

ROCKHAMPTON REGIONAL COUNCIL

GENERALLY IN ACCORDANCE APPROVED PLANS

12 March 2018

DATE

These plans are approved subject to the
current conditions of approval associated with

Development Permit No.: D/483-2013

Dated: 3 February 2014

abbreviations

ba	bath tub
bal	balustrade
brn	broom cupboard
CL	concrete
col	column
conc	concrete
c.o.s	confirm on site
cpd	cupboard
cpt	carpet
cs	ceiling slider
c.tile	ceramic tile
dn	down
DP	downpipe
dw	dishwasher space
e	existing
ex.agg	exposed aggregate concrete
EL	emergency light
fd	french door
fe	portable fire extinguisher
fg	fixed glass
fr	fire hose reel
FI	field inlet
fd	folding clothesline
fw	floor waste
g.t	gully trap
hb	hand basin
hc	hose cock
hp	hot plate
hws	hot water system
lin	linen cupboard
LI	laundry tub
mh	manhole
msb	main switch board
n	new
o/h	overhang
obs	obscure
ohc	overhead cupboard
pry	pantry
qt	quarry tiles
ref	refrigerator space
rh	range hood above
s.a	smoke alarm
SD	sliding glass door
shr	shower
sk	stainless steel sink
sl	sliding
slr	sliding door
ssb	sub-switchboard
stc	steel trowel concrete finish
stx	stove with range hood over
SW	storm water
TMH	telstra manhole
tub	laundry tub
u/s	underside
vb	vanity basin
WIR	walk in robe
wc	water closet
wf	wood floor finished concrete
WM	water meter
wms	washing machine space
wo	wall oven
X	fixed portion
X	sliding portion

rev	date	description	drawn
P1	01.02.13	Concept Layout	jb
P2	15.03.13	Preliminary Issue	as
P3	22.03.13	Preliminary Issue	as
P4	01.05.13	Preliminary Issue	as
P5	16.05.13	Preliminary Issue	as
A	20.05.14	Building Approval	jb
B	16.07.14	Building Approval	as
C	01.03.18	Consultant Issue	as
D	02.03.18	BA Revised	jb

Building Application Notice

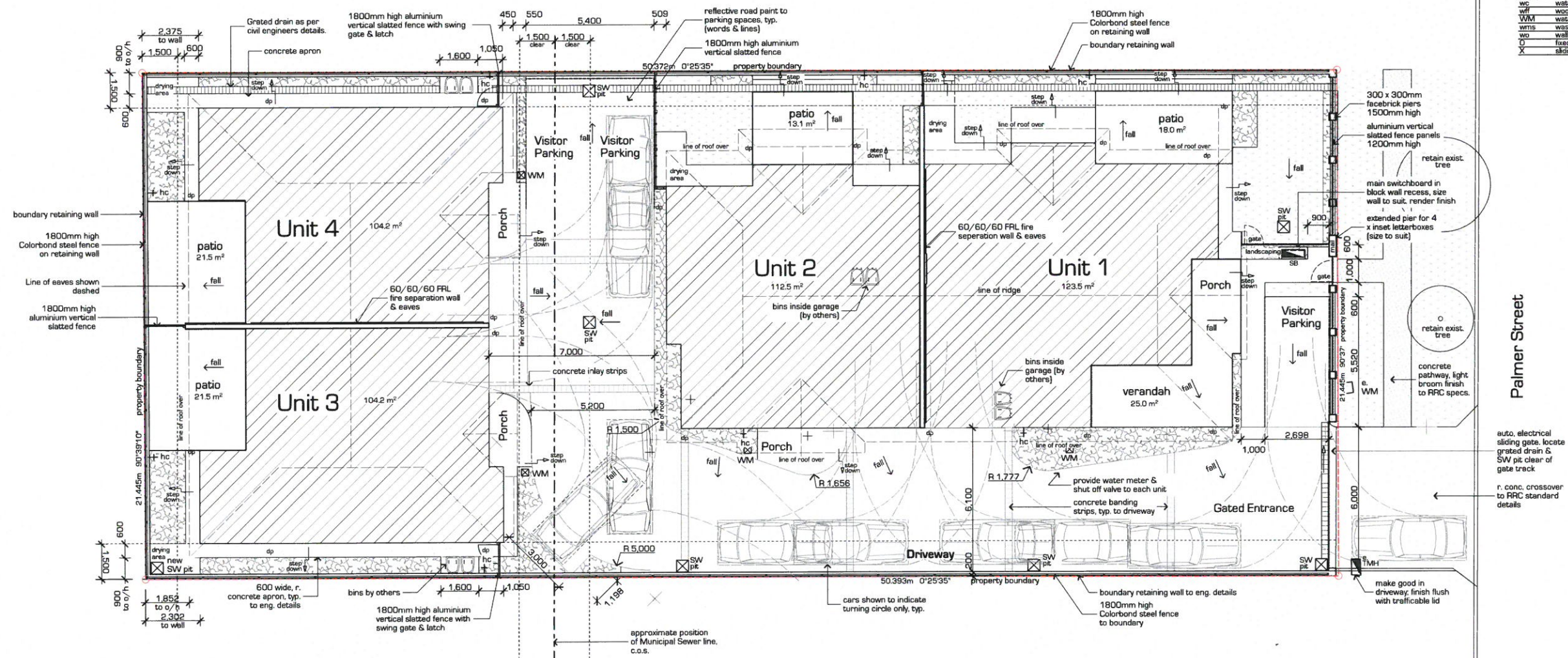
These Architectural drawings are for Building Application purposes only. There is insufficient detail to construct every element shown and further detail is available by commission from the Architect for the Construction Phase. Where not appointed by the Architect to do so, the Builder and/or Project Manager shall be responsible for the co-ordination of documents between Architects and Sub-Consultants (eg. Structural Engineer, Hydraulics Engineer, Electrical Engineer etc.).

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Site Usage Legend

	medium density planting
	lawn
	exposed aggregate concrete to pathways & driveways
	building
	hosecock
	main switchboard

Site Data

Lot 4 on SP 153692
Parish of Rockhampton County of Livingstone
Site Area: 1080.33 sqm
Zoning: The Range - South Residential
Use: Residential
New GFA: 443 sqm
Coverage allowed: 540 sqm 50%
Coverage actual: 465 sqm (45%)
Building Height allowed: 9m - 2 Storey
Building Height actual: 5.85m - 1 Storey
No. car parks required: 7 (MCU conditions)
No. car parks provided: 7
Landscaping required: 10% of site
Landscaping actual: 142 sqm - 13 %

Unit Areas

Unit 1: 123.5 sqm, 3 bed, 2 bath.
External = 43.0 sqm
Unit 2: 112.5 sqm, 3 bed, 2 bath
External = 13.1 sqm
Unit 3: 104.2 sqm, 2 bed, 2 bath
External = 21.5 sqm
Unit 4: 104.2 sqm, 2 bed, 2 bath
External = 21.5 sqm

Site Notes

1. Refer to Civil drawings for all levels.
2. Provide stormwater pit to all downpipes.

Project Details

client
B. Harth
project
**2 x 3 Bed & 2 x 2 Bed
Apartments**
address
**9 Palmer Street
Rockhampton**
title
Proposed Site Plan



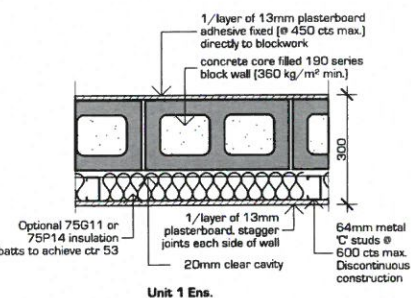
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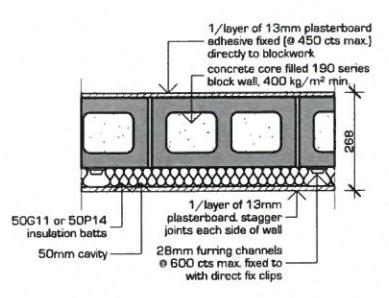
design	drawn	checked	job no.
jb	as	as	BT130315
scale	date	drawn	rev.
as shown	21.02.14	WD 04	D
orig. size	A1	sheet 4 of 10	

Wall legend

- 60/60/60 FRL - Masonry blockwork dividing wall system, refer details this sheet
- Rendered brick veneer, wall sarking, stud wall frame, insulation, internal plasterboard lining
- FC weatherboard cladding, wall sarking, stud wall frame, insulation, internal plasterboard lining
- Internal stud wall frame with plasterboard finish



Unit 1 Ens.
Internal dividing wall - Unit 1 Ens.
FRL > 60/60/60; R_w+C_w = 50 (Boral System - MW1.4B)



Internal dividing wall - Typical
FRL > 60/60/60; R_w+C_w = 51 (Boral System - MW1.2B)

- NOTES:
1. Stagger plasterboard sheeting joints each side of wall.
 2. Block wall and joints to be filled solid.
 3. Water supply & electrical outlets in cavity to comply with NOC Spec. 5.2.2 (e)(iii)

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1. Floor levels indicative only, c.o.s. Refer to Civil engineer's drawings.
2. Refer to Hydraulic engineer's drawings for downpipe layout and details.
3. Consider additional wall thickness intrusion into rooms each side of dividing wall.
4. Provide stormwater pits under all downpipes, typically.
5. Ensure all external AC units to be more than 3m from boundaries & on conc. pads.

abbreviations

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date
21.02.14
drawing
A1
sheet
5 of 10
rev.
D

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