

22 CHAPPELL ST, KAWANA QLD, 4701

ROCKHAMPTON REGIONAL COUNCIL

AMENDED PLANS APPROVED

5 July 2019

DATE

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/92-2018

Dated: 11 December 2018

DEVELOPMENT SUMMARY

REAL PROPERTY DESCRIPTION

LOT 92 ON SP255015

22 CHAPPELL ST, KAWANA QLD, 4701

LOCAL GOVERNMENT: ROCKHAMPTON COUNTRY OF LIVINGSTON PARISH OF MURCHISON

EXISTING BUILDING

GROUND FLOOR:

TRADE AREA TOTAL	365m ²
TRADE/SALES AREA	124m ²
AMENITIES AND MEETING ROOM	59m ²
OFFICES	34m ²
BUNKING AREA	149m ²
WAREHOUSE TOTAL	303m²
MEZZANINE:	
MEZZANINE TOTAL	313m²
TOTAL EXISTING GFA	981m²

EXISTING SITE DATA

TOTAL SITE AREA	4052m ²
SITE COVER	891m ² (22%)
LANDSCAPE AREA	197m ² (4.8%)
HARDSTAND	2969m ² (72%)

EXISTING PARKING SPACES:

CAR SPACES PROVIDED (1 EXISTING ACCESSIBLE) 15

PROPOSED BUILDING

GROUND FLOOR:

TRADE AREA TOTAL	182m ²
TRADE/SALES AREA	143m ²
AMENITIES AND MEETING ROOM	18m ²
OFFICES	21m ²
WAREHOUSE TOTAL	133m²
TOTAL PROPOSED GFA	315m²

PROPOSED SITE DATA

TOTAL SITE AREA	4052m ²
TOTAL SITE COVER	1268m ² (31%)
TOTAL LANDSCAPE AREA	376m ² (9%)
TOTAL HARDSTAND	2631m ² (65%)

PROPOSED PARKING SPACES:

CAR SPACES PROVIDED (1 EXISTING ACCESSIBLE) 21

GENERAL BUILDING NOTES

1. STANDARDS

ALL WORKS TO BE IN ACCORDANCE WITH:

NATIONAL CONSTRUCTION CODE OF AUSTRALIA (N.C.C.),

RELEVANT AUSTRALIAN STANDARDS,

QLD BUILDING BY-LAWS,

BUILDING APPROVAL DECISION NOTICE AND CONDITIONS,

THE DEVELOPMENT APPROVAL DECISION NOTICE & CONDITIONS.

2. BUILDERS WORKS

ALL DISCREPANCIES ARE TO BE REFERRED IMMEDIATELY TO THE ARCHITECT.

TEST AND CERTIFY ALL WARRANTY PAPERS AND MANUALS FOR INSTALLATIONS.

NOTIFY ALL RELEVANT LOCAL AUTHORITY DEPARTMENTS FOR CONNECTION AND SEALING PROCEDURES FOR EXISTING SERVICES AS REQUIRED.

COMPLY WITH ALL RELEVANT SAFETY STANDARDS INCLUDING REQUIREMENTS FOR REMOVAL OF HAZARDOUS MATERIALS.

ENSURE ALL APPROPRIATE TEST CERTIFICATES HAVE BEEN SOURCED.

NOTIFY ALL ADJOINING OWNERS WHEN WORK WILL COMMENCE AND OF THE DURATION OF DEMOLITION WORKS.

VERIFY THE LOCATION OF EXISTING SERVICES AND PUBLIC UTILITIES PRIOR TO COMMENCEMENT.

CONTACT THE OWNER OF THE PROPERTY FOR ANY CLARIFICATION OF SCOPE OF WORK AS NECESSARY PRIOR TO COMMENCEMENT OR DURING DEMOLITION.

ENSURE EXISTING STRUCTURES REMAIN STRUCTURALLY SOUND ON COMPLETION AND DURING DEMOLITION.

ALL DISCREPANCIES TO BE REFERRED IMMEDIATELY TO THE ARCHITECT.

PROVIDE ALL NECESSARY EXPANSION AND MOVEMENT JOINTS. THE EXTERIOR OF THE BUILDING IS TO BE COMPLETELY WEATHERPROOF AT COMPLETION.

UPGRADE TRAFFIC MANAGEMENT AND DETAILS INCLUDING LINE MARKINGS AND BOLLARD PROTECTION AS PER LAYOUT SUPPLIED.

PROVIDE ACCESS FOR PEOPLE WITH DISABILITIES IN ACCORDANCE WITH REQUIREMENTS OF THE BCA

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS AND BY-LAWS OF THE N.C.C.

DA-000 - SHEET LIST

SHEET NO.	SHEET NAME	REV.
DA-000	COVER PAGE	B
DA-010	PROPOSED SITE PLAN	A
DA-030	EXISTING / DEMO SITE PLAN	A
DA-031	EXISTING / DEMO FLOOR PLAN	A
DA-032	EXISTING / DEMO MEZZANINE FLOOR PLAN	A
DA-034	EXISTING / DEMO ELEVATIONS	A
DA-100	PROPOSED FLOOR PLAN REECE	A
DA-101	PROPOSED FLOOR PLAN ACTROL	A
DA-110	PROPOSED MEZZANINE FLOOR PLAN	A
DA-120	PROPOSED ROOF PLAN	A
DA-300	PROPOSED ELEVATIONS	A
DA-301	PROPOSED ELEVATIONS	A
DA-400	SECTIONS	A



3 LOCATION PLAN DA
1:1000

STANDARD BUILDING NOTES CLASS 6 AND 7B

REFER TO RELEVANT DRAWINGS FOR DETAILED INFORMATION RELATED TO LANDSCAPE, STRUCTURAL, HYDRAULIC, MECHANICAL VENTILATION, AND ELECTRICAL ISSUES.

REFER TO SURVEY DRAWINGS FOR BUILDING SETOUT.

REFER TO CIVIL ENGINEERS DRAWINGS FOR ROAD WORK LEVELS AND ALL STRUCTURAL WORK.

REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR CONCRETE SLABS, FOUNDATION AND FOOTINGS DETAILS, TIE DOWN DETAILS AND BEAM SIZES, ETC.

EXCAVATE AS REQUIRED, FALL PLATFORM AWAY FROM BUILDING, DRAIN ALL CUTS.

LEVELS ARE TO BE CONFIRMED ON SITE.

EXTENT OF RETAINING TO BE DETERMINED ON SITE.

R.C. SLABS SHALL BE LAID OVER WATERPROOF MEMBRANE AND OVER 50MM SAND BED. POISON UNDER SLAB TO CURRENT AUSTRALIAN STANDARDS.

ALL SLABS SHALL HAVE A MINIMUM WORKING TOLERANCE OF +3 MM PER 3000mm, NON ACCUMULATIVE.

AT ALL TIMES COMPLY WITH N.C.C. AND LOCAL BUILDING AUTHORITIES REQUIREMENTS. BUILDER TO SATISFY ALL REQUIREMENTS OF THE DA CONDITIONS & OPERATIONAL WORKS.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH N.C.C. AND RELEVANT STANDARDS AND BY-LAWS.

ALL HANDRAILS AND BALUSTRADES TO COMPLY WITH N.C.C. BY-LAW D2.16 AND D2.17.

STAIRS TO COMPLY WITH N.C.C. BY-LAW D2.3, D2.8, D2.13 AND D2.14.

MATERIALS AND FORMS OF CONSTRUCTION TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS AND DETAILS.

FIRE WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH N.C.C. BY-LAW C2.7.

CARRY FIRE WALLS UP TO UNDERSIDE OF ROOF SHEETING.

ALL ELECTRICAL AND TELECOMMUNICATION SWITCHBOARDS SHALL BE ENCLOSED IN A NON-COMBUSTIBLE ENCLOSURE OR ADEQUATELY SMOKE SEALED.

PROVIDE HEADROOM TO ALL STAIRS AND STAIRWELLS TO COMPLY WITH N.C.C. D1.6.

CHECK ALL DIMENSIONS BEFORE STARTING ON SITE.

WET AREAS TO COMPLY WITH N.C.C. BY-LAWS F1.7.

TACTILE INDICATORS TO COMPLY WITH N.C.C. BY-LAW D3.8.

FLASH ALL PENETRATIONS THROUGH ROOF.

FOR DOWNPIPE LOCATIONS REFER TO HYDRAULIC ENGINEERS DRAWINGS.

PENETRATIONS OF WALLS TO BE CARRIED OUT IN ACCORDANCE WITH N.C.C. SPECIFICATION C3.15.

PLATFORMS AND LADDERS TO COMPLY WITH N.C.C. BY-LAW D2.18.

PROVIDE ACCESS FOR PEOPLE WITH A DISABILITY IN ACCORDANCE WITH N.C.C. BY-LAW D3.2.

ALL TILT-UP CONCRETE WALL PANELS WITHIN 3000MM FROM SITE BOUNDARY TO COMPLY WITH N.C.C. BY-LAW C1.11 SPECIFICATION.

MATERIALS WITH FIRE HAZARD PROPERTIES TO COMPLY WITH N.C.C. BY-LAW C1.10 SPECIFICATION.

MINIMUM ISOLATED CONSTRUCTION WITH FIRE RESISTANCE LEVEL (FRL) OF 120/120/120 TO BE PROVIDED FOR LOCATIONS WITH AN UNINTERRUPTED POWER SUPPLY I.E. BATTERY/IES.

ACCESS GATE ON MEZZANINE LEVEL TO COMPLY WITH N.C.C. BY-LAW D2.18 AND AS1657.

INSTALL BRAILLE SIGNAGE TO ALL SANITARY FACILITIES IN ACCORDANCE WITH N.C.C. BY-LAW D3.6.

GENERAL NOTES

DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT. PREPARATION OF SHOP DRAWINGS OR MANUFACTURING FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALING.

VERIFY LOCATION OF EXISTING SERVICES BEFORE COMMENCEMENT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA BUILDING ACT 1975 AS AMENDED, STANDARD BUILDING BY-LAWS AND RELEVANT AUSTRALIAN STANDARDS.

ISSUE	DATE	REVISION
A	22.05.19	REVISED DA ISSUE
B	26.06.19	AMENDMENTS TO DA AREAS

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ACTROL NORTH ROCKHAMPTON

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DRAWING

COVER PAGE

SCALE DATE DRAWN BY

As indicated@A1 MAY 19 AA

JOB No. DRAWING No. REVISION

180100 DA-000 B

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DA ISSUE.

ROCKHAMPTON REGIONAL COUNCIL

AMENDED PLANS APPROVED

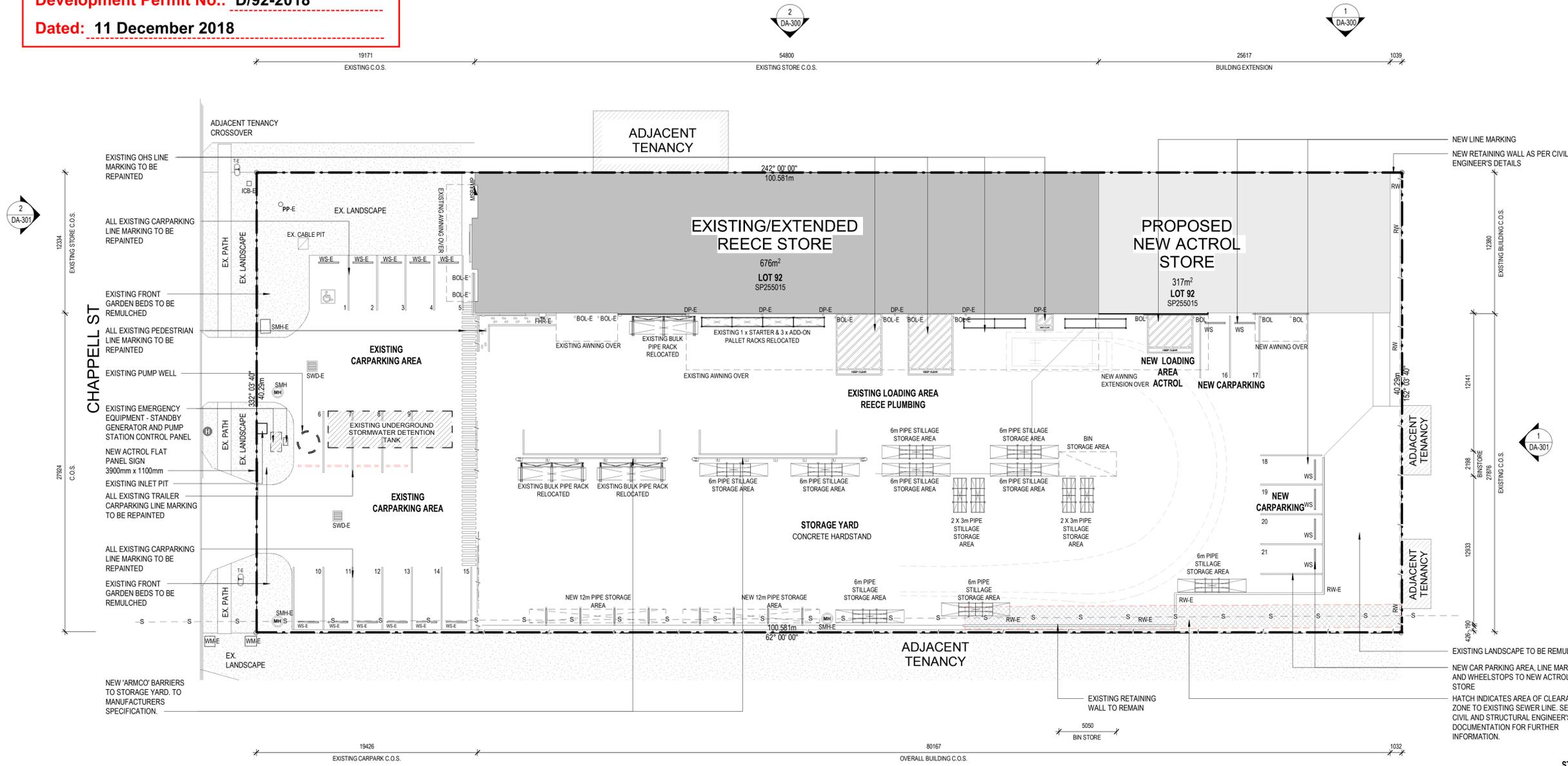
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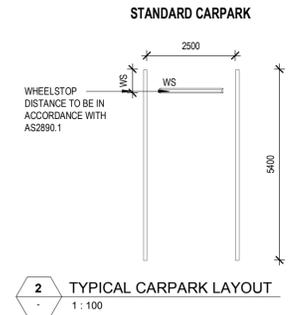
Dated: 11 December 2018



SITE PLAN LEGEND	
BOL	BOLLARD TO SPECIFICATION
COL	COLUMN TO STRUCTURAL ENGINEER'S DETAILS
DP	DOWNPIPE TO HYDRAULIC ENGINEER'S DETAILS
RW	RETAINING WALL
SMH	SEWER MAN HOLE
TGSI	TACTILE GROUND SURFACE INDICATORS
WS	WHEEL STOP TO SPECIFICATION
SS	STREET SIGN
MH	MAN HOLE COVER - TO CIVIL ENGINEER SPECIFICATION
SWD	STORM WATER PIT AND TRAFFICABLE GRATE COVER - TO CIVIL ENGINEER SPECIFICATION
-E-	ELECTRICAL LINE
-S-	SEWER LINE
SW	STORMWATER LINE
-T-	TELSTRA LINE
-W-	WATER LINE
-//-	COLORBOND FENCING WITH BARBED WIRE
-/-	CHAIN MESH FENCING WITH BARBED WIRE
●	SITE/BUILDING SET OUT POINT
MSB & MP	MAIN SWITCHBOARD AND METER PANEL
TEL	TELSTRA DISTRIBUTION PANEL
EL	ELECTRICAL IN GROUND RAISER / PILLAR
PP	POWER POLE - OVERHEAD ELECTRICAL CONNECTION
FH	FIRE HYDRANT PILLAR
FD	FIRE HYDRANT
FR	FIRE HOSE REEL 36M
TD	TELSTRA BUILDING DISTRIBUTOR
HC	HOSE COCK TO HYDRAULIC ENGINEER'S DETAILS
- - -	LINE TYPE DENOTES DEMOLISH
---	HATCH TYPE DENOTES DEMOLISH
---	HATCH TYPE DENOTES NEW HARDSTAND

GENERAL NOTES:
 ANY ITEM ANNOTATED WITH THE 'E' SUFFIX DENOTES IT IS EXISTING
 ALL CARPARKING SPACES ARE TO BE 2800 x 5400 U.N.O
 BUILDER TO CHECK ALL EXISTING LEVELS AND SERVICES PRIOR TO CONSTRUCTION. CLEARLY INDICATE TO ALL RELEVANT STAKEHOLDERS PRIOR TO THE WORKS. RE ENSTATE AS REQUIRED BY DOCUMENTATION, AND STATUTORY REQUIREMENTS.
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1 SITE PLAN
1 : 200



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ACTROL NORTH ROCKHAMPTON

LOCATION

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DRAWING

PROPOSED SITE PLAN

SCALE	DATE	DRAWN BY
As indicated@A1	OCT 18	AA
JOB No.	DRAWING No.	REVISION
180100	DA-010	A

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SCALE: 1 : 200@A1
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FLOOR PLAN LEGEND

- BOL BOLLARD
- COL COLUMN TO STRUCT. ENGS DETAILS
- COL-M COLUMN TO 'SSS' DETAILS
- DP DOWNPIPE TO HYD. ENGS DETAILS
- PJ PANEL JOINT
- REF REFRIGERATOR
- TGSI TACTILE GROUND SURFACE INDICATORS
- DBS1 DISTRIBUTION BOARD
- MSB & MP MAIN SWITCH BOARD & METER PANEL
- FIRE HOSE REEL 36M
- FE-P FIRE EXTINGUISHER TYPE A/B (E) - POWDER
- FE-C FIRE EXTINGUISHER CARBON DIOXIDE
- DATA CABINET INCLUDING RACKS FOR ALL DATA, SECURITY AND COMM. SYSTEMS.
- INTERNAL PVC LINED CHAIN LINK FENCE

- EXISTING WALL
- LINE TYPE DENOTES DEMOLITION
- HATCH TYPE DENOTES DEMOLITION

GENERAL NOTE:
 ANY ITEM ANNOTATED WITH THE 'E' SUFFIX DENOTES IT IS EXISTING.
 ANY ITEM ANNOTATED WITH THE 'R' SUFFIX DENOTES IT IS RELOCATED.
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WORKS IN GENERAL
 PRIOR TO DEMO:
 CONTRACTOR TO PROVIDE X-RAY SURVEY TO IDENTIFY INGROUND SERVICES, CONDUITS AND STRUCTURAL ELEMENTS.

REMOVE EXISTING INTERNAL WALLS, DOOR AND WINDOW AS DOCUMENTED.
 REMOVE FLOOR FINISHES. MAKE GOOD REMAINING EXISTING SURFACES.

REMOVE ALL ELECTRICAL SERVICES AS REQUIRED IN ACCORDANCE WITH ELECTRICAL ENGINEER DOCUMENTATION. REPAIR ALL SERVICES FOR RE-USE IF REQUIRED. TO BE IN ACCORDANCE WITH THE SPECIFICATION AND COMPLY WITH CURRENT CODE AND STANDARD.

SUITABLY PROTECT THE SITE AND ALL ADJOINING PROPERTIES WITH PROTECTIVE SCREENS AND SHEETING AS REQUIRED TO PREVENT ANY DAMAGE.

REMOVE AND RETAIN ALL SIGNAGE AS REQUIRED FOR REINSTATEMENT AFTER MAKE GOOD HAS BEEN COMPLETED.

SERVICES MADE REDUNDANT TO BE CAPPED OFF.

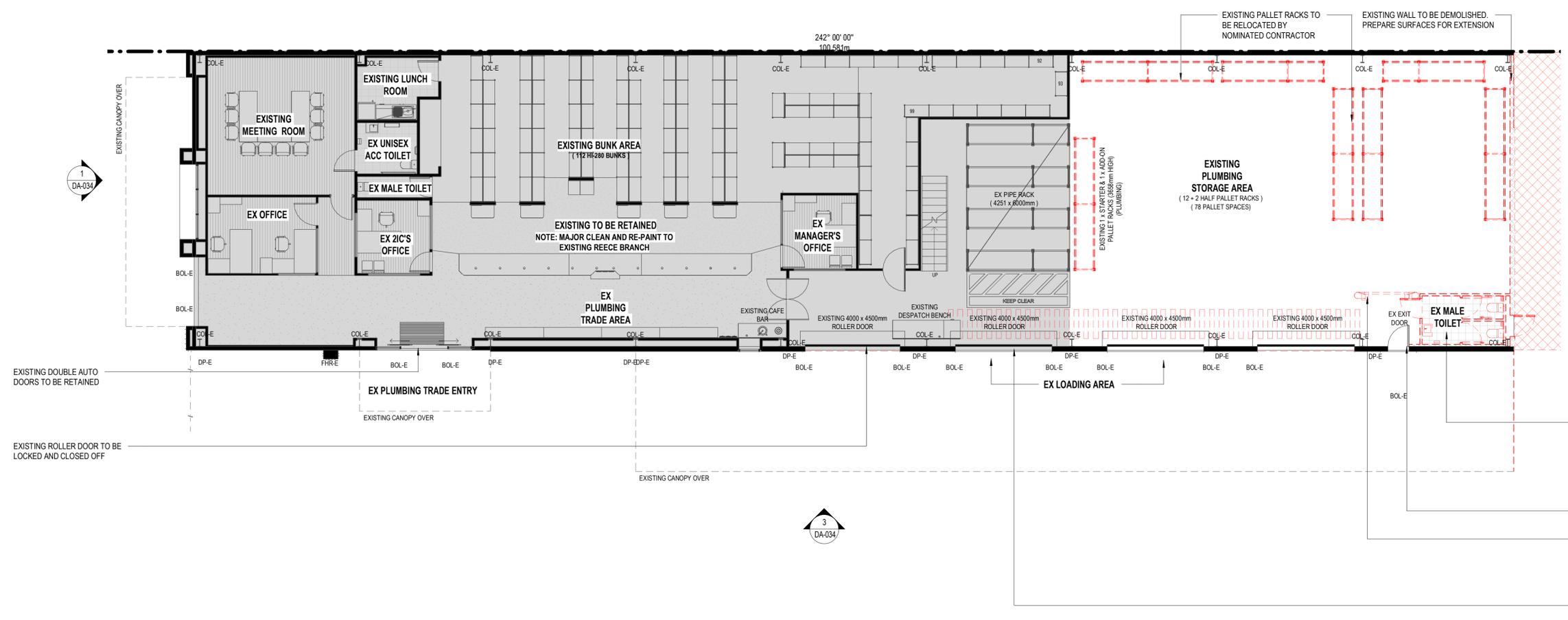
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MAKE GOOD ALL REMAINING SURFACES.
 PREP FOR PAINTING OF ALL REMAINING SURFACES.

STAGING NOTE:
 TENDERER TO ALLOW DEMOLITION & CONSTRUCTION IN NECESSARY STAGES. TRADE COUNTER MUST REMAIN OPERATIONAL THROUGHOUT. THE USE OF TEMPORARY COUNTER IS ADVISED

NOTE:
 MAJOR CLEAN & RE-PAINT TO EXISTING REECE TRADE & SHOWROOM



1 EXISTING/DEMO GROUND FLOOR PLAN
 1: 100

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DRAWING

EXISTING / DEMO FLOOR PLAN

DA ISSUE.

SCALE: 1: 100@A1
 DATE: OCT 18
 DRAWN BY: AA

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 DRAWING No. DA-031
 REVISION A

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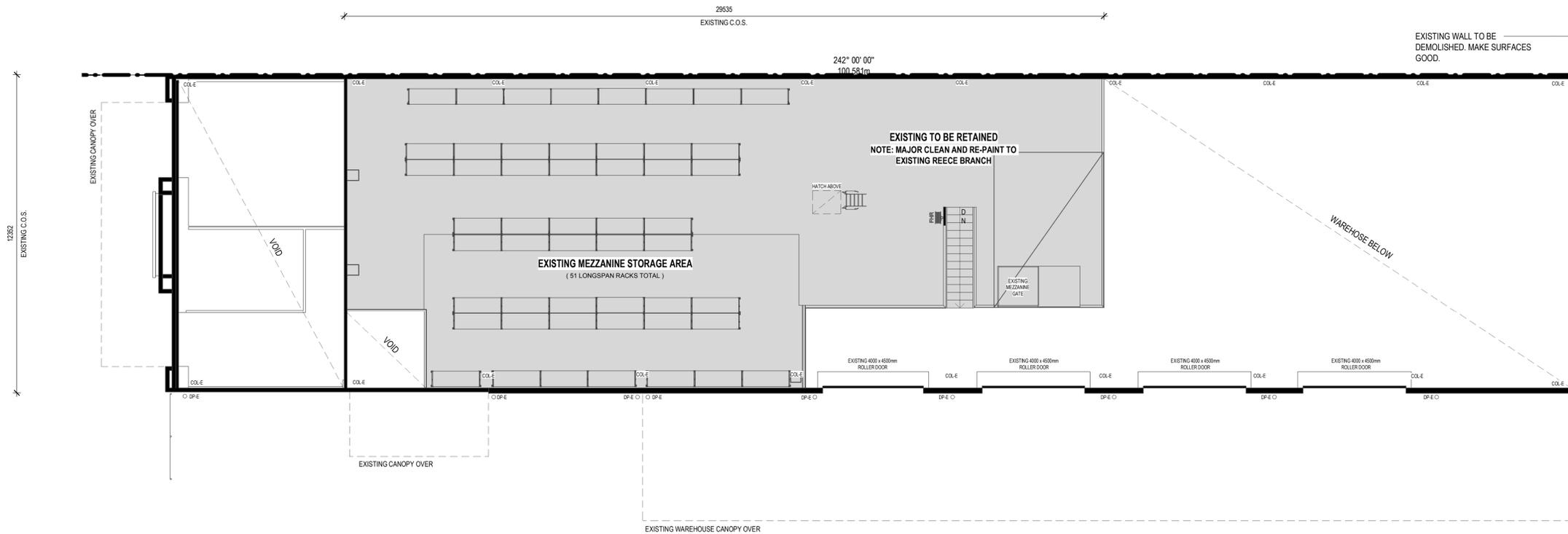
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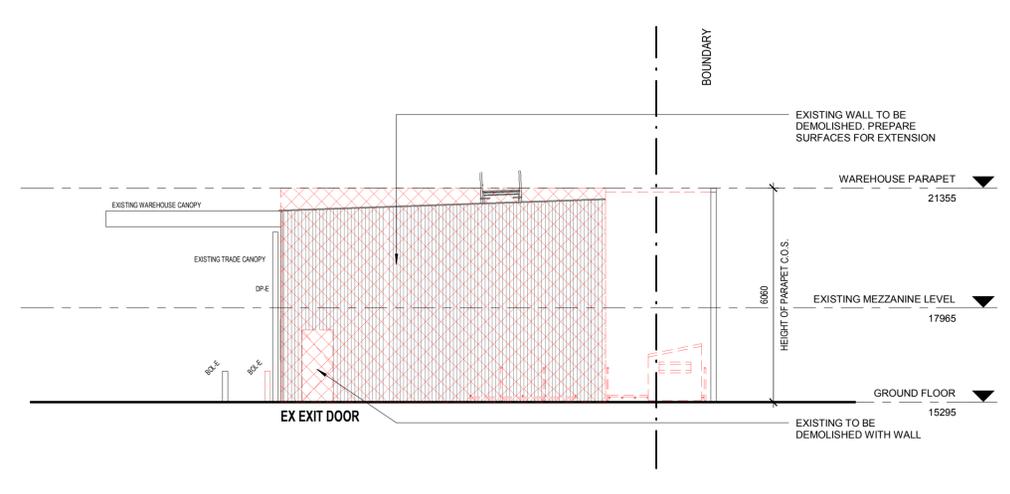
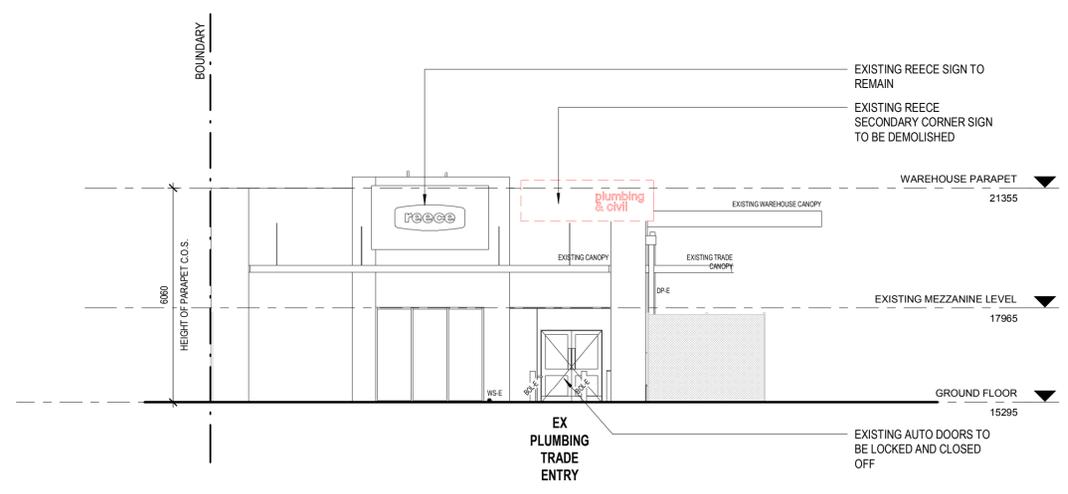
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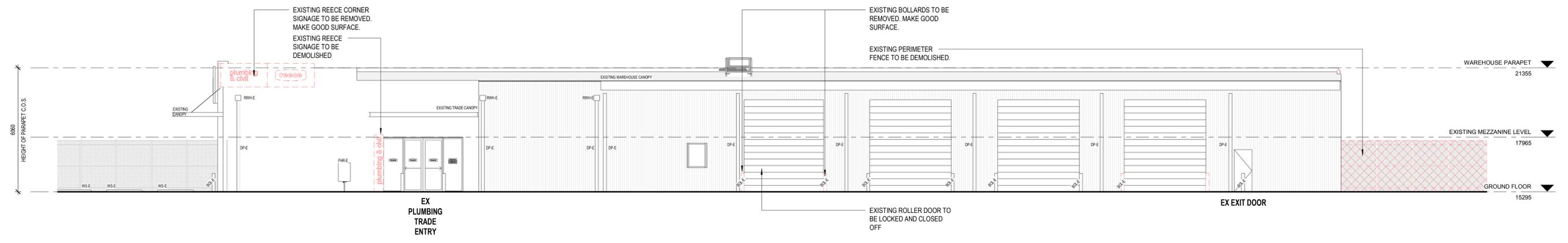


ELEVATION LEGEND	
BOL	BOLLARD TO SPECIFICATION. PAINT FINISH TO SPECIFICATION
DP	DOWNPIPE TO HYDRAULIC ENGINEERS DETAILS
WS	WHEEL STOP TO SPECIFICATION
RWH	RAIN WATER HEAD TO HYDRAULIC ENGINEERS DETAILS
EXTERNAL PAINT FINISHES	
	PRIMARY EXTERIOR PAINT FINISH TO MATCH WATTLY 'CUMBERLAND'
	EXISTING WALL
	LINE TYPE DENOTES DEMOLITION
	HATCH TYPE DENOTES DEMOLITION
GENERAL NOTE:	
ALL EXTERIOR WALLS AND CANOPIES TO BE PAINTED WATTLY 'CUMBERLAND' UNLESS OTHERWISE NOTED	
INSPECT PATCH & REPAIR PAINT FINISH TO ALL EXISTING EXTERIOR WALLS, CANOPIES, AWNINGS, ROLLER DOORS, METAL SLIDING DOORS AND DOWNWATER PIPES TO BE PAINTED WATTLY 'CUMBERLAND' UNLESS OTHERWISE NOTED	
ANY ITEM ANNOTATED WITH THE 'E' SUFFIX DENOTES IT IS EXISTING	
BUILDER TO CHECK ALL EXISTING LEVELS AND SERVICES PRIOR TO CONSTRUCTION	



1 EXISTING/DEMO WEST ELEVATION
1:100

2 EXISTING/DEMO EAST ELEVATION
1:100

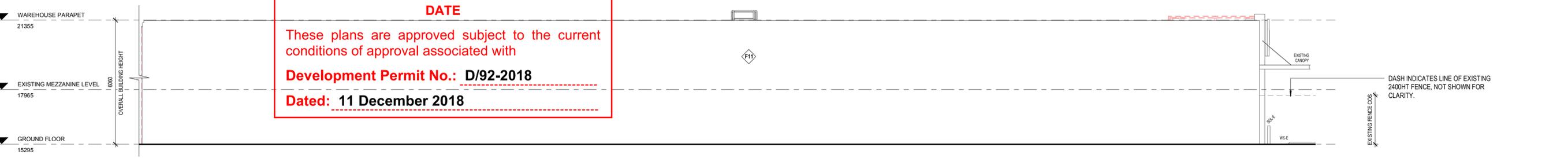


3 DA - EXISTING/DEMO ELEVATION SOUTH
1:100

ROCKHAMPTON REGIONAL COUNCIL
AMENDED PLANS APPROVED
5 July 2019

DATE
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Development Permit No.: D/92-2018

Dated: 11 December 2018



4 DA - EXISTING/DEMO ELEVATION NORTH
1:100

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PROJECT
ACTROL NORTH ROCKHAMPTON

LOCATION
22 CHAPPELL ST, KAWANA QLD, 4701
DRAWING
EXISTING / DEMO ELEVATIONS

DA ISSUE.
 SCALE: 1:100@A1
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 DRAWN BY: AA
 JOB No.: 180100
 DRAWING No.: DA-034
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ROCKHAMPTON REGIONAL COUNCIL

AMENDED PLANS APPROVED

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FLOOR PLAN LEGEND

- BOL BOLLARD
- COL COLUMN TO STRUCT. ENGS DETAILS
- COL-M COLUMN TO 'SSS' DETAILS
- DP DOWNPIPE TO HYD. ENGS DETAILS
- PJ PANEL JOINT
- REF REFRIGERATOR
- TGS TACTILE GROUND SURFACE INDICATORS
- DBS1 DISTRIBUTION BOARD
- MBS & MP MAIN SWITCH BOARD & METER PANEL
- FIRE HOSE REEL 36M
- DOOR NO. REFER TO WD 900
- WINDOW NO. REFER TO WD 900
- FE-P FIRE EXTINGUISHER TYPE A/B (E) - POWDER
- FE-C FIRE EXTINGUISHER CARBON DIOXIDE
- DATA CABINET INCLUDING RACKS FOR ALL DATA, SECURITY AND COMM. SYSTEMS.
- INTERNAL PVC LINED CHAIN LINK FENCE
- RP77 RAVEN RP77 RAMPED THRESHOLD PLATE SCREW FIXED AS RECOMMENDED BY MANUFACTURER
- RP82 RAVEN RP82 LOW PROFILE THRESHOLD PLATE SCREW FIXED AS RECOMMENDED BY MANUFACTURER

FINISHES

- FLOOR FINISHES**
- FF1 ACCOLADE PLUS - COLOUR: BLACK OPAL, NO. 5A503621
 - FF2 FLOOR TILES: 300 x 300mm PERINI "Winter Matt" 21PT0515
 - FF3 POLISHED CONCRETE FLOOR-ASHFORD FORMULA RETROPLATE 99 FINISH TO SPECIFICATION
 - FF4 NATURAL CONCRETE - ASHFORD FORMULA
 - FF6 EPOXY COATED CONCRETE - DULUX LUXAFLOOR COLOUR: "light grey"
 - FF9 ANTI-FATIGUE MATTING: ENVIRO RUBBER "Enviro Comfort Plus"
 - FF10 INSET ENTRANCE MAT: BIRRUS "Ultramat"
- DIRECTION OF PLANKING
- NOTE: PROVIDE CONTROL JOINT TO ALIGN WITH ALL JOINTS IN SUBSTRATE (i.e. KEY JOINT OR MOVEMENT JOINT)

INTERIOR WALL LININGS

- PB PLASTERBOARD WALL LINING TO SPECIFICATION. PAINT FINISH
- 9mm MDF WALL LINING TO SPECIFICATION. PAINT FINISH
- 18mm MDF WALL LINING TO SPECIFICATION. PAINT FINISH

GENERAL NOTE:
LINING SYMBOL INDICATES WALL LINING SIDE APPROPRIATE TO THE FLOOR PLAN. REFER TO SPECIFICATION.

CONTRACTOR TO ALLOW MIXED USE OF WALL TYPES SUITABLE TO THE WALL TYPE. REFER WALL SCHEDULE IN SPECIFICATION FOR FINISHES LOCATION.

JOINERY

- BE BUNK END DISPLAY
 - BW BROCHURE WALL
 - CB CAFE BAR
 - DB DESPATCH BENCH
 - HS HANSELL WALL
 - LK LUNCHROOM KITCHEN
 - LKB LUNCHROOM KITCHEN BENCH
 - PB PACKING BENCH
 - TC TRADE COUNTER
 - TW TRADE TOOL WALL
 - TWS TRADE WORKSTATION
- NOTE: REFER REECE JOINERY DOCS. FOR FURTHER DETAILS

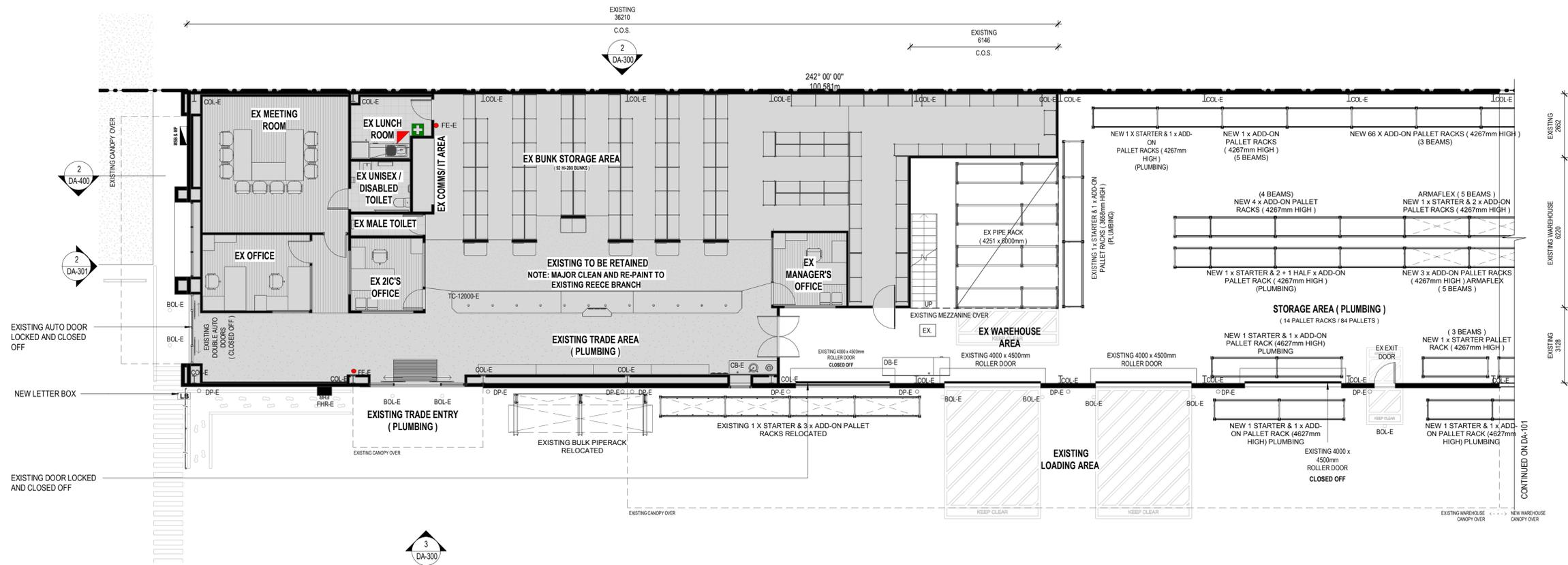
WALL TYPES

- TIMBER STUD FRAMED WALL
- INSULATED WALL STUD WALL
- CONCRETE TILT PANEL WALL
- METAL FRAMED TO ENGS DETAILS
- CONCRETE BLOCK WALL
- EXISTING WALL

GENERAL NOTE:
ANY ITEM ANNOTATED WITH THE 'E' SUFFIX DENOTES IT IS EXISTING
ANY ITEM ANNOTATED WITH THE 'R' SUFFIX DENOTES IT IS RELOCATED.
BUILDER TO CHECK ALL EXISTING LEVELS AND SERVICES PRIOR TO CONSTRUCTION

NOTE:
MAJOR CLEAN & RE-PAINT TO EXISTING REECE TRADE & SHOWROOM

1 GROUND FLOOR PLAN REECE
1:100



GENERAL NOTES

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PROJECT

ACTROL NORTH ROCKHAMPTON

LOCATION

22 CHAPPELL ST, KAWANA QLD, 4701

DRAWING

PROPOSED FLOOR PLAN REECE

SCALE

1:100@A1

DATE

OCT 18

DRAWN BY

AA

JOB No.

180100

DRAWING No.

DA-100

REVISION

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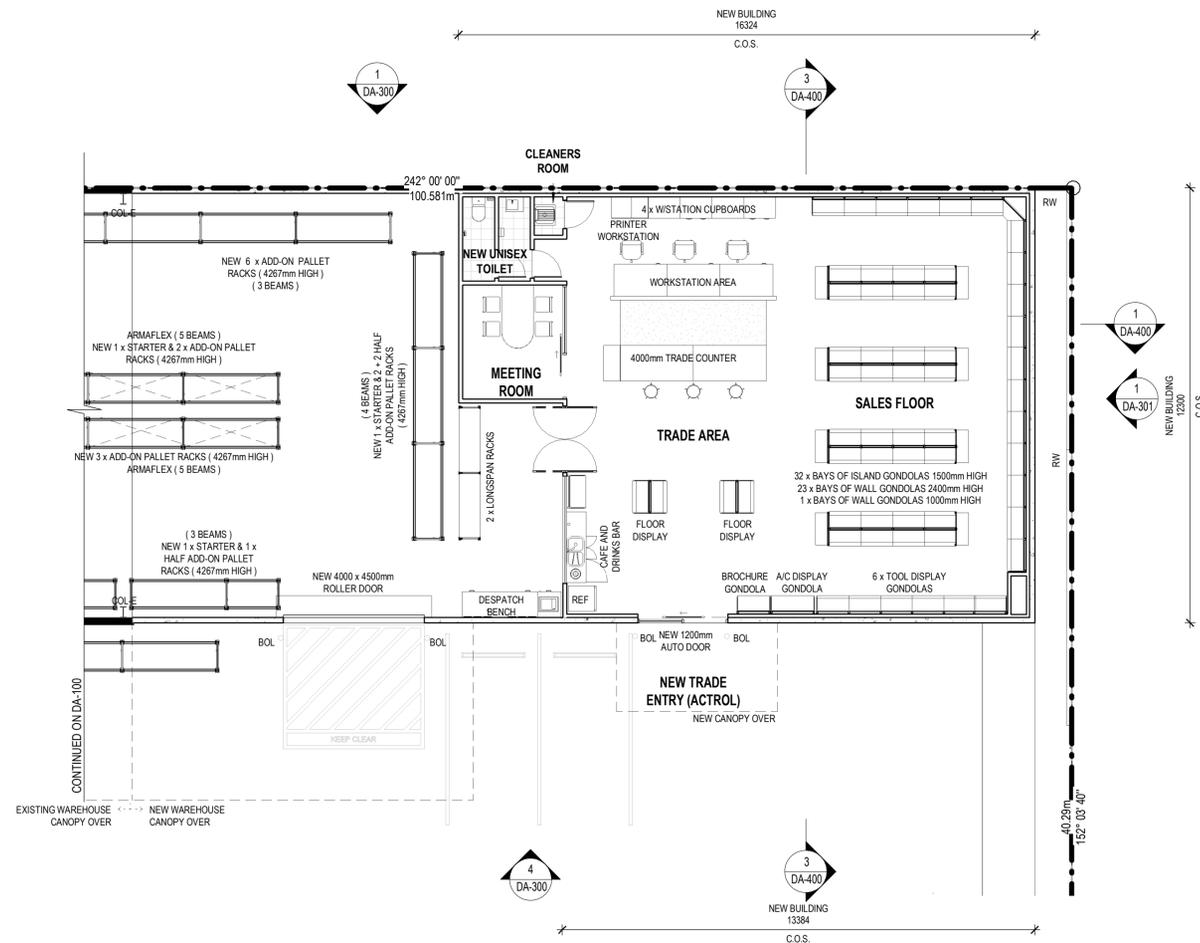
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Dated: 11 December 2018



1 GROUND FLOOR PLAN ACTROL
1:100

FLOOR PLAN LEGEND

BOL	BOLLARD
COL	COLUMN TO STRUCT. ENGS DETAILS
COL-M	COLUMN TO 'SSS' DETAILS
DP	DOWNSPIPE TO HYD. ENGS DETAILS
PJ	PANEL JOINT
REF	REFRIGERATOR
TGS	TACTILE GROUND SURFACE INDICATORS
DBS1	DISTRIBUTION BOARD
MSB & MP	MAIN SWITCH BOARD & METER PANEL
	FIRE HOSE REEL 36M
	DOOR NO. REFER TO WD 900
	WINDOW NO. REFER TO WD 900
FE-P	FIRE EXTINGUISHER TYPE A-B (E) - POWDER
FE-C	FIRE EXTINGUISHER CARBON DIOXIDE
	DATA CABINET INCLUDING RACKS FOR ALL DATA, SECURITY AND COMM. SYSTEMS.
— — —	INTERNAL PVC LINED CHAIN LINK FENCE
RP77	RAVEN RP77 RAMPED THRESHOLD PLATE SCREW FIXED AS RECOMMENDED BY MANUFACTURER
RP82	RAVEN RP82 LOW PROFILE THRESHOLD PLATE SCREW FIXED AS RECOMMENDED BY MANUFACTURER

FINISHES

FLOOR FINISHES	
FF1	ACCOLADE PLUS - COLOUR: BLACK OPAL, NO. SA503621
FF2	FLOOR TILES: 300 x 300mm PERINI "Winter Matt" 21PT0515
FF3	POLISHED CONCRETE FLOOR-ASHFORD FORMULA RETROPLATE 99 FINISH TO SPECIFICATION
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FF9	ANTI-FATIGUE MATTING: ENVIRO RUBBER "Enviro Comfort Plus"
FF10	INSET ENTRANCE MAT: BIRRUS "Ultramat"

← DIRECTION OF PLANKING

NOTE: PROVIDE CONTROL JOINT TO ALIGN WITH ALL JOINTS IN SUBSTRATE (i.e. KEY JOINT OR MOVEMENT JOINT)

INTERIOR WALL LININGS

⊕	PLASTERBOARD WALL LINING TO SPECIFICATION. PAINT FINISH
⊕	9mm MDF WALL LINING TO SPECIFICATION. PAINT FINISH
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JOINERY

BE	BUNK END DISPLAY
BW	BROCHURE WALL
CB	CAFE BAR
DB	DESPATCH BENCH
HS	HANSELL WALL
LK	LUNCHROOM KITCHEN
LKB	LUNCHROOM KITCHEN BENCH
PB	PACKING BENCH
TC	TRADE COUNTER
TW	TRADE TOOL WALL
TWS	TRADE WORKSTATION

NOTE: REFER REECE JOINERY DOCS. FOR FURTHER DETAILS

WALL TYPES

▬	TIMBER STUD FRAMED WALL
▬	INSULATED WALL STUD WALL
▬	CONCRETE TILT PANEL WALL
▬	METAL FRAMED TO ENGS DETAILS
▬	CONCRETE BLOCK WALL
▬	EXISTING WALL

GENERAL NOTE:
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ANY ITEM ANNOTATED WITH THE 'R' SUFFIX DENOTES IT IS RELOCATED.
BUILDER TO CHECK ALL EXISTING LEVELS AND SERVICES PRIOR TO CONSTRUCTION

NOTE:
MAJOR CLEAN & RE-PAINT TO EXISTING REECE TRADE & SHOWROOM

GENERAL NOTES

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ACTROL™

PROJECT

ACTROL NORTH ROCKHAMPTON

LOCATION

22 CHAPPELL ST, KAWANA QLD, 4701

DRAWING

PROPOSED FLOOR PLAN ACTROL

SCALE DATE DRAWN BY

1:100@A1 OCT 18 AA

JOB No. DRAWING No. REVISION

180100 DA-101 A

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AMENDED PLANS APPROVED

5 July 2019

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ROOF PLAN LEGEND

-  ROOF VENTILATOR TO SPEC.
-  EF EXHAUST FAN
-  CU CONDENSER UNIT
-  RWH RAIN WATER HEAD
-  OAC OUTSIDE AIR COWL
-  SUMP TO HYDRAULIC ENGINEERS DETAILS

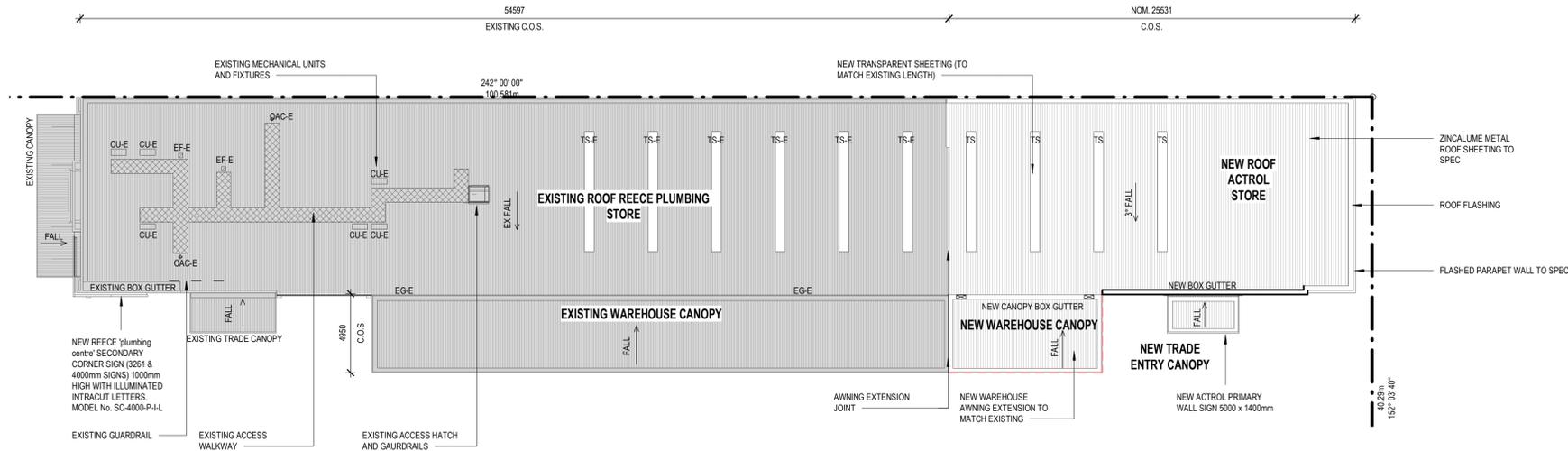
 HATCH DENOTES APPROX. LOCATION OF ALUMINIUM ROOF ACCESS WALKWAY

-  EXISTING WALL
-  LINE TYPE DENOTES DEMOLITION
-  HATCH TYPE DENOTES DEMOLITION

NOTES

ALL BOX GUTTER SIZES & FALL DEGREE TO HYDRAULIC ENGINEERS DETAIL
 ROOF SAFETY ACCESS INSTALLATION REFER TO 'WORKPLACE ACCESS SAFETY', TEL. 1300552984
 REFER TO ENERGY EFFICIENCY REPORT AND SPECIFICATION FOR ALL MINIMUM CEILING, WALL AND ROOF INSULATION EXCEPT WHEN SPECIFICALLY NOTED
 REFER TO SPECIFICATION FOR FINISHES
 FLASHING TO HAVE 300mm OVERLAP IN EVERY DIRECTION UNLESS OTHERWISE NOTED

GENERAL NOTE:
 ANY ITEM ANNOTATED WITH THE 'E' SUFFIX DENOTES IT IS EXISTING



1 PROPOSED ROOF PLAN
 1:200

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DRAWING

PROPOSED ROOF PLAN

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ELEVATION LEGEND

- BOL BOLLARD TO SPECIFICATION. PAINT FINISH TO SPECIFICATION
- DP DOWNPIPE TO HYDRAULIC ENGINEERS DETAILS
- WS WHEEL STOP TO SPECIFICATION
- RWH RAIN WATER HEAD TO HYDRAULIC ENGINEERS DETAILS

EXTERNAL PAINT FINISHES

F11 PRIMARY EXTERIOR PAINT FINISH TO MATCH WATTYL 'CUMBERLAND'

- EXISTING WALL
- LINE TYPE DENOTES DEMOLITION
- HATCH TYPE DENOTES DEMOLITION

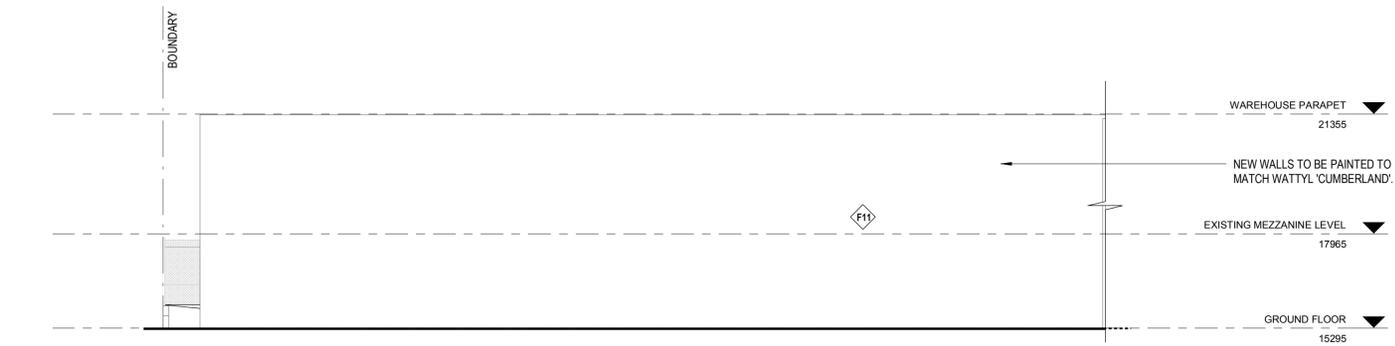
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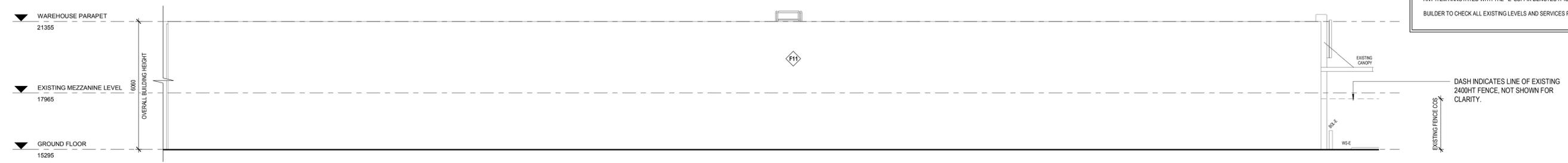
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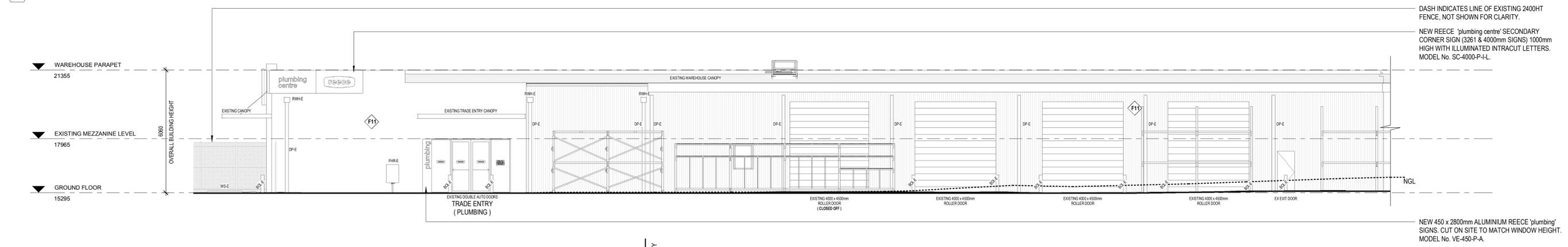
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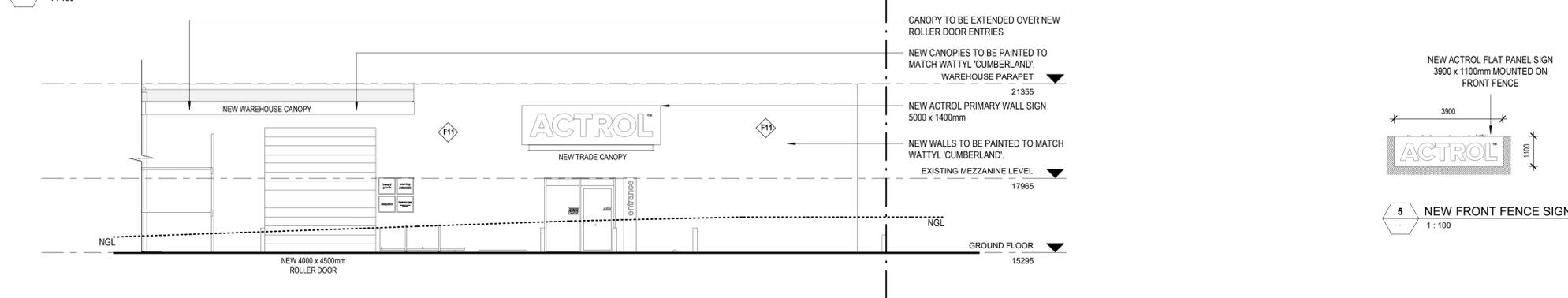
1 DA - NORTH ACTROL ELEVATION
1 : 100



2 DA - NORTH REECE ELEVATION
1 : 100



3 DA - SOUTH REECE ELEVATION
1 : 100



4 DA - SOUTH ACTROL ELEVATION
1 : 100

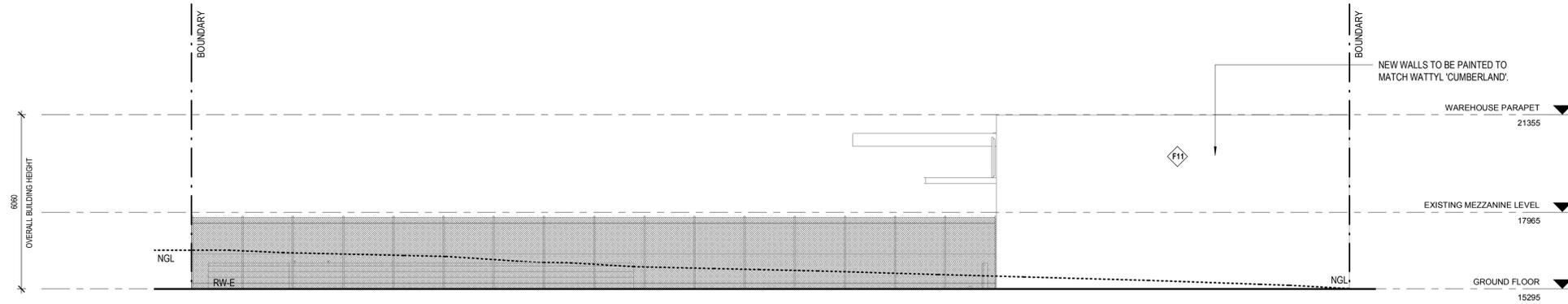
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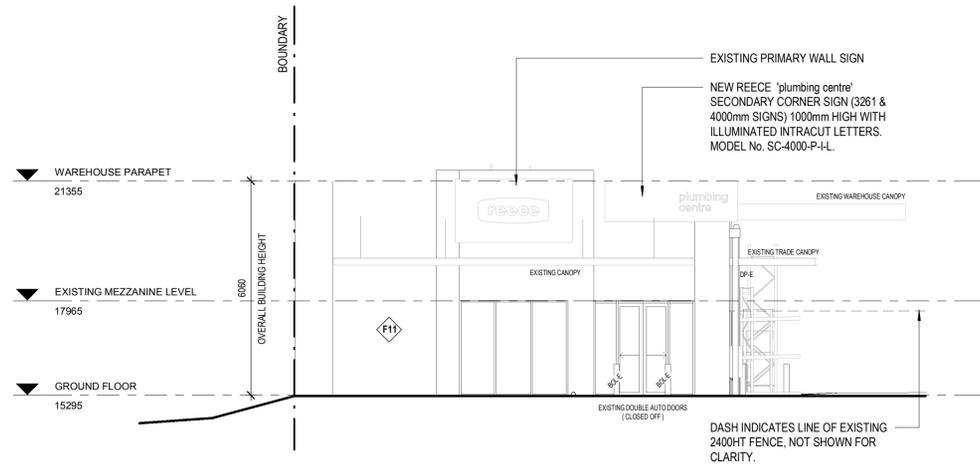
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LOCATION
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DRAWING
PROPOSED ELEVATIONS

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1 PROPOSED EAST ELEVATION
1:100



2 PROPOSED WEST ELEVATION
1:100

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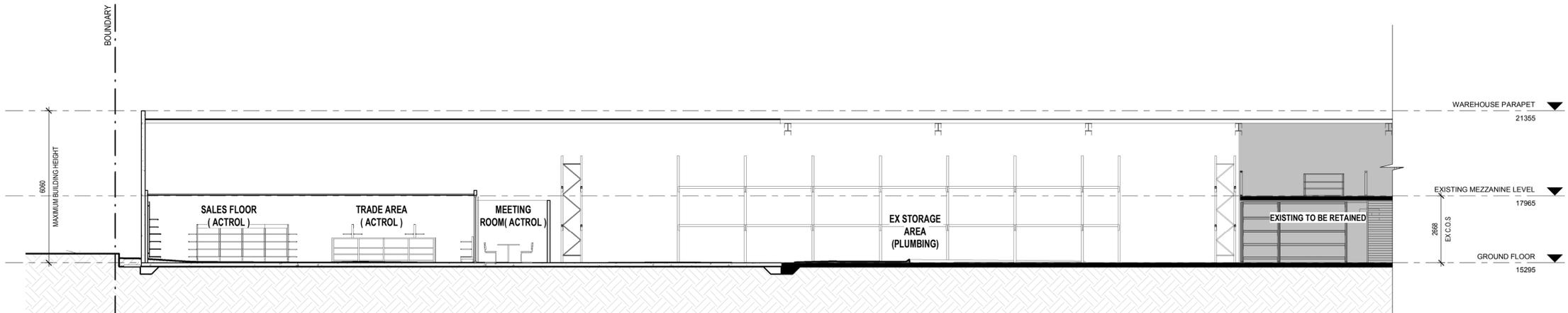
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PORPOSED ELEVATIONS

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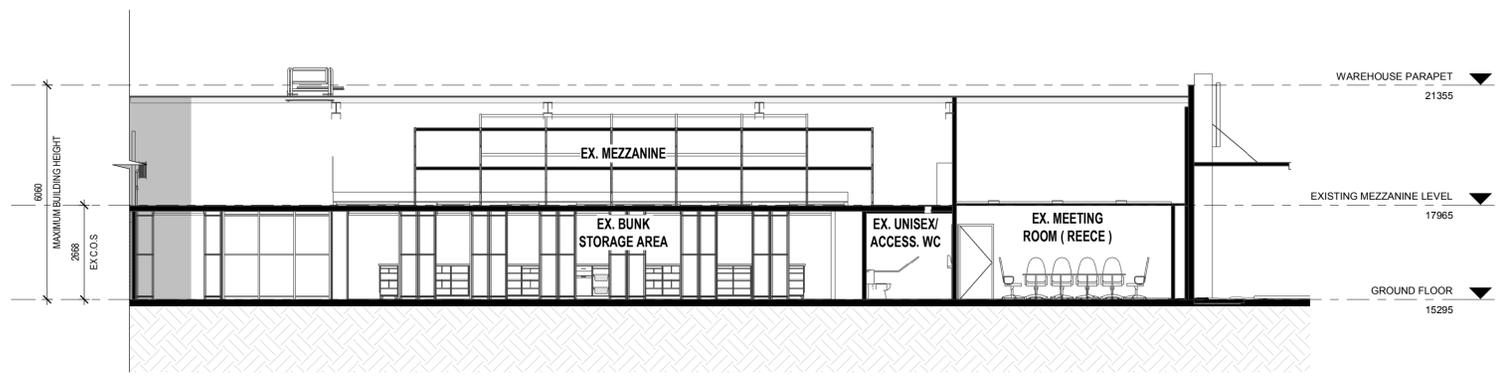
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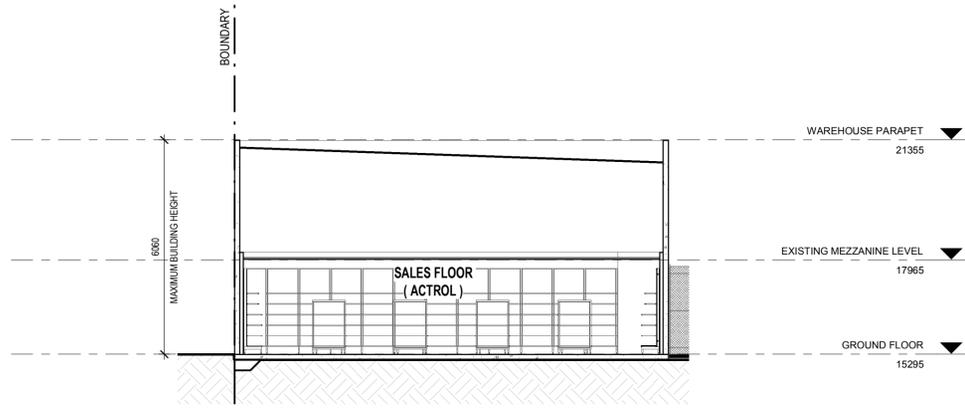
SECTION LEGEND	
BOL	BOLLARD
DP	DOWNPIPE, TO HYDRAULIC ENGINEERS DETAILS
FHR	FIRE HOSE REEL
WS	WHEELSTOP
RWH	RAIN WATER HEAD, TO HYDRAULIC ENGINEERS DETAILS
GENERAL NOTE:	
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BUILDER TO CHECK ALL EXISTING LEVELS AND SERVICES PRIOR TO CONSTRUCTION	



1 SECTION 1 - ACTROL
1:100



2 SECTION 1 - REECE
1:100



3 SECTION 2 - ACTROL
1:100

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ACTROL NORTH ROCKHAMPTON

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DRAWING
SECTIONS

SCALE
 1:100@A1

DATE
 OCT 18

DRAWN BY
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REVISION
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DA ISSUE.

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