



AIRBNB / SHORT-TERM ACCOMMODATION

The short-term rental of the family home, unit or an investment property can be a valuable source of additional income. Airbnb is one of many online platforms that enable people to tap into the sharing economy. Rockhampton Regional Council values the complementary role that a range of temporary accommodation options can play in the support of tourism in the region. This factsheet outlines the requirements for someone wishing to rent out their home, unit or investment property on a short-term basis.

How does Council regulate Airbnb and temporary accommodation?

The Rockhampton Region Planning Scheme 2015 has provisions for all types of short-term rentals and the assessment of a proposal considers the potential impacts on the immediate neighbourhood.

The planning scheme ensures that the temporary accommodation is of a scale and occupancy turnover that is compatible with community expectations in the immediate neighbourhood.

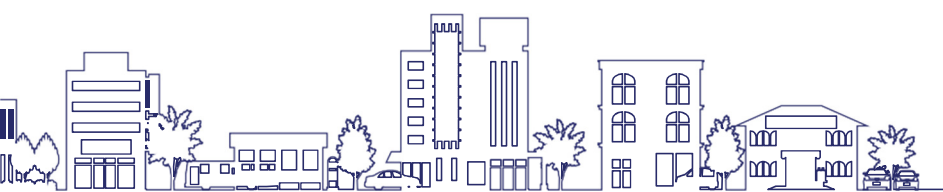
The planning scheme provides the requirements for the establishment and continuation of the use of the dwelling but does not offer insurance or any other form of protection from homeowners who are renting out a dwelling or rooms, or for renters.

Do I need approval from Council?

Where the owner/long term tenant does not reside in the dwelling or unit and rents out all or part of the dwelling or unit for short-term rental, the use is defined as Short-term accommodation.

Short-term accommodation is permitted in the residential zones provided the proposal complies with the acceptable outcomes in the residential zone code and the works code.

Small establishments that do not impact on the neighbours will generally meet these criteria. For a quick guide, refer to the following page to view the acceptable outcomes.



Short-term accommodation requirements in Residential zones

The table below includes a list of the acceptable outcomes as per the residential zone code requirements in the *Rockhampton Region Planning Scheme 2015*.

If the Short-term accommodation exceeds the below requirements then a development application for Council approval will be required. Please contact Rockhampton Regional Council's duty planner for further information.

Acceptable Outcomes for Short-term accommodation in a Residential Zone	
Residential Zone Code	
AO7.1	Short-term accommodation uses are carried out within an existing building.
AO7.2	There is no external signage.
AO8.1	The combined total number of persons does not exceed five (5) at any one time.
AO8.2	Guests stay a maximum of fourteen (14) consecutive nights.
AO9.1	Noise levels do not exceed acoustic quality objectives under the Environmental Protection (Noise) Policy 2008, schedule 1 as updated from time to time.
AO9.2	Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.
Works Code	
AO5-O7	Where a change of use of existing premises is proposed and involves not more than minor building work, the existing number of on-site car parks is retained or increased.
AO8	Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of landscaping is maintained or improved.
AO9	Where a change of use of existing premises is proposed and involves not more than minor building work, the existing provision for service vehicles is maintained or improved.
AO10	Where a change of use of existing premises is proposed and involves not more than minor building work, the existing infrastructure fronting the proposed development is maintained or improved.

Disclaimer: The content of this information sheet is a summary only and has been prepared to assist the reader to understand the Planning Scheme. Please refer to the full planning scheme, entitled *Rockhampton Region Planning Scheme 2015* on Council's website for further detail.

