

# Alterations to existing child care centres

## 188 Farm Street, North Rockhampton

### ROCKHAMPTON REGIONAL COUNCIL

#### APPROVED PLANS

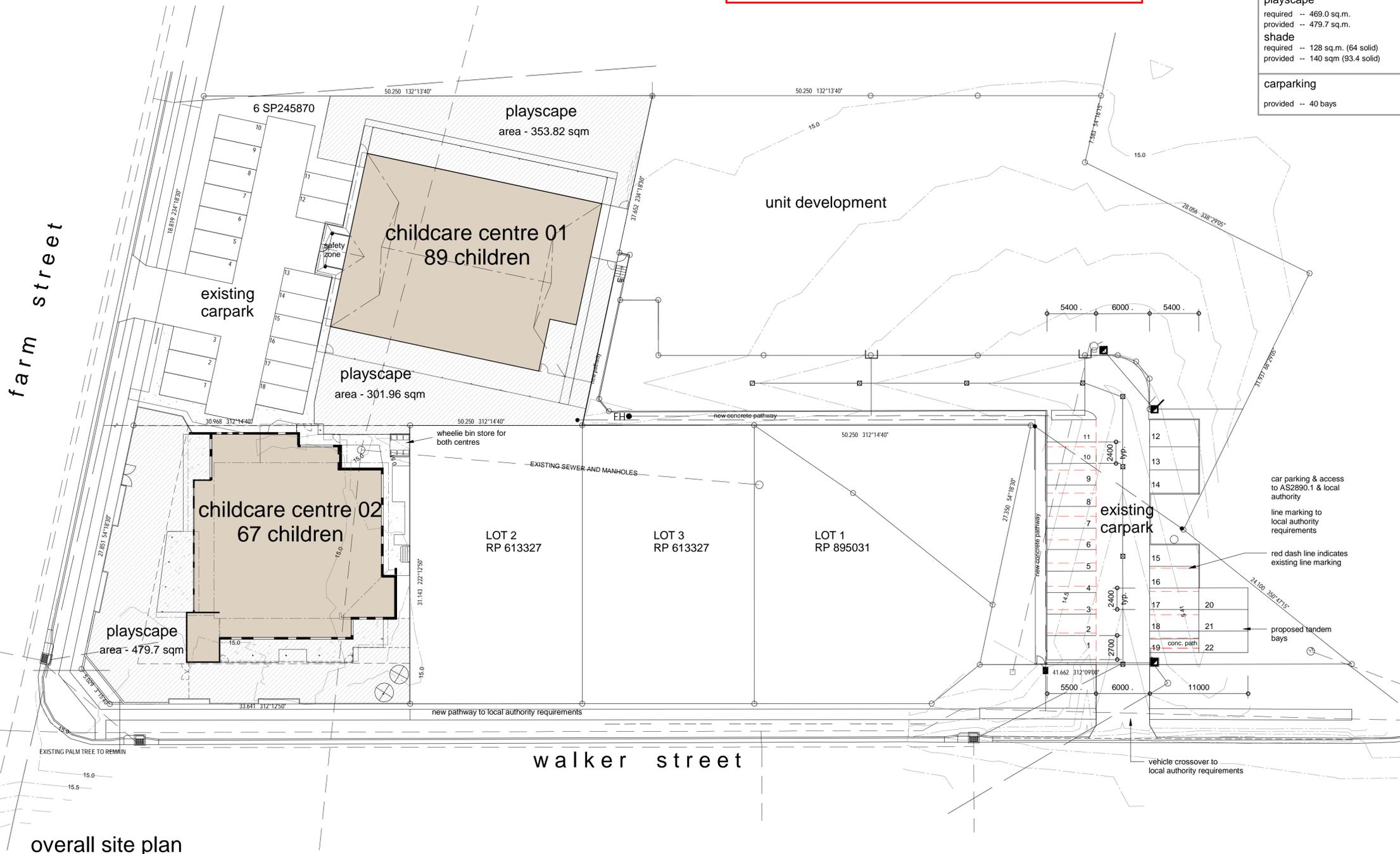
These plans are approved subject to the current conditions of approval associated with

**Development Permit No.:** D/87-2021

**Dated:** 9 September 2021

#### site data

proposals	alterations to existing childcare centres
r.p.d.	6 SP245870
local authority	rockhampton regional council
childcare centre 01	no. of children - 89 no. of activity rooms - 5
playscape	required -- 623.0 sq.m. provided -- 655.78 sq.m.
shade	required -- 170 sq.m. (85 solid) provided -- 178.77 sqm (178.77 solid)
childcare centre 02	no. of children - 67 no. of activity rooms - 4
playscape	required -- 469.0 sq.m. provided -- 479.7 sq.m.
shade	required -- 128 sq.m. (64 solid) provided -- 140 sqm (93.4 solid)
carparking	provided -- 40 bays



date	revision	issue
01/07/21	site data updated	C
29/06/21	carpark & child numbers updated	B
08/07/16	initial issue	A



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QLD 4218  
- phone 07 - 55267131  
Q.B.S.A. license no. 1178466  
NSW accreditation no. 6242

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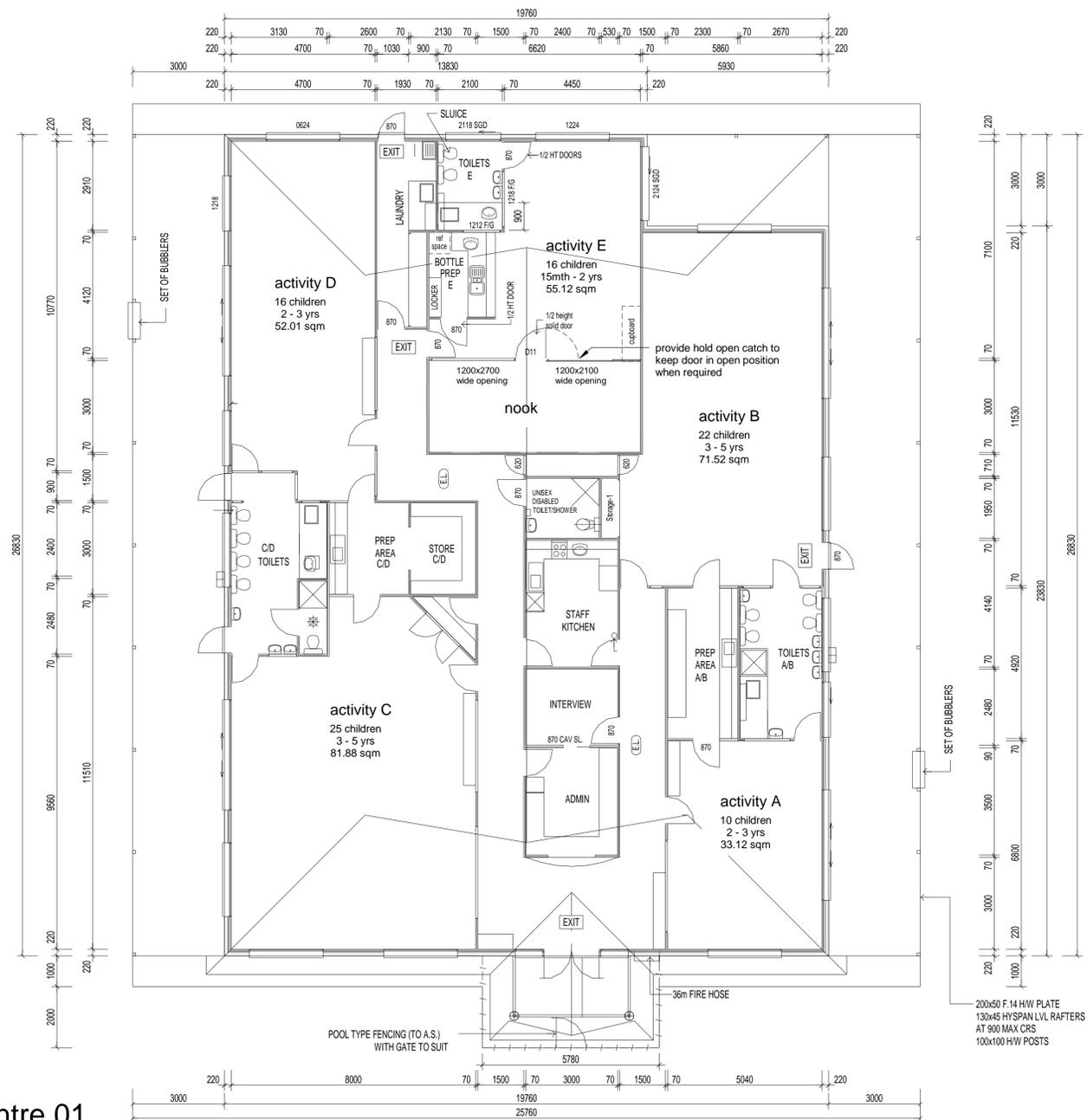
proprietor	date	///
contractor		
datum	A. H. D.	
survey	finch surveying	
scale	1 : 250 at A1	
designed	c. c. raymond	
drawn	c. c. r.	
approved	date	dec. '13.

project  
proposed childcare centre  
farm street  
rockhampton

client  
JRA (qld) pty. ltd.

drawing title  
face sheet/site plan

drawing no.	RD13032	01.	issue	C
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BCA parameters  
 NCC volume one  
 class 9b building  
 type C construction  
 C1

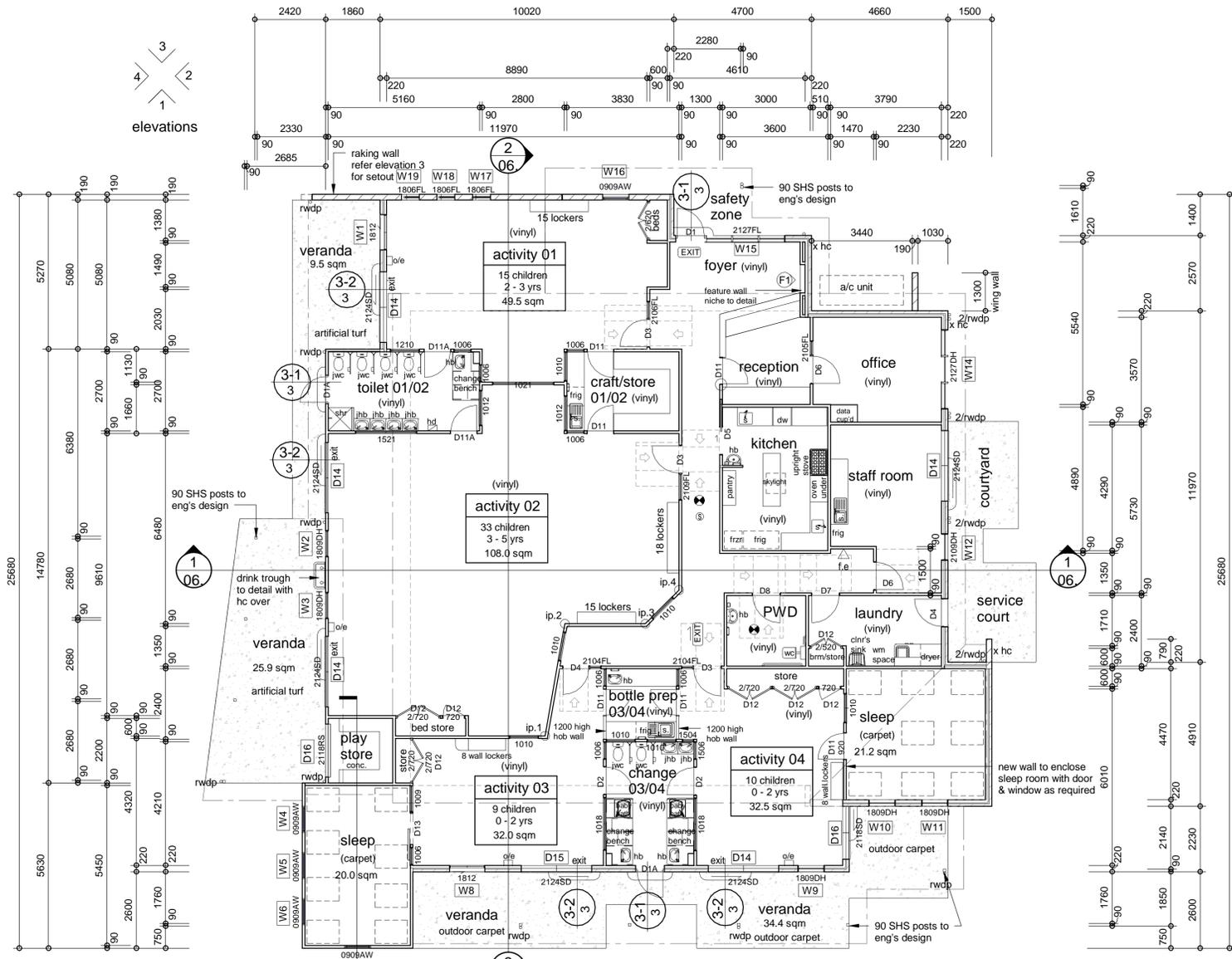
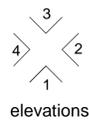
29/06/21	child numbers updated	B
08/07/16	initial issue	A
date	revision	issue



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designed	c. c. raymond
drawn	c. c. r.
approved	date dec. '13.
project	proposed childcare centre farm street rockhampton
client	JRA (qld) pty. ltd.
drawing title	centre 01 floor plan
drawing no.	RD13032
02.	issue B



**centre 02 floor plan**

floor area - 470.7 sqm  
 veranda areas - 69.8 sqm  
 satley zone - 6.2 sqm  
 total area - 546.7 sqm

**floor plan legend**

- illuminated exit sign to BCA requirements
- as required by BCA sliding doors forming paths of exit must comply with with BCA C. D2.19 with an opening force not greater than 110N
- indicates exit door to open space
- emergency lighting to BCA requirements
- fire extinguisher 2A : 40B(E) C/W sign over
- smoke detector to AS 3786 & B.C.A. 3.7.2
- 36 lm fire hose reel in cabinet
- outdoor equipment locker to detail refer to J2
- direct wired hand dryer
- indicates door circulation space to AS1428.1
- indicates air conditioning unit location
- indicates square set nib
- 900 x 600 roof access panel
- exhaust fan to roof space to B.C.A. requirements
- meterboard - refer electrical consultant dwgs for spec.

**notes**

**specification**  
 these drawings and the construction are to be read in conjunction with the specification

**access and egress**  
 due to the requirement of protection & safety of children the building and playscape are required to be secured by the child care centre regulation and clause D2.21 (ii) (B) which applies to the operation of the latch, all staff are properly instructed to the duties and responsibilities as required by the regulations.

**emergency lighting**  
 emergency lighting is provided as required by the BCA E4 applicable part c1 E4.2 (b) (i) and E4.2 (f) public access is only permitted to the reception area, the toilets are not public toilets and are for use of staff only therefore C1 E4.2 (f) only applies to areas having public access reception lobby and foyer

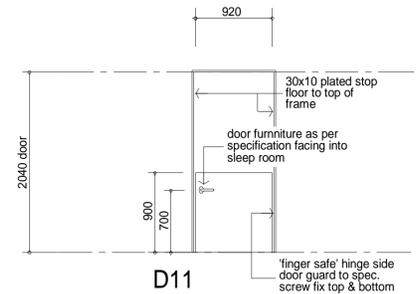
**construction - fire hazard properties**  
 any material and assembly shall comply with specification c1.10. of the building code of australia and floors, walls and ceilings to comply with specification c1.10.a in regards to fire hazard properties.

**floor coverings**  
 floor coverings to have a critical radiant flux of not less than 2.2 and a smoke development rate of 750 percent minutes unless otherwise denoted all floor coverings shall be selected vinyl.  
 change rooms, toilets & kitchen shall be vinyl floor with cove 100 up walls  
 n.b. toilet areas to be set down to allow for graded bed & vinyl, min 1 : 80 fall

**waterproofing of wet areas**  
 waterproofing of wet areas shall be in accordance with F1.7 of the building code of australia and AS 3740

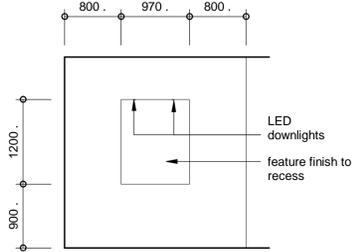
**sliding windows & doors**  
 aluminium framed sliding windows & doors to AS.2047 all windows & doors to be fitted with flyscreens  
 all internal windows and doors to AS 1288  
 refer to specification for extent of s/s security screens to sliding doors & windows  
 construction of exits including doors and door hardware shall comply with part D2 and part D3 of the Building Code of Australia class 2 - 9 as applicable  
 sliding doors nominated as exits shall be operable manually by a force not exceeding 110kn.  
 heads of all sliding & fixed glass windows internally to line up with door heads  
 internal windows less than 1200 wide are to be fixed light windows no's. shown thus e.g. 2106  
 \*21 indicates 2100 high-89 indicates 900 wide  
 suffix SD - sliding patio door  
 FL - fixed light  
 DH - double hung  
 PV - permanent vent  
 AS - awning sash

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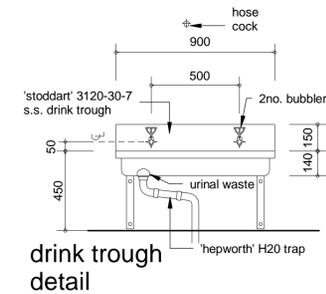


**D11**  
 half door refer to joinery details where part of joinery reception doors, milk prep craft, kitchen areas

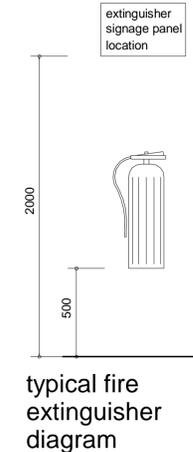
**door details**



**view F1**



**drink trough detail**



**typical fire extinguisher diagram**

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29/06/21	child numbers updated	B
08/07/16	initial issue	A
date	revision	issue

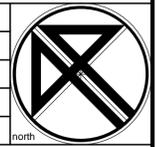


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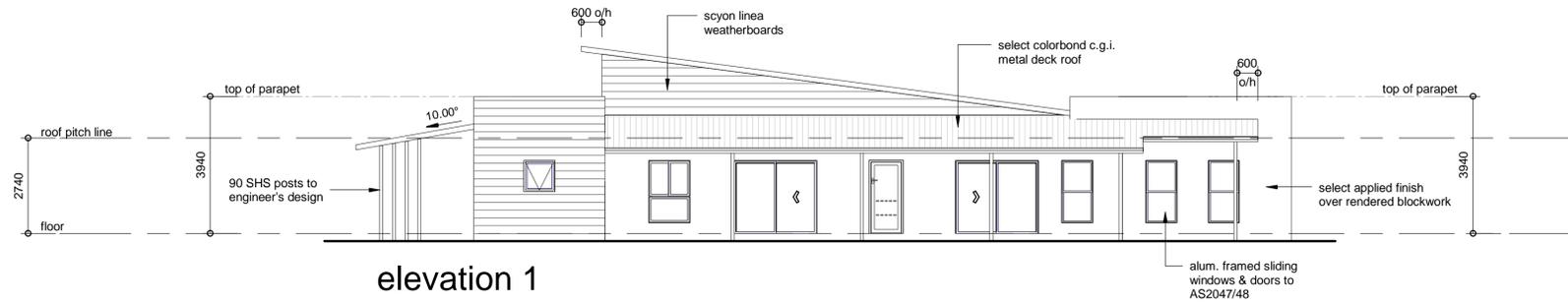


**proposed childcare centre**  
 farm street  
 rockhampton

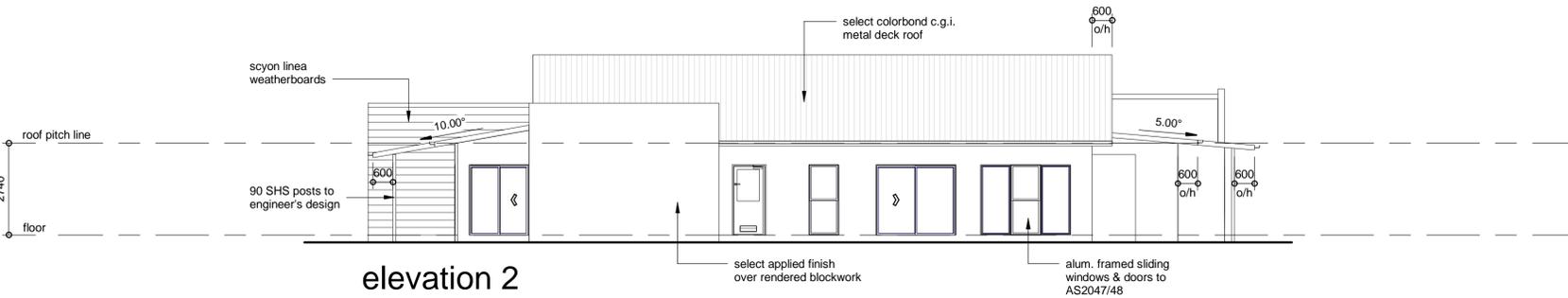
client  
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drawing title  
 centre 02 floor plan

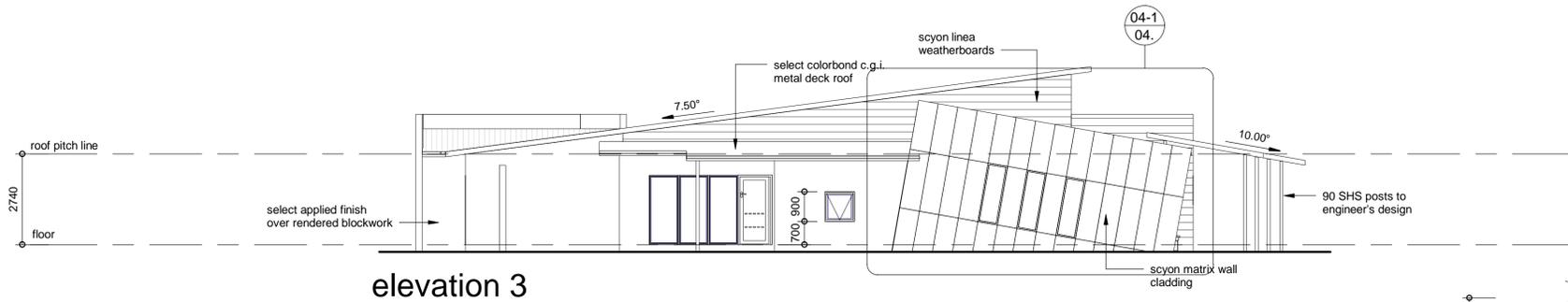
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RD13032		B



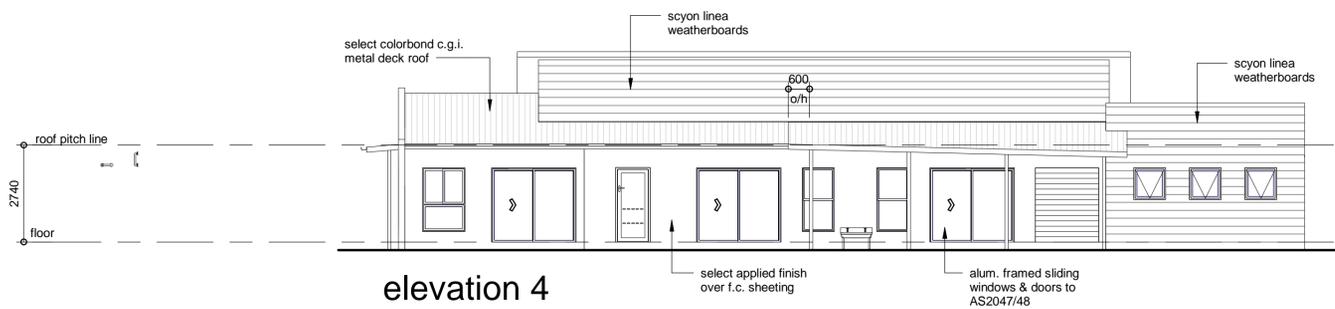
elevation 1



elevation 2

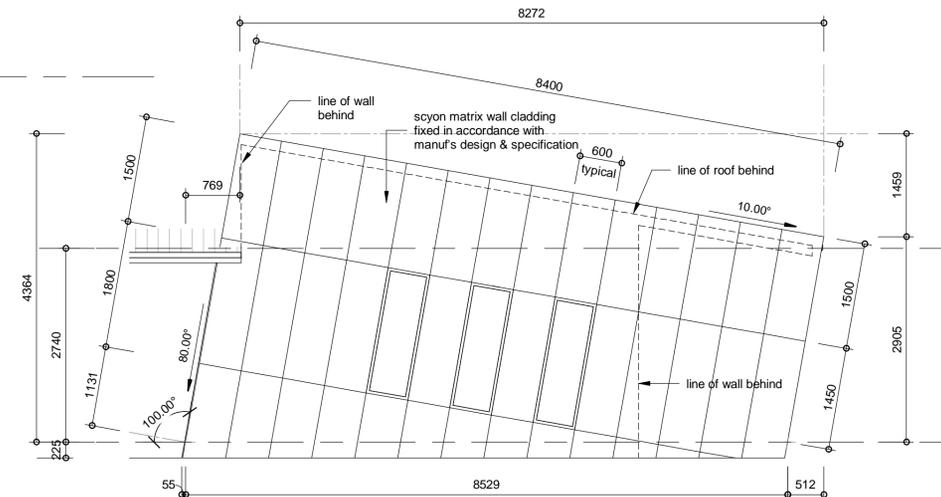


elevation 3



elevation 4

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detail 04-1

date	revision	issue
08/07/16	initial issue	A

**RD**  
**raymond design**

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 farm street  
 rockhampton**

client  
**JRA (qld) pty. ltd.**

drawing title  
**elevations**

drawing no.	RD13032	04.	issue	A
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