37-2026 FOR A MATERIAL CHANGE OF USE FOR A CEMETERY (EXPANSION) – SITUATED AT LOT 184 BURNETT HIGHWAY, MOUNT MORGAN – DESCRIBED AS LOT 184 ON SP355353.

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on Tuesday 5th May 2026 and will end on Monday 25th May 2026.

At this time, I can advise that I intend to:

Publish a notice in: **CQ Today (hardcopy version) on Saturday 2nd May 2026.**

And

Place a notice on the premises in the way prescribed under the Development Assessment Rules on **Sunday 3rd May 2026.**

And

Notify the owners of all lots adjoining the premises the subject of the application on **Friday 1st May 2026.**

If you wish to discuss this matter further, please contact me via the details below.

Yours faithfully,

A handwritten signature in black ink, appearing to be 'G. Genade', written over a horizontal line.

Gideon Genade
Principal Town Planner