



SARA reference: 2204-28578 SRA & 2206-29171 SRA
Council reference: D/45-2022
Applicant reference: 8467

3 June 2022

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton Qld 4700
enquiries@rrc.qld.gov.au

Attention: Kathy McDonald

Dear Sir/Madam

SARA response—194 Quay Street, Rockhampton City

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 28 April 2022 and 2 June 2022 (missed referral trigger).

Response

Outcome:	Referral agency response – with conditions.
Date of response:	3 June 2022
Conditions:	The conditions in Attachment 1 must be attached to any development approval.
Advice:	Advice to the applicant is in Attachment 2 .
Reasons:	The reasons for the referral agency response are in Attachment 3 .

Development details

Description:	Development permit	Material change of use for dual occupancy
SARA role:	Referral Agency.	
SARA trigger:	Schedule 10, Part 8, Division 2, Subdivision 3, Table 1 (Planning Regulation 2017)	
	Development application for a material change of use on a Queensland heritage place	

Schedule 10, Part 8, Division 2, Subdivision 3, Table 2 (Planning Regulation 2017)

Development application for a material change of use on premises that share a common boundary with a lot containing a Queensland heritage place

SARA reference: 2204-28578 SRA
Assessment Manager: Rockhampton Regional Council
Street address: 194 Quay Street, Rockhampton City
Real property description: Lot 1 on RP600163
Applicant name: B. Nobbs
Applicant contact details: c/- Capricorn Survey Group (CQ) Pty Ltd
PO Box 1391
Rockhampton QLD 4700
reception@csgcq.com.au

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules) Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Tracey Beath, Senior Planning Officer, on (07) 4924 2917 or via email RockhamptonSARA@dsdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
Manager Planning

cc B. Nobbs c/- Capricorn Survey Group (CQ) Pty Ltd, reception@csgcq.com.au

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations provisions
Attachment 5 - Plans and documents referred to in the referral agency response

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the plans and specifications referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Material change of use		
Schedule 10, Part 8, Division 2, Subdivision 3, Table 1 and Table 2—The chief executive administering the Planning Act 2016 nominates the Director-General of the Department of Environment and Science to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The works must be carried out generally in accordance with the following plans:</p> <ul style="list-style-type: none"> (a) SITE PLAN prepared by Feather & Lawry Design dated 07.04.22, drawing no. DA-001 and revision A (b) EXISTING FLOOR PLANS prepared by Feather & Lawry Design dated 07.04.22, drawing no. DA-101 and revision A (as amended in red by SARA) (c) PROPOSED FLOOR PLAN drawing by Feather & Lawry Design dated 07.04.22, reference no. DA-102 and revision A (d) EXISTING ELEVATIONS prepared by Feather & Lawry Design dated 07.04.22, drawing no. DA-201 and revision A (e) PROPOSED ELEVATIONS prepared by Feather & Lawry Design dated 07.04.22, drawing no. DA-202 and revision A (f) SECTIONS prepared by Feather & Lawry Design dated 07.04.22, drawing no. DA-301 and revision A 	Prior to the commencement of use and to be maintained at all times
2.	<p>The works must be carried out generally in accordance with:</p> <ul style="list-style-type: none"> (a) Pages 1 to 3 of MCU Report prepared by Capricorn Survey Group (CQ) Pty Ltd dated 12 April 2022, reference 8467 (b) (Former) <i>Royal Bank Building</i> (QHR ID: 600808) 194 Quay Street, Rockhampton, Heritage Impact Assessment for proposed Redevelopment of a <i>Queensland Heritage Place</i> prepared by Vault Heritage Consulting Pty Ltd dated 11 April 2022, reference no. 220072 / Quay and revision B. 	Prior to the commencement of use and to be maintained at all times
3.	A copy of this decision notice is to be retained at the Queensland heritage place.	For the duration of the development
4.	Provide written notice of the commencement of the dual occupancy to Environmental Services and Regulation, Department of Environment and Science at palm@des.qld.gov.au .	Within 10 working days of the commencement of the material change of use
5.	<p>(a) Take photographs of the area where the works are undertaken:</p> <ul style="list-style-type: none"> (i) Prior to the commencement of works; and (ii) At the completion of the works 	(a)(i) – (a)(ii) as indicated

	<p>(b) Submit both sets of the photographs to Environmental Services and Regulation, Department of Environment and Science at palm@des.qld.gov.au.</p>	<p>(b) Within 10 working days of completion of the works</p>
6.	<p>a) The following elements are to be retained intact and in-situ:</p> <ul style="list-style-type: none"> i. Ground Floor <ul style="list-style-type: none"> a. Early windows and doors and associated elements (including hardware and stone sills); b. Early skirting and architraves; c. Original strongroom and strongroom door; d. Early ceiling, cornices and decorative plasterwork (under the later dropped ceiling); e. Brick masonry rendered walls; f. Entrance hall timber stair with turned balusters, newel posts and timber handrails; g. Boarded timber ceilings; h. Nib wall and openings as shown on EXISTING FLOOR PLANS prepared by Feather & Lawry Design dated 07.04.22, reference no. DA-101 and revision A (as amended in red by SARA). ii. First Floor <ul style="list-style-type: none"> a. Decorative plaster ceiling details; b. Timber architraves; c. Early windows, doors, arched fanlights and associated elements; d. Entrance hall timber stair with turned balusters, newel posts and timber handrails; e. Brick masonry rendered walls f. Fireplace, mantelpiece and timber surround. <p>b) Provide the proposed methodology for the careful removal and stabilisation of the parti walls to the rear warehouse to Environmental Services and Regulation, Department of Environment and Science at palm@des.qld.gov.au.</p>	<p>(a) For the duration of the development</p> <p>(b) A minimum of 10 days prior to the lodging of a development application for building works assessed against the <i>Planning Act 2016</i> and/or <i>Building Act 1975</i>.</p>

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP) 3.0. If a word remains undefined it has its ordinary meaning.
2.	A development permit for any building work necessary to implement the material change of use is required to be obtained before the development can be carried out, and the permit application must be referred to the Chief Executive administering the <i>Planning Act 2016</i> .
3.	<p>Building fabric and any structures associated with the Royal Bank Building (former) are to remain unchanged until appropriately assessed and conditioned.</p> <p>Further permits for building works under the <i>Planning Act 2016</i> and building works under the <i>Building Act 1975</i> must include but are not limited to the following information:</p> <ol style="list-style-type: none"> Finishes and colour schedule demonstrating all new finishes are fully reversible to early/original elements. A decorative colour paint analysis of the early and original colours where a new paint scheme is proposed. The new scheme must be based on the tonal qualities and number of colours of the early schemes. Landscaping details of the courtyard space demonstrating the tree species are suitable and non-invasive and root barriers are proposed. Ground water capture in the courtyard space and demonstrating no adverse or worsening condition of the walls and/or footings to the Royal Bank Building. Services drawings demonstrating compliance with item k). Removal and replacement of later cement brick pointing demonstrating the replacement mortar is consistent and matches the early brick mortars (i.e. lime based mortar with substantiation of mortar analysis of the earliest mortars). Fixing details for the threshold ramp demonstrating the works are fully reversible and comply with condition 6 of this referral agency response. Fixing details generally. All fixings into face brick work must be limited to thread forming fully reversible fixings into mortar joints only. Dynabolts, chemical and explosive pin type fixings are not permitted. Structural drawings demonstrating the proposed rear section has no additional load bears on the original parti walls and the structural support of the new upper levels are self-supporting. Flashings and box gutters to be detailed to ensure that water will not impact these parti walls. Flashing detail to be submitted for approval. Fire separation due to residential and commercials tenancies must not result in removal of significant features and/or change to these elements. Appropriate documentation must be provided to demonstrate this can be achieved. Demonstration of compliance with the following technical guidelines: <ol style="list-style-type: none"> Cleaning and maintenance <ol style="list-style-type: none"> Technical note: Inspection, cleaning and maintenance; Painting <ol style="list-style-type: none"> Technical note: Painting – maintenance; Technical note: Painting – surface preparation; and

	<ul style="list-style-type: none">iii. Technical note: Painting – glossary.c. Timber joinery, doors and windows and associated elements<ul style="list-style-type: none">i. Technical note: Minor repairs door and window hardware;ii. Technical note: Minor repairs timber; andiii. Technical note: Minor repairs timber doors and windows.d. Building services<ul style="list-style-type: none">i. Technical note: Building services – maintenance and repairs;ii. Technical note: Building services – upgrades and installation;iii. Technical note: Building services – heating and cooling; andiv. Technical note: Building services – lighting.
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Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for SARA's decision are:

- The development has been designed to minimise impacts on the cultural heritage significance of the Royal Bank Building (former).
- Conditions of this referral agency response and amendments to the proposed renovation plan (Drawing No. DA-101) require significant elements to be retained.
- The development complies with relevant provisions of State code 14 of the State Development Assessment Provisions, version 3.0, subject to the implementation of conditions.

Material used in the assessment of the application:

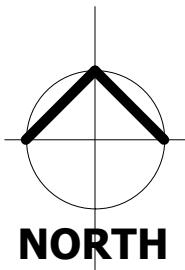
- The development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- The *State Development Assessment Provisions* (version 3.0)
- The Development Assessment Rules
- SARA DA Mapping system

Attachment 4—Change representation provisions

(page left intentionally blank)

Attachment 5—Plans and documents referred to in the referral agency response

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LOT 1 ON RP 600163
L.G.A : ROCKHAMPTON REGIONAL COUNCIL
AREA: 525 m²
COUNTY: LIVINGSTONE
PARISH: ROCKHAMPTON

THESE DRAWINGS ARE PRELIMINARY AND HAVE BEEN
PREPARED FOR DEVELOPMENT APPROVAL PURPOSES ONLY

THEY ARE SUBJECT TO FURTHER DETAIL AND DESIGN
DEVELOPMENT AND MAY RESULT IN FURTHER AMENDMENTS

FINAL AREAS AND LEVELS MAY VARY FROM THOSE INDICATED

ALL ILLUSTRATIONS AND PERSPECTIVES ARE INDICATIVE ONLY

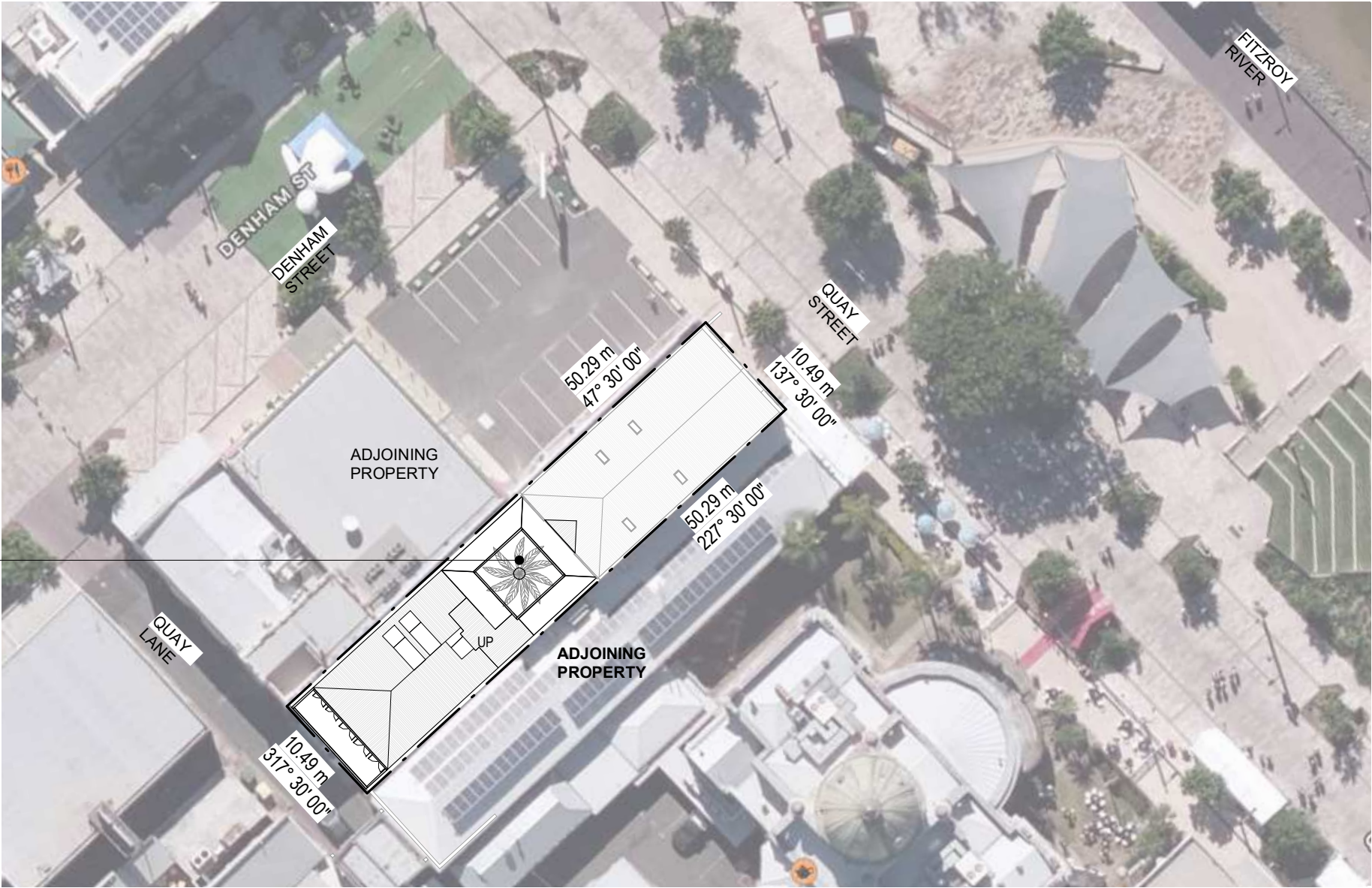
PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



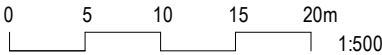
SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022

194 QUAY
STREET



PROPOSED SITE PLAN
1 : 500



D.A. ISSUE

REV. NO.	DATE	AMENDMENT	CHK.
A	07.04.22	DA ISSUE	RP



FEATHER & LAWRY
DESIGN
4 RUSSELL STREET
TOOWOOMBA QLD 4350
phone: (07) 46 388 209
e-mail: admin@featherandlawry.com.au
nominated supervising architect:
Michael Fleming QLD #4861 | NSW #9685

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PROPOSED RENOVATIONS

194 QUAY STREET,
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SITE PLAN

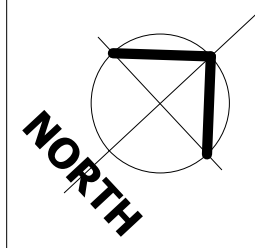
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PROJECT No:
21-0507

SHEET SIZE
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DRAWING No:
DA-001

REVISION
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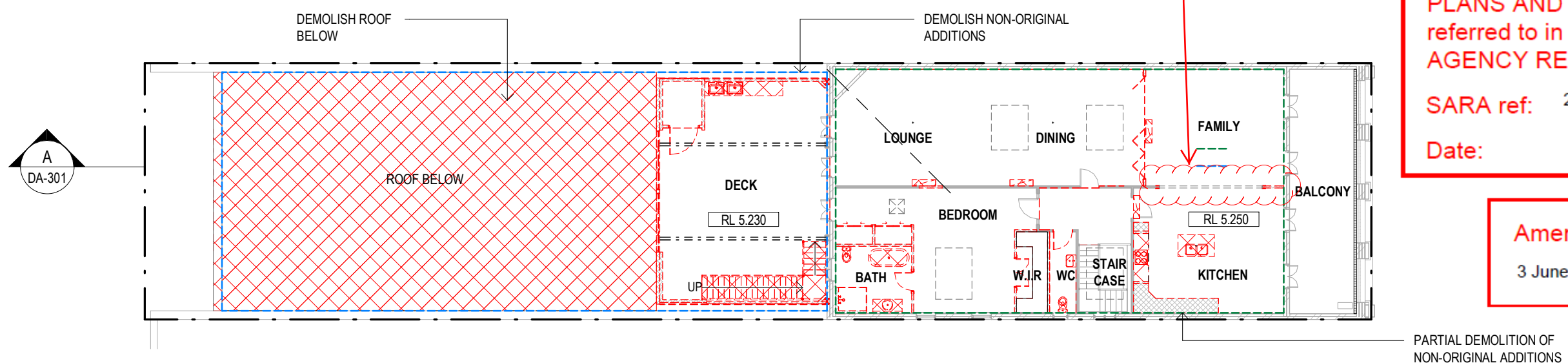
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PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

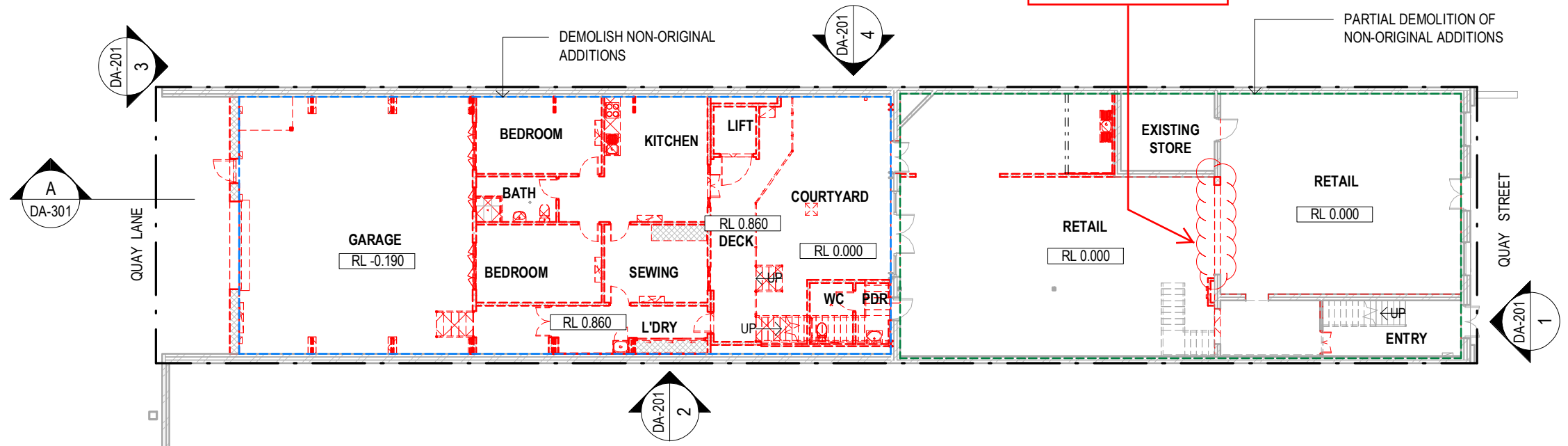
SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022

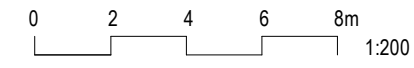
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EXISTING LEVEL 1 PLAN
1 : 200



EXISTING GROUND FLOOR PLAN
1 : 200



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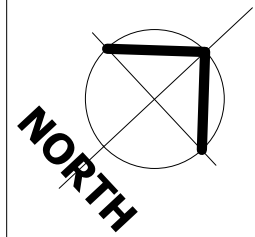
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EXISTING FLOOR PLANS		SHEET SIZE A3
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DRAWN SB	PROJECT No: 21-0507	REVISION A

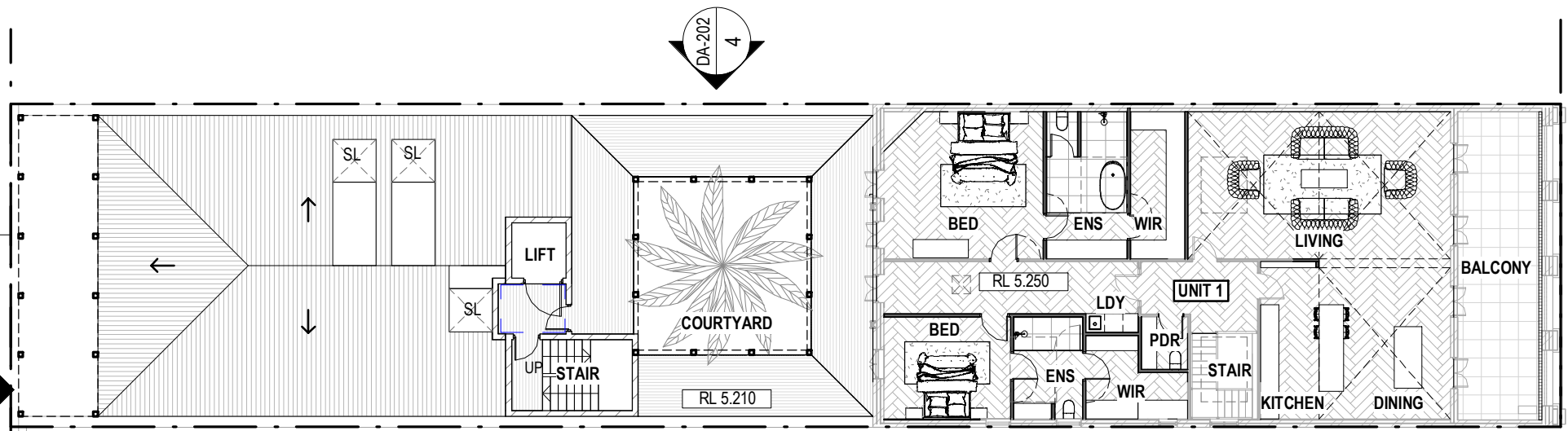


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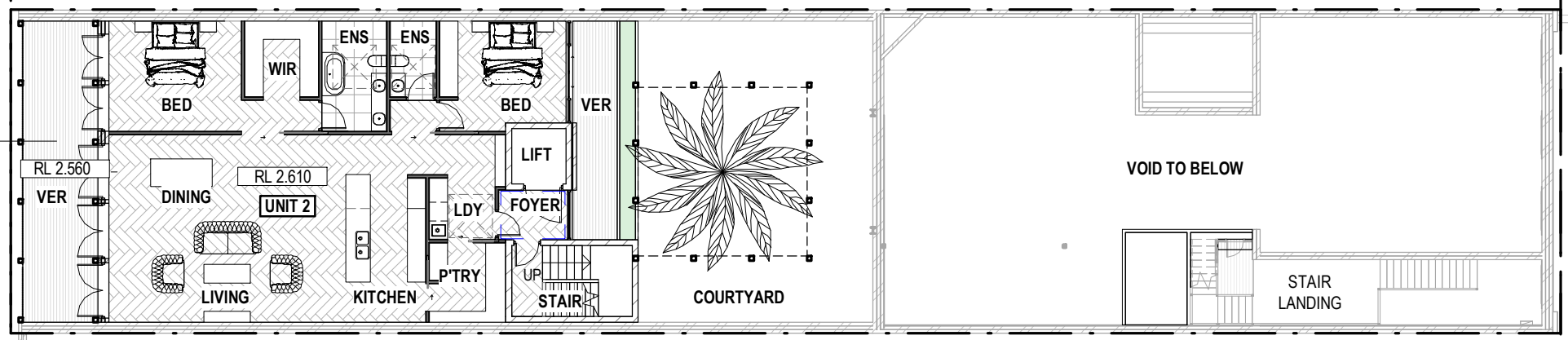
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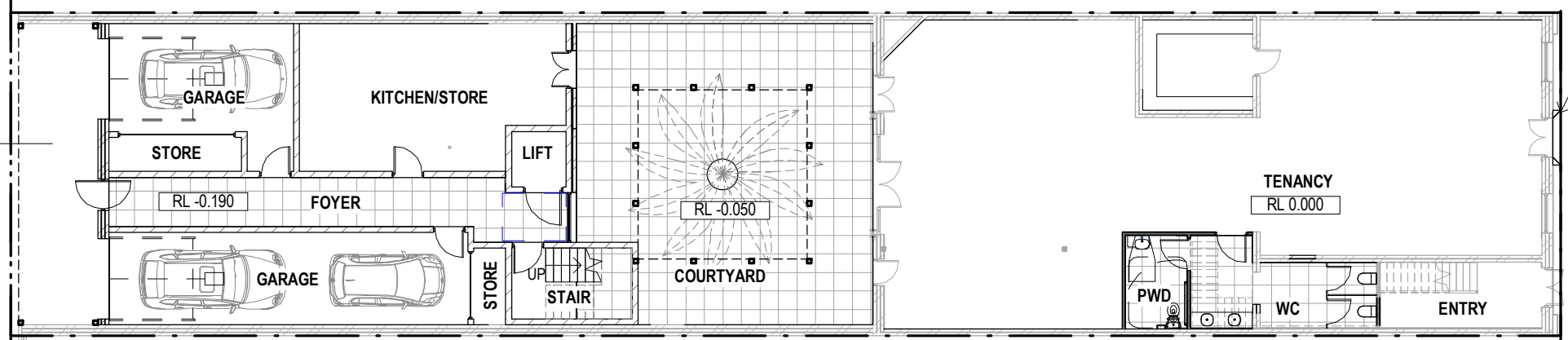
SARA ref: 2204-28578 SRA & 2206-29171 SRA
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

PROPOSED LEVEL 2
1 : 200



PROPOSED LEVEL 1
1 : 200



PROPOSED GROUND FLOOR LEVEL
1 : 200

- PROPOSED LEGEND:**
-  DENOTES EXISTING WALL TO REMAIN
 -  DENOTES NEW BLOCK WALL
 -  DENOTES NEW STUD FRAMED WALL

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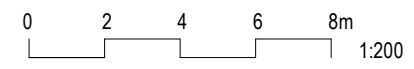
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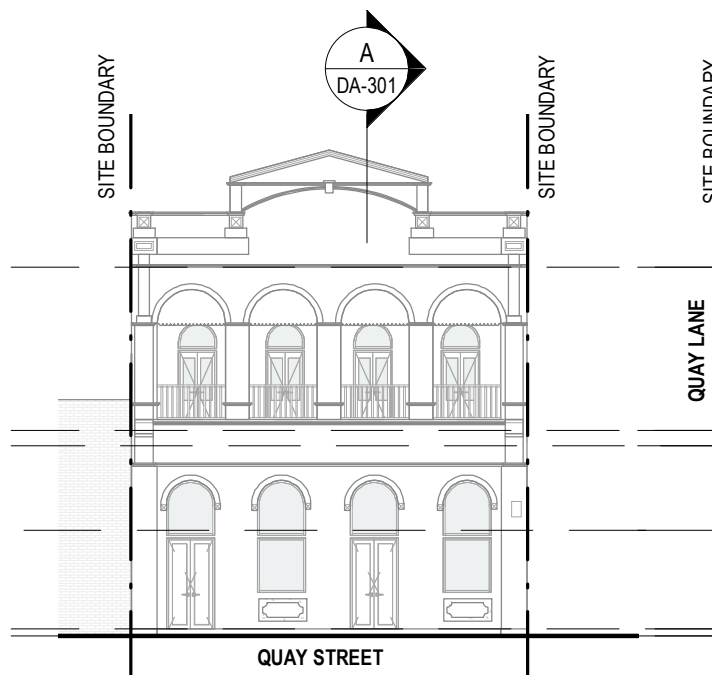
PROPOSED RENOVATIONS

**194 QUAY STREET,
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BRETT NOBBS**

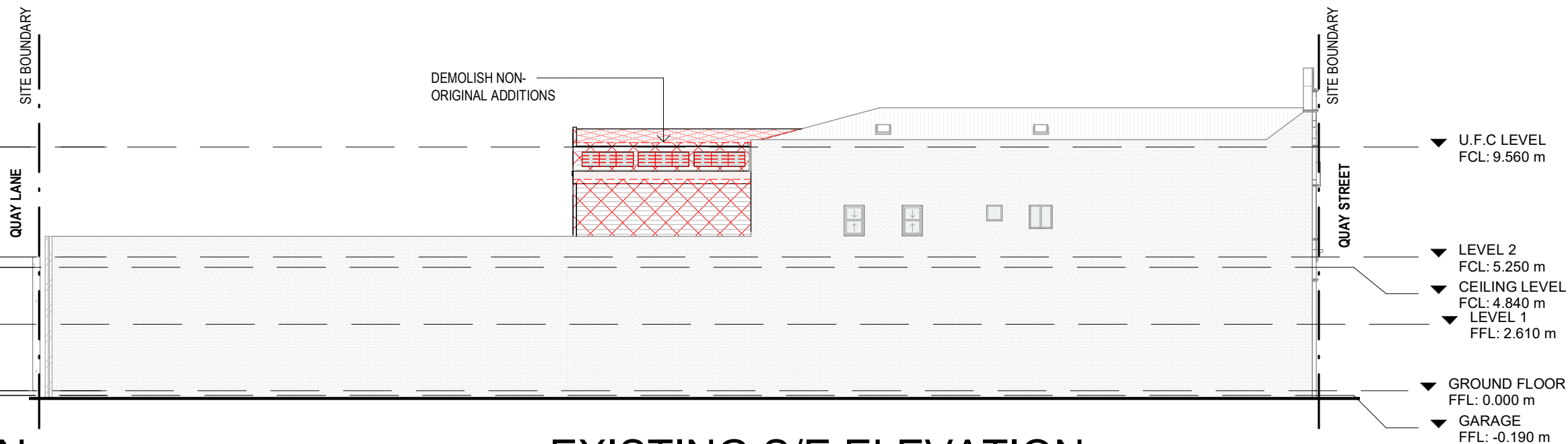
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SHEET SIZE A3	PROJECT No: 21-0507	REVISION A

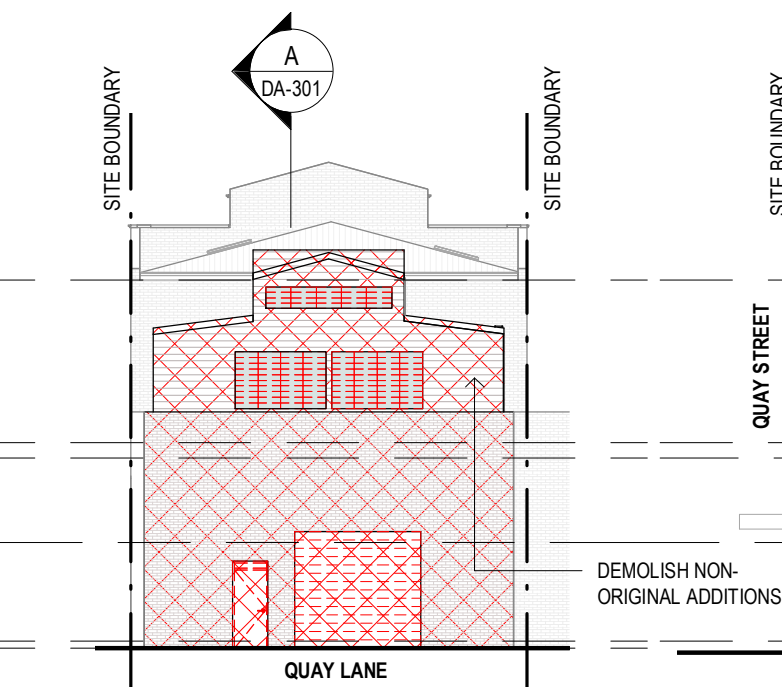




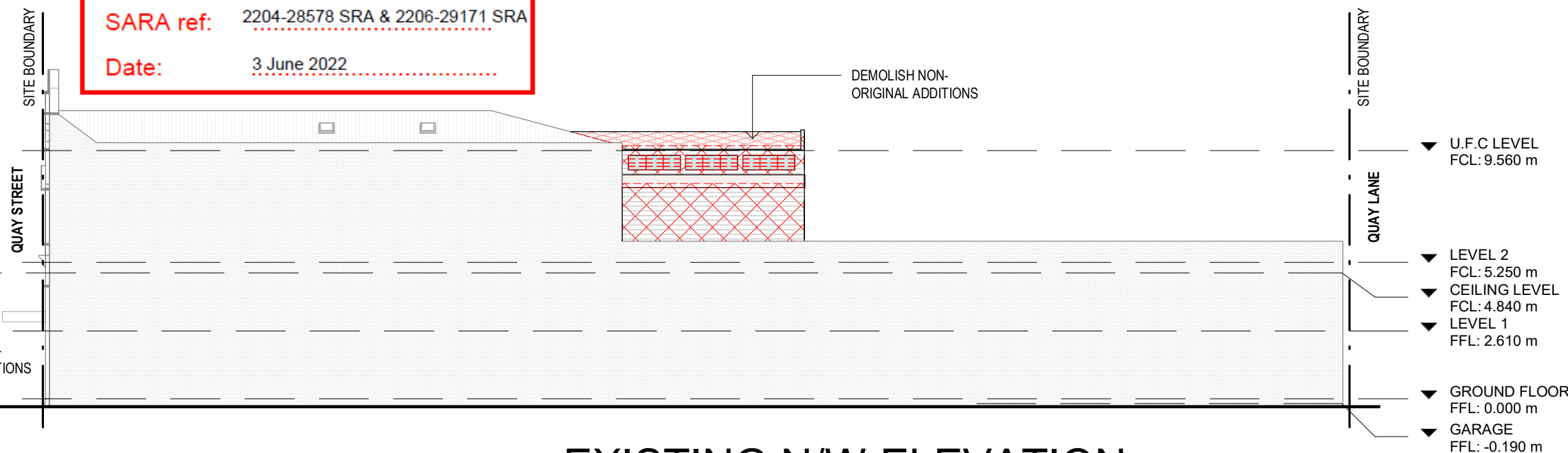
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2 EXISTING S/E ELEVATION
DA-101 1 : 200



3 EX. S/W ELEVATION
DA-101 1 : 200



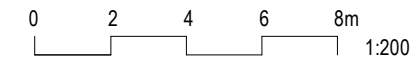
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PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE

SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022

Queensland
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PROPOSED RENOVATIONS

**194 QUAY STREET,
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EXISTING ELEVATIONS

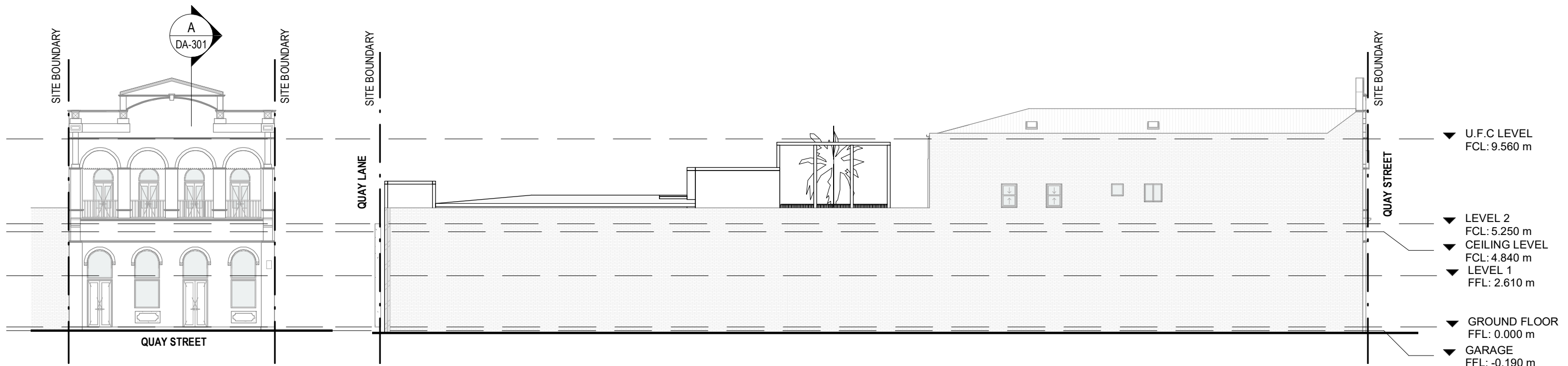
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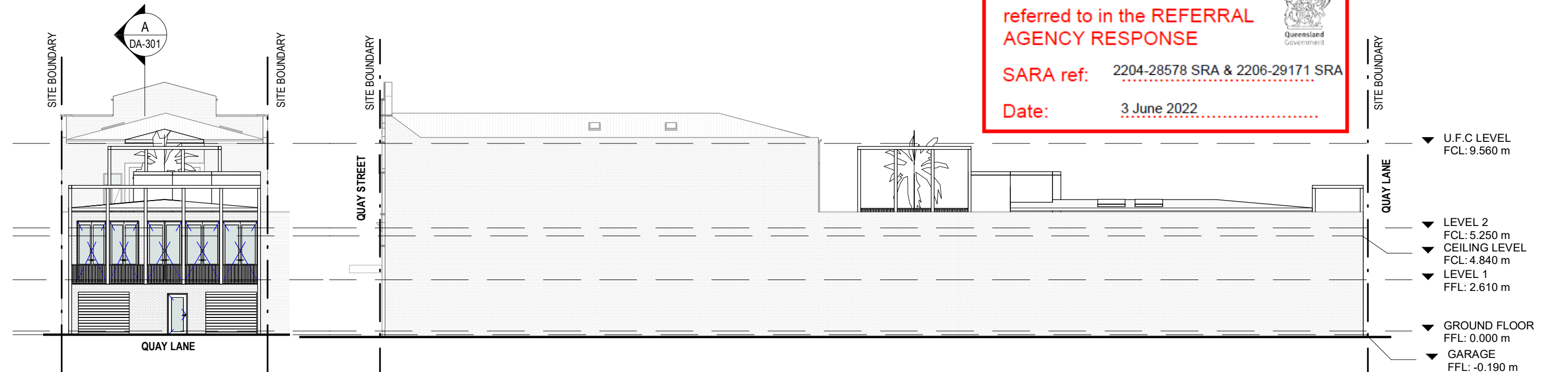
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2 S/E ELEVATION
DA-102 1:200



3 S/W ELEVATION
DA-102 1:200

4 N/W ELEVATION
DA-102 1:200

PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE

SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022



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PROPOSED RENOVATIONS

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PROPOSED ELEVATIONS

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PROJECT No:
21-0507

SHEET SIZE
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DA-202

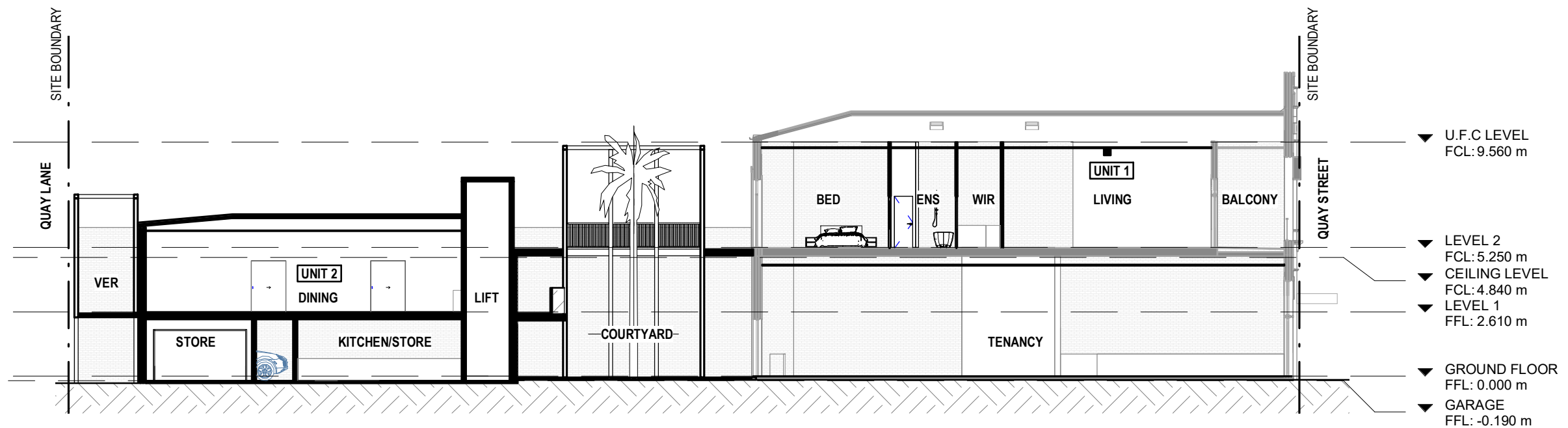
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PLANS AND DOCUMENTS
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AGENCY RESPONSE



SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022



SECTION A
1 : 200



D.A. ISSUE

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PROPOSED RENOVATIONS

**194 QUAY STREET,
ROCKHAMPTON. QLD 4700**

BRETT NOBBS

SECTIONS

DRAWN
SB

PROJECT No:
21-0507

SHEET SIZE
A3

DRAWING No:
DA-301

REVISION
A



capricornsurveygroupcq
SURVEYING & PLANNING SOLUTIONS

12 April 2022

Our Ref: 8467

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton QLD 4700

Attention: Brendan Standen

Dear Sir,

**PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE**



SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022

RE: Development Permit for Material Change of Use
Food and Drink Outlet and Dual Occupancy
And Building Works Assessable against the Planning Scheme
194 Quay Street, Rockhampton City

This application is for a Development Permit for Material Change of Use and Building Works Assessable against the Planning Scheme for a food and drink outlet and dual occupancy within existing heritage listed premises located at 194 Quay Street, Rockhampton City – made by B. Nobbs c/- Capricorn Survey Group (CQ) Pty Ltd.

Real Property Description: Lot 1 on RP600163
Address: 194 Quay Street, Rockhampton City
Site Area: 525m²

The subject property is home to the former Royal Bank of Queensland Building constructed to its current form in 1888. The architectural design of this rendered masonry building has become symbolic of Rockhampton and plays a significant role in the development and preservation of the town's heritage character. The building was added to the State Heritage Register in 1992. Please refer to the attached Heritage Impact Assessment Report prepared by Vault Heritage Consulting for a further brief of the heritage significance and history of this site.

This application is for approval of the uses within the existing building, which are all considered to be accepted development for the zone and only triggered for code assessment by the proposed demolition and building works on the local heritage place.

There will be a total of three levels in the building, however none exceeding the existing building height of the Quay Street elevation. The finished ceiling height of the proposed additions at the rear will differ from that of the existing heritage building, thus the floor levels of the proposed units will be stepped. At different RL heights.

Ground Level

The existing retail space at ground level will likely be transformed into a restaurant/bar (subject to market demands), with pedestrian entry from Quay Street via the existing doorway. Pedestrian entry from Quay Street to the first-floor units will be retained at the southern end of the building.

Ground level will feature:

- Original strongroom of the bank maintained and used as storage or possible wine cellar
- New unisex amenities including ambulant toilet
- Larger open-air courtyard for additional seating for restaurant/bar
- New kitchen for restaurant
- Single vehicle garage for Unit 2
- Rear service dock for deliveries etc
- Tandem parking garage (two spaces) Unit 1
- Private lift and rear stairs with foyer entry for residents only
- Threshold ramp provided at the Quay Street entrance to the restaurant for wheelchair and disability access.

The original exposed brick masonry walls, courtyard entrance French doors will be reinstated and the decorative plaster ceiling details maintained.

Food and Drink Outlet Operating Hours

Final trading hours will be determined in line with liquor and food licencing as such we request any conditions allow for flexibility to be open for breakfast, lunch and dinner with later nights over the weekend period (if desired).

Sun-Sat

6am-12am (midnight)

Employees and Patronage

We expect the restaurant will allow for a capacity of up to 100 patrons at one time. Employee numbers would vary dependent on several factors including patronage numbers, type of use (cocktail bar, tapas restaurant, café, etc) and time of day/week. We expect there would be no more than 10 staff members at one time. This should cover kitchen, service, bar staff and manager.

Approximate floor areas:

Internal (heritage component) – 200m²

Internal (store/kitchen component) – 38m²

Courtyard – 87m²

TOTAL – 325m²

First Level

Unit 2 will be located above the proposed garage/kitchen/service area, oriented toward Quay Lane. Residents of this unit will access solely from the lift and stairs located at the rear of the building. The layout will include 2 bedrooms, 2 bathrooms (including ensuite the main bedroom), laundry, walk in pantry, open plan kitchen/living/dining area that opens out via a series of French doors to a covered verandah overlooking Quay Lane. A private verandah is provided to the master bedroom overlooking the internal courtyard. The single car garage at the ground level will be allocated to Unit 2.

Approximate floor areas:

Internal – 132m²

Quay Lane side Verandah – 24m²

Courtyard side Verandah – 15m²

TOTAL – 171m²

Second Level

Unit 1 will be located within the existing heritage building and is essentially a total renovation to the internal layout. This unit will have access from both the rear stairs and lift as well as the existing stairwell located at the Quay Street frontage. The layout will include 2 bedrooms, 2 bathrooms (ensuite to each bedroom), laundry, open plan kitchen/living/dining area that opens out to the existing balcony overlooking Quay Street. An open-air deck will be provided over some of the internal courtyard. This will provide access to the unit from the rear stairs and lift.

Approximate floor areas:

Internal – 184m²

Quay Street Verandah – 27m²

TOTAL – 211m²

The subject property is located within the Principal Centre Zone, being part of the Quay Street Precinct. We believe the proposal perfectly aligns with Council's vision for the riverfront precinct and Quay Street, meeting the overall outcomes sought for the Principal Centre Zone, Quay Street Precinct and Strategic Framework within the Planning Scheme. The new internal layout and all external works have been carefully considered to ensure preservation of all prominent heritage values and architectural features on the exterior and interior of the building. The uses will breathe new life into the heritage building and Quay Street, encouraging use of the riverfront precinct and further promoting it as 'the place to be'. The heritage building's external façade will be complimented by the proposed internal fit out and offers a new and interesting destination/activity for townsfolk and visitors.

A walk within the town centre of Rockhampton on a normal weekday you will often see people out taking photographs of the historic buildings, the food and drink outlet will provide an opportunity to enjoy not only the external facade, but also the internal historical features. The land is affected by the following overlays:

Acid Sulphate Soils

Along with most of Rockhampton, the land is mapped as containing potential or known acid sulphate soils. No excavation or demolition works will unearth any acid sulphate soils. No code assessment is required or provided.

Airport

The subject property is within the obstacle limitations zone – 20m above ground level. The proposed building works will not exceed the height of the existing heritage building. No code assessment is required or provided.

Biodiversity – Waterways

The biodiversity mapping for waterways partly covers the subject property, given its proximity to the Fitzroy River. The proposed development will have no impact on the ecological values of the Fitzroy. No code assessment is required or provided.

Bicycle Network

Quay Street is mapped as in the bicycle network. The proposed threshold ramp at the Quay Street entrance will not encroach into the footpath reserve too far so as to cause an obstacle that could compromise the safety of pedestrians, cyclists and public scooters. The ground floor use will further encourage pedestrian/cyclist use within the core centre.

Heritage Place

The building is listed on the State Heritage Register (ID 600808). Please find attached Heritage Impact Assessment Report prepared by Vault Heritage Consulting.

PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



SARA ref: 2204-28578 SRA & 2206-29171 SRA

Date: 3 June 2022



(Former) *Royal Bank Building* (QHR ID: 600808)
194 Quay Street, Rockhampton

Heritage Impact Assessment for proposed Redevelopment
of a *Queensland Heritage Place*

April 2022

Document Control:

Revision:	Document description	Issue Date	Prepared by
A	Heritage Impact Assessment for Redevelopment of a <i>Queensland Heritage Place</i> – Draft	7 April 2022	Malcolm Elliott
B	Heritage Impact Assessment for Redevelopment of a <i>Queensland Heritage Place</i> – Final	11 April 2022	Malcolm Elliott

This Heritage Impact Assessment for the proposed redevelopment of a *Queensland Heritage Place* has been prepared by:

Malcolm Elliott

B.Arch (Hons) UNSW, M.HeritCons (Hons) USyd

On behalf of: Brett Nobbs (the **Client**).

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Cover image: Current street presentation of the subject *Queensland Heritage Place*, the (former) *Royal Bank Building*, situated at 194 Quay Street, Rockhampton and located along the Fitzroy River riverfront. (**Source:** VAULT)

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1. Introduction

1.1 Executive Summary

This Heritage Impact Assessment for proposed Building Work and Material Change of Use pertaining to the *Queensland Heritage Place* identified as the (former) *Royal Bank Building* located at 194 Quay Street, Rockhampton and comprises:

- A brief site history, an outline of the basis of heritage significance attributed to the subject site and the corresponding heritage curtilage mapping for same;
- An overview of the existing configuration and condition of the subject late-Colonial era commercial building and the differentiation from later intrusive and/or unsympathetic changes made to the interior layout and/or in the existing rear additions to the heritage building;
- Documentation of the scope of building work to a *Queensland Heritage Place* currently proposed in order to reconfigure the heritage building as a mixed-use development incorporating residential accommodation on the first floor level with a commercial tenancy at ground level (at the front) of the heritage building and associated car accommodation located at the rear; and
- As the subject site is included in the *Queensland Heritage Register* (QHR ID: 600808) and mapped within the *Heritage overlay* within *Rock e Plan*, any potential building work or other type of redevelopment of the heritage building should have due regard for the planning assessment processes of both Rockhampton City Council and the relevant State agency; the Department of Environment and Science (DES). Consequently a detailed assessment of this proposal against the relevant provisions of the *Heritage place overlay code* within *Rock e Plan* and *State code 14: Queensland heritage* respectively will be necessary to demonstrate that the proposed redevelopment of the subject heritage commercial building will not adversely impact upon the cultural heritage significance attributed to this site.

1.2 The Subject Site

The subject site is located within the central business district (CBD) of Rockhampton, has the street address of 194 Quay Street within that regional city and the real property description of Lot 1 on Registered Plan 600163. The subject site comprises a total site area of 461m² while the *Rock e Plan* zoning for the subject site is *Principal centre* - refer **Figure 2**, which is a land use zone that can facilitate the accommodation of the broadest range and/or mix of potential future land uses presently available under Council's planning scheme.

It is further noted that the (former) *Royal Bank Building* was added to the *Queensland Heritage Register* on 21 October 1992 as one of the original tranche of State significant heritage places (QHR ID: 600808) and this site has been correspondingly been mapped in the *Heritage place overlay* of the local planning scheme, *Rock e Plan* – refer to **Figure 1** (following).

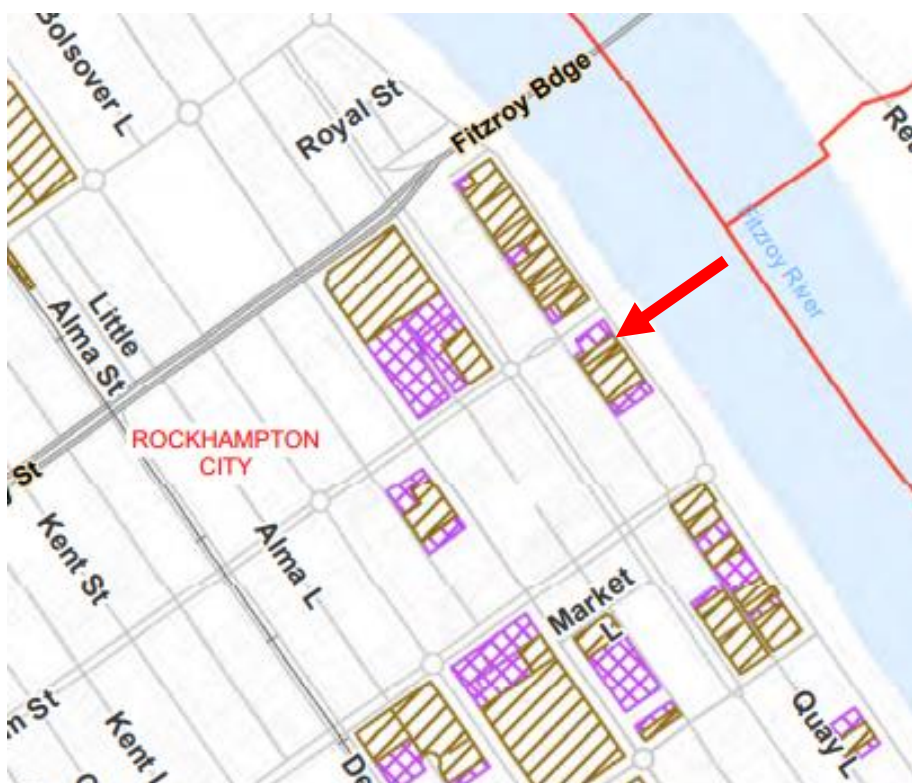


Figure 1: Mapping of the *Heritage place* overlay within the Rockhampton CBD with the location of the subject site arrowed (at image centre). Note that the subject site is situated within a riverside precinct of early mercantile buildings comprising an intact array of heritage places (brown shading) along Quay Street within which the subject *Queensland Heritage Place* is a constituent component. (Source: RCC Interactive Mapping – Overlay Map OM-9-46)



Figure 2: Extract from Zone Map ZM-46 showing the mapping of land use zoning within the Rockhampton CBD with the location of the subject site arrowed – located in the *Principal centre* zone (blue shading). Note that the subject site is situated within a riverside precinct comprising an intact array of substantial early buildings within which the subject *Queensland Heritage Place* is a constituent component. (Source: RCC Interactive Mapping – Zone Map ZM-46)



Figure 3: The current satellite image of Quay Street in Rockhampton with the boundaries of the subject site highlighted (at image centre). Note the different phases of site development, which are indicated by the respective roof forms over the original Bank building (hipped and gabled roof at front), a later rear addition (smaller gabled roof in the middle of site) and the skillion roof of the pseudo-industrial warehouse structure located at the rear of the site and fronting the lane frontage. (Source: Nearmap)



Figure 4: The current primary street presentation of the (former) *Royal Bank Building* on the Quay Street riverfront on the edge of the Rockhampton CBD showing the ornate Classical detailing of this late-Colonial era bank building. (Source: VAULT)

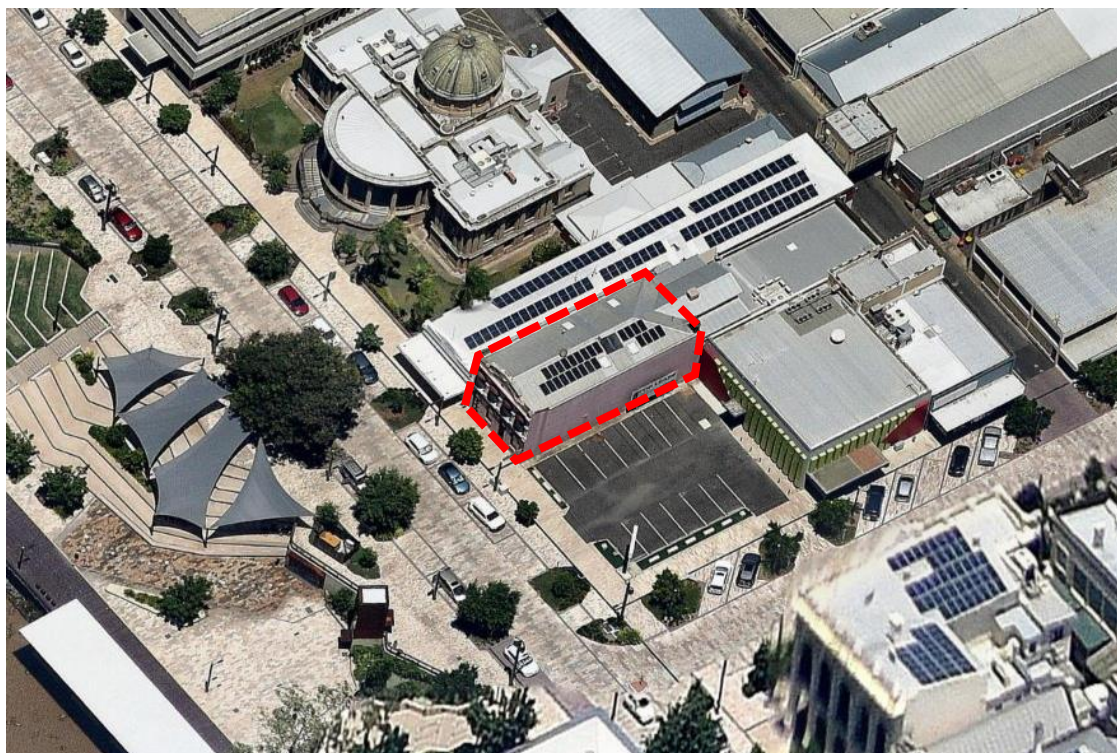


Figure 5: A recent elevated, panoramic satellite image of the (former) *Royal Bank Building* (highlighted) – taken in February 2019 - showing the extruded built form of the original Bank Building while the balance of extant development to the rear of the subject site comprises a series of later, intrusive building additions considered to be of no cultural heritage significance. (Source: Nearmap)

1.3 This Assessment

This Heritage Impact Assessment for the proposed redevelopment of the subject *Queensland Heritage Place* for a mixed use redevelopment has been commissioned by the current owner of the subject site; Brett Nobbs, in order to identify the basis of heritage significance attributed to this site and the key attributes of significance within the building, provide an outline the proposed partial demolition, internal reconfiguration and new building work in and around the former Bank building as well as undertaking an evaluation of the heritage impacts generated by same against the relevant provisions of the *Heritage place overlay code* within the *Rock e Plan 2014* as well as *State code 14: Queensland heritage*.

This Heritage Impact Assessment supporting the proposed redevelopment of a *Queensland Heritage Place* for a mixed-use development outcome (multi-unit dwelling & commercial tenancy) as been prepared having due regard to the *Australia ICOMOS Burra Charter, 2013* (the '*Burra Charter*') and takes into full account the basis of cultural heritage significance attributed to the subject site and outlined in the *Queensland Heritage Register* citation for same.

This Heritage Impact Assessment for the proposed redevelopment of the subject *Queensland Heritage Place* includes the following:

- A brief history of the (former) *Royal Bank Building* located at 194 Quay Street, Rockhampton in order to obtain an understanding of the cultural heritage significance attributed to this late-Colonial era commercial building;
- An overview of the current spatial configuration on the respective floors of this heritage building to identify key elements of heritage significance to be preserved / maintained and

differentiate same from later, intrusive alterations or additions made as part of the subsequent interior fit out of the subject building for alternative land uses;

- An outline of the proposed scope of building work, which comprises the partial demolition of the non-significant warehouse / garage structure at the rear of the site, other minor demolition work internally to remove intrusive / non-original elements of the building's interior, the reconfiguration of the interior spaces of the significant building in order to reinstate the original "upstairs / downstairs" configuration of residential dwelling unit over a commercial tenancy and the construction of a replacement rear structure comprising an additional dwelling unit over a ground level carparking space with a circulatory atrium space situated in between the original and new structures on the subject site;
- Assessment of the potential impacts on heritage significance, if any, anticipated from the proposed partial demolition work and new building work to achieve the reinstatement of the original internal configuration of the *Queensland Heritage Place* while also appending same with a further dwelling unit and shared carparking / servicing facilities at the rear of the site, which will demonstrate that the proposed redevelopment of the (former) *Royal Bank Building* will not adversely impact upon the State heritage significance attributed to this late-Colonial era commercial building situated within the Central Building District (CBD) of Rockhampton;
- Detailed assessment of the proposed internal building work against the relevant provisions of the *Heritage place overlay code* within *Rock e Plan* as well as *State code 14: Queensland heritage*; and
- Conclusion

2. Understanding the Heritage Place

2.1 Brief History of the (former) *Royal Bank Building*

The following brief history of the (former) *Royal Bank Building* in Rockhampton has been extracted from the *Queensland Heritage Register* citation for the subject site, which is reproduced in full at **Appendix 6.1** of the Assessment:

“The former Royal Bank building at 194 Quay Street, Rockhampton was constructed to its present form when a second storey and other extensions were added to an existing building on the site in July 1888. The additions were designed by prominent Rockhampton architect J.W. Wilson (1865-1899) and built by Wakefield McLean & Co.

The land was originally owned by the early settler William Archer who purchased the site at a sale of Crown Land in November 1858 as Allotment 2 of Section 46, Parish of Rockhampton. The property was thought to have been used by the Rockhampton Morning Bulletin from 1861-62 until the building was destroyed by fire. The Royal Bank purchased subdivision 1 of Lot 2 of Section 46 in June 1887. The bank operated its business from a building on that property until mid-1888 when it temporarily relocated to the former premises of the Commercial Bank in Denham Street during the construction of the additions.

The Queensland-owned Royal Bank was established in Brisbane late in the recession year of 1885. The Royal Bank was promoted as an alternative to the hugely successful Queensland National Bank. By early 1889, the Royal Bank had established 20 branches and agencies (Rockhampton 1887), including branches in London and Edinburgh, proving to be a viable competitor of the Queensland National Bank into the 1910s. In Rockhampton the Royal Bank was situated amongst the other leading banks on Quay Street including the Queensland National Bank (QHR 600807), the Union Bank (QHR 600805) and the former Bank of New South Wales as well as numerous leading mercantile companies.

Tenders for the construction of the additions to the Rockhampton Royal Bank were called from May to June 1888 and work was commenced in July. A description of Wilson's plans printed in The Daily Northern Argus of 5 July 1888 said the alterations included "a second storey on the present building" and an extension of six rooms on the ground floor at the back of the "present" building. The front elevation was to be 35 feet high with an arcaded balcony on the upper floor finished with cement. The ground floor provided a banking chamber (25 ft × 30 ft), with a strong room, manager's room, large dining room, lavatories, and a private entrance hall. The two front rooms were to be divided by folding doors which provided a 20 × 30 ft room when thrown open. The building was to be completed in four months.

John William Wilson dominated the architectural scene in Rockhampton from 1864 until the 1890s. His work contributed significantly to the consistency of the Rockhampton townscape with six of the Quay Street buildings erected before 1901 being Wilson's design. Wilson designed over 200 buildings in the central Queensland region during his 35-year practice and was one of the most prominent and prolific architects to have worked in Rockhampton.

The former bank was located in Rockhampton's principal business district which developed along Quay Street in the late 19th century to serve the passing trade at the wharves. Rockhampton had operated as a port since 1858 and had been the main centre for transport and trade in Central Queensland. A phase of increased development and rebuilding was apparent in Rockhampton during

the 1880s generated by the immense wealth produced from the Mount Morgan gold mine discovered in the 1882. The extension of the Royal Bank building to its present form in 1888 was a reflection of this boom in Rockhampton.

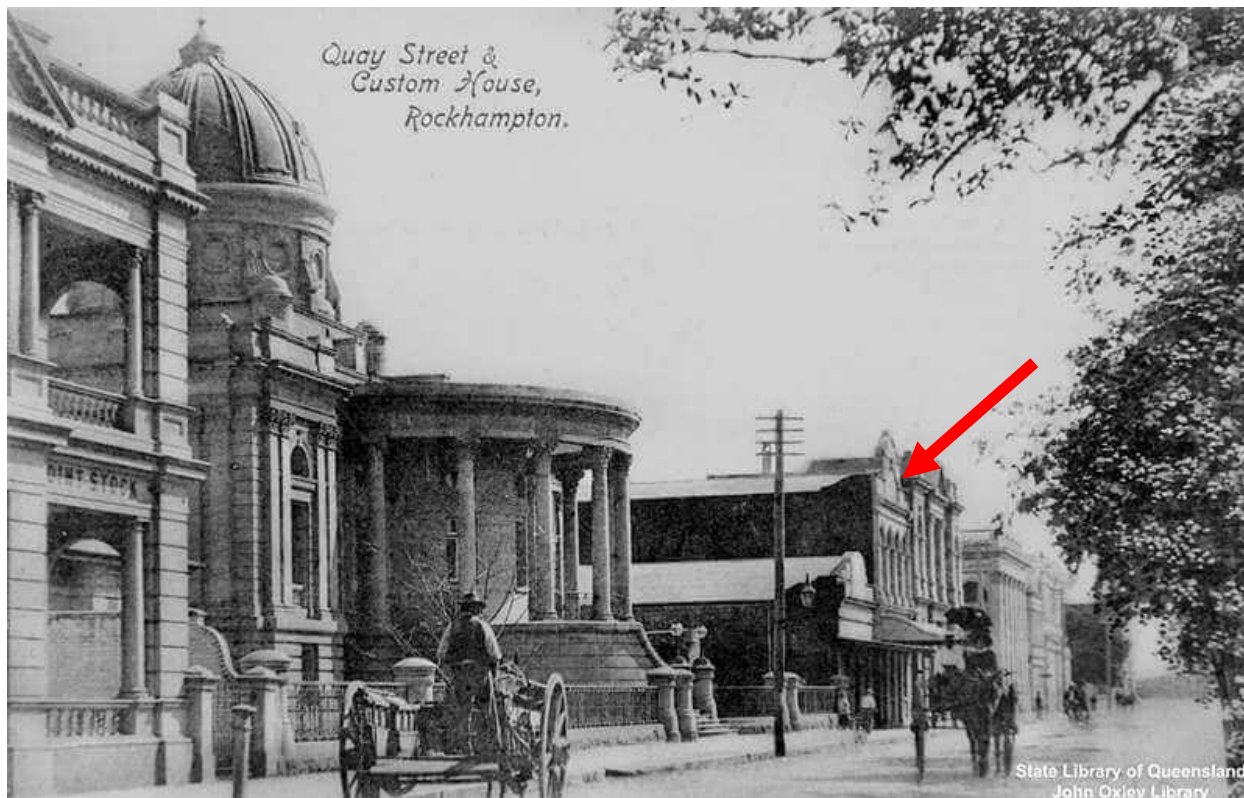


Figure 6: Historical photograph of the Quay Street streetscape in Rockhampton circa 1890s; as viewed from in front of the Rockhampton Customs House building (at image centre). The façade and projecting street awning of the *Royal Bank Building* (arrowed) are identified in the image background. (Source: John Oxley Library)

In 1903 the Brisbane to Gladstone railway was opened and from this time the diminishing importance of the port caused the wharves to fall into disrepair and the development of the area to become more closely tied to the city centre.

The building functioned as the Royal Bank until 1917 when the Royal Bank of Queensland merged with the Bank of North Queensland to form the Bank of Queensland which in turn was absorbed by the National Bank of Australasia in 1922. In 1958 the selling brokers, Winchcombe Carson Ltd, purchased the building and in 1980 the building was transferred to Dalgety Australia Ltd. The property was resold in November 1980 and subsequently leased as the office for the Minister of Works and Housing of the State of Queensland from 1983 to 1991. The building was bought by the current owners in 1993. At the time of purchase the building was intended for the dual use as a residence and beauty salon/finishing school. At this time the timber deck was installed at the back of the building and the arched openings in the ground floor dining room were installed. The building was converted to a restaurant in 1996 by the current lessees.

As the *Royal Bank Building* in Rockhampton was entered into the *Queensland Heritage Register* as part of the original tranche of State significant heritage places – when the *Register* was established on 21 October 1992 – it is evident that the latter details included in the preceding site history are somewhat “time damaged” contextually and not necessarily reflective of the current state of the subject heritage building.



Figure 7: Extract from historical aerial photograph of Quay Street, Rockhampton – taken on 2 September 1961 – with the subject *Royal Bank Building* arrowed. At this time, only the original building footprint of the Bank building is evident and the rear additions had not yet been completed. (Source: Q Imagery)



Figure 8: Extract from historical aerial photograph of Quay Street, Rockhampton – taken on 29 September 1970 – with the subject *Royal Bank Building* arrowed. By this time, the ancillary warehouse / carparking structure adjacent to the rear laneway was extant however there was also an open transitional space evident between this later rear addition and the back wall of the original Bank building. The adjoining early commercial building to the north-east – shown in the preceding aerial photo - has also been demolished and replaced by an open carpark by this time. (Source: Q Imagery)

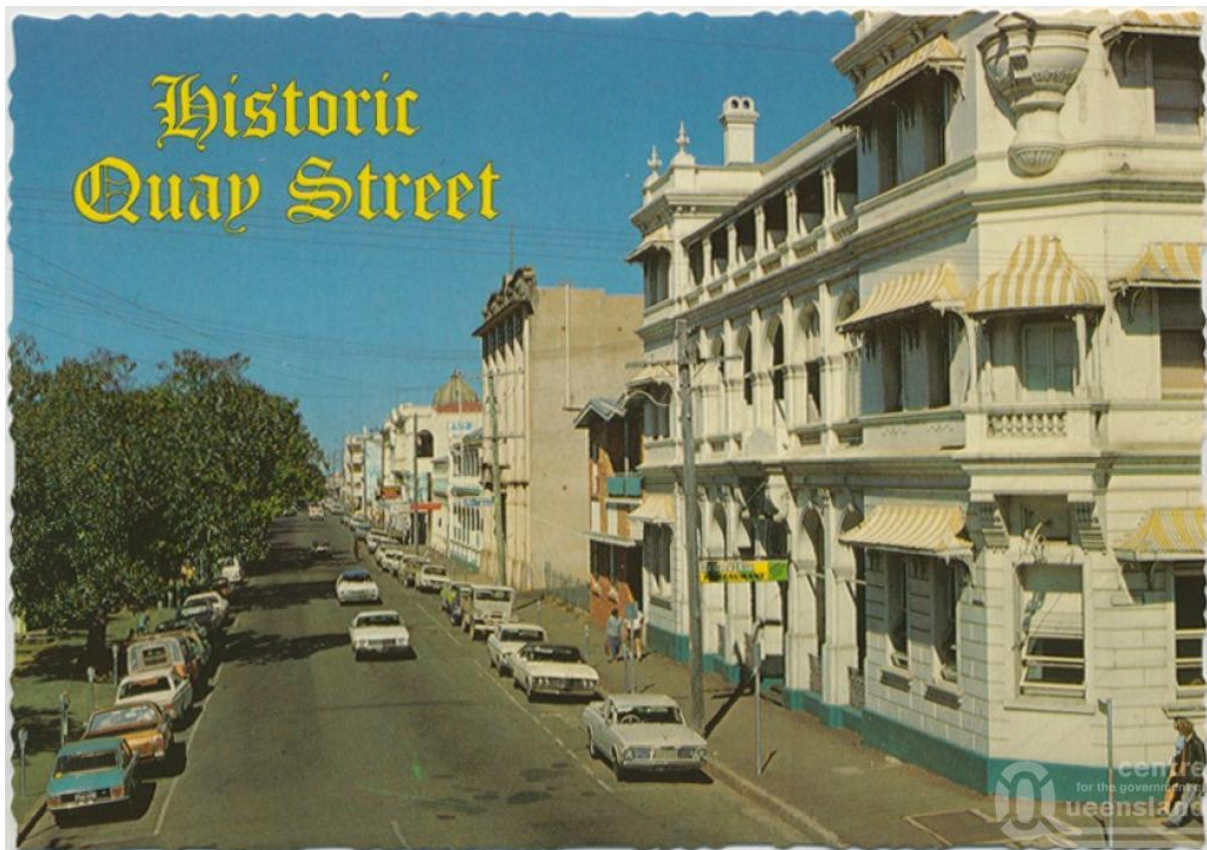


Figure 9: Historical postcard image (circa 1970s) of “Historic Quay Street” in Rockhampton, which has long been regarded for its relatively intact riverside precinct of late-19th century / early 20th century commercial / mercantile buildings. (Source: queenslandplaces.com.au)



Figure 10: Extract from historical aerial photograph of Quay Street, Rockhampton – taken on 1 February 1978 (during a flood event for the Fitzroy River) – with the subject *Royal Bank Building* arrowed. At this time, the original and subsequent phases of site development remain clearly evident with an open atrium space extant between the two. (Source: Q Imagery)

2.2 Statements of Significance

The entry in the *Queensland Heritage Register* contains the following Statements of Significance for the late-19th century commercial building located at 194 Quay Street, Rockhampton and known as the (former) *Royal Bank Building*:

Criterion A: The place is important in demonstrating the evolution or pattern of Queensland's history.

The former Royal Bank building, forms part of the historic Quay Street precinct which is distinguished by its late 19th century commercial buildings. The Quay Street precinct stands as a legacy to the Port of Rockhampton which served the vast area of central Queensland from 1858 and was influential in establishing Rockhampton as the premier commercial city of central Queensland. The river wharves fostered the substantial commercial development along Quay Street, enabling it to become the principal business district of the city. The solidity of the buildings were a symbol of Rockhampton's wealth, later boosted by the Mount Morgan gold rush of the 1880s, and reflected the confidence with which the community and developers viewed Rockhampton's future.

Criterion E: The place is important because of its aesthetic significance.

The former Royal Bank building, through its form, scale and materials, makes a strong aesthetic contribution to the streetscape of Quay Street. There is a continuity of cornices and parapets between the former Royal Bank building and the adjacent Archer Chambers [600809] which emphasizes the nineteenth century character of the street and quayside.

Criterion H: The place has a special association with the life or work of a particular person, group or organization of importance in Queensland's history.

The building has special association for the people of Rockhampton through its significant aesthetic and historic contribution to Quay Street, which for many is the symbol of Rockhampton and is very closely associated with the image of the city.

2.3 Queensland Heritage Register entry

The entry for the subject site in the *Queensland Heritage Register* is set out below at **Figure 11** for information purposes. It is noted that the QHR entry for the subject site confirms the basic details regarding this *Queensland Heritage Place* such as its QHR ID No. 600808 and the corresponding date entered of 21 October 1992 (i.e. the date the *Register* was established).

As noted previously, the *Queensland Heritage Register* citation for the subject site has been reproduced in full at **Appendix 6.1** of the Assessment.

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 > Queensland Heritage Register > Search the register > Royal Bank Building (former)

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Royal Bank Building (former) Print

600808 194 Quay Street, Rockhampton

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General Significance History Description Gallery

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Location

Also known as Winchcombe Carson; Rivers Restaurant; Diamonds & Pearls

Classification State Heritage

Register status Entered

Date entered 21 October 1992

Type Commercial/financial/professional: Bank

Themes 3.7 Developing secondary and tertiary industries: Financing
 7.2 Maintaining order: Government and public administration

Construction period 1888, Royal Bank Building (former) (- 1888)

Historical period 1870s–1890s Late 19th century

Figure 11: The QHR heritage citation for the (former) *Royal Bank Building* (QHR ID: 600808) in the Department’s *Queensland Heritage Register* database. (Source: Department of Environment & Science)

2.4 Key elements of heritage significance

The entry in the *Queensland Heritage Register* includes a detailed description of the various key components within the (former) *Royal Bank Building* and outlines the manner in which these elements represent the attributed cultural heritage significance of this State significant, late-Colonial era commercial building:

“The former Royal Bank building is a two-storeyed rendered masonry structure located fronting Quay Street to the northeast overlooking the Fitzroy River. The building adjoins Archer Chambers [600809] to the southeast.

The Quay Street elevation has four arched openings to the ground floor, with the entrance to the first floor located at the southern end consisting of paired timber panelled doors with an arched fanlight. The entrance to the ground floor consists of a timber framed door with glass panels and an arched

fanlight, flanked by arched sash windows surmounting recessed wall panels. Each arched opening is surmounted by a rendered moulding, and a shallow cornice separates the ground and first floors. The first floor has an arcaded balcony fronting Quay Street, consisting of four arches with expressed impost and extrados, and cast-iron balustrades with timber handrails. The first floor is surmounted by a shaped gable, consisting of a central triangular pediment supported by pilasters above a curved pediment with expressed keystone ornament. The pediment is flanked by a low parapet with corner pillars.

The rear wall of the building has casement windows with segmental arched fanlights to the first floor, flanking a central door with a cantilevered metal framed landing and stair accessing a rear first floor deck. A ground floor rear courtyard is enclosed by a storage and office building fronting Quay Lane.

Internally, the ground floor has an entrance hall and stair on the southern side, with a dining room fronting Quay Street on the northern side, and a bar, sitting area and kitchen at the rear fronting a courtyard. A masonry cross wall separates the front and rear areas, with access provided by two arches with pilasters flanking a decorative wall niche. The original strongroom is located centrally on the northern side, and is used as a store. Ceilings are finished with compressed sheeting, and masonry walls are rendered. The rear bar and sitting area opens via French doors to a courtyard, which is mostly covered by a first floor deck, and which contains toilets, stair and access to the rear store and office building. The entrance hall has a timber stair with turned balusters, newel posts and timber handrails, a boarded timber ceiling, and rear access to the bar area via an office under the stair landing.

The first floor has a dining room and bar fronting the Quay Street arcaded balcony, with amenities located centrally, and a function room and kitchen at the rear with access to a deck above the ground floor courtyard. The Quay Street dining room has decorative plaster ceiling details, and consists of two rooms joined by a large opening with timber architraves. Four sets of French doors with arched fanlights open onto the arcaded balcony, and large folding timber doors provide access to the function room at the rear. The balcony has a boarded timber ceiling and tiled floor. The function room has a fireplace with a timber surround in the western corner, and a suspended acoustic tile ceiling. A central hallway accesses the rear of the building, with timber panelled doors with fanlights and architraves opening into adjacent rooms. A timber panelled door with arched glass fanlight and sidelights separates the rear of the hallway from the entrance stair.

The rear store and office building fronting Quay Lane is constructed of concrete block with a sheet metal roof.

The following series of photographs – **Figures 12 – 77** inclusive – identify the key elements of the subject late-Colonial era commercial building that support the attributed State heritage significance for this *Queensland Heritage Place* and differentiate same from the various intrusive interventions that have taken place in and around the heritage place under previous ownership in order to facilitate its adaptive reuse for alternative land uses over the more recent period.



Figure 12: The existing Quay Street elevation of the (former) *Royal Bank Building* still has an imposing presentation to riverside avenue of Quay Street in the present day with its ornate and largely intact Classical-influenced façade. (Source: VAULT)



Figure 13: The secondary (residential) street entrance into the (former) *Royal Bank Building*, which features a glazed, arched top light panel over the solid timber, six-panel entrance door. (Source: VAULT)



Figure 14: The adjacent entrance doorway leads into what was originally the banking chamber of the subject heritage building, which is largely the same as that shown in the preceding image apart for the glazing panels inserted into the door leaf. (Source: VAULT)



Figure 15: The Quay Street façade also incorporates an array of arched windows with equivalent proportions as the adjacent door openings and integrates a decorative spandrel panel set beneath the window sill. (Source: VAULT)



Figure 16: The north-western (side) façade of the (former) *Royal Bank Building* is essentially a blank face brick wall however this image also shows the end panel of the parapet structure (image top left) and the profile of the façade decoration. Also noted is the steel tie-rod panel extant in the middle of this image, which indicates rectification works have been previously undertaken to address structural stability issues. (Source: VAULT)



Figure 17: A more detailed view of the steel tie-rod plate set within the north-western (side) façade of the subject heritage building, which indicates prior rectification works have been undertaken to address structural stability issues. (Source: VAULT)



Figure 18: The rear corner of the north-western façade of the original (former) Bank building (arrowed) showing how the scale of built form steps down from the two-storey parapet edge of the heritage commercial building and the lesser grade face brickwork of the single storey party wall constructed along the balance of the side boundary begins. (Source: VAULT)



Figure 19: The view of the south-western corner of the subject site, which fronts its rear (Quay Lane) frontage. This photo shows the original / early party wall (image centre) and the intersection with the rear wall of the later warehouse structure. (Source: VAULT)



Figure 20: A broader view of the rear (Quay Lane) site frontage of the subject site showing the relatively recent rear wall of the later warehouse / carparking structure extant at the rear of this property. The end of the original party wall is also visible in the left edge of this image. (Source: VAULT)



Figure 21: A detailed view of the other corner of the rear (Quay Lane) façade showing the intersection between the rear wall of the later warehouse / carparking structure and the boundary wall of the adjoining property (at image centre & right). (Source: VAULT)



Figure 22: The heritage nameplate affixed to the primary (Quay Street) façade of the (former) *Royal Bank Building* that outlines the three consecutive phases of site development / occupancy over the years. The Royal Bank of Queensland occupied this building from 1889 up until the late 1950s. (Source: VAULT)

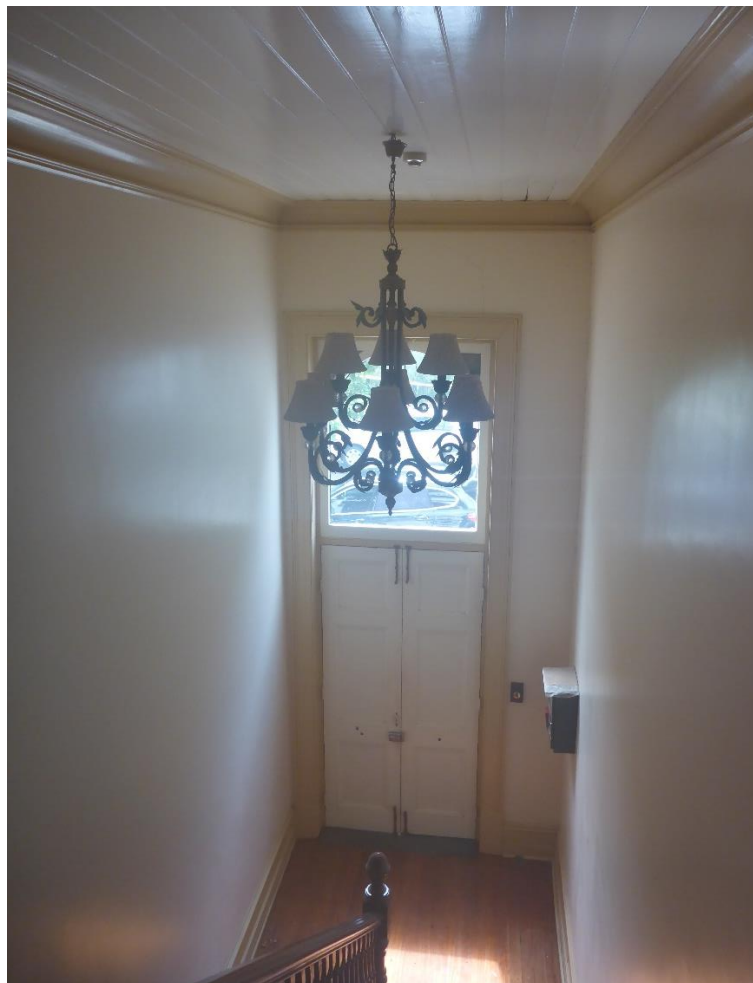


Figure 23: An interior view of the entrance hall for the residential component of the subject heritage building; as viewed from the first floor landing. Note the dual door leaf arrangement and arched / glazed top light panel over same. (Source: VAULT)

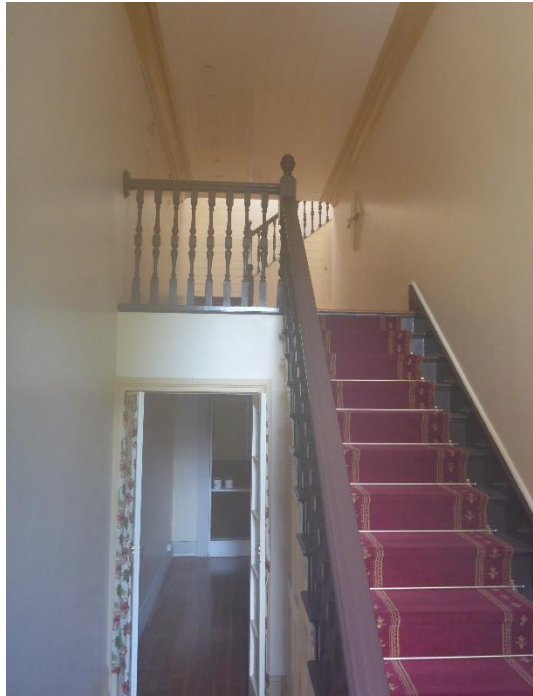


Figure 24: The view up to the first floor landing from the ground level of the entrance hall showing the original timber staircase with ornate, turned timber balustrading. (Source: VAULT)



Figure 25: A more detailed view of the original staircase within the entrance hall showing the ornate detailing of the turned timber balustrading and decorative tread-ends on the staircase itself; all of which is being retained intact. (Source: VAULT)



Figure 26: The timber flooring within the entrance hallway includes a more recent infill panel within the front section of the hallway (in foreground of image), which indicates a prior repair to the original flooring. (Source: VAULT)

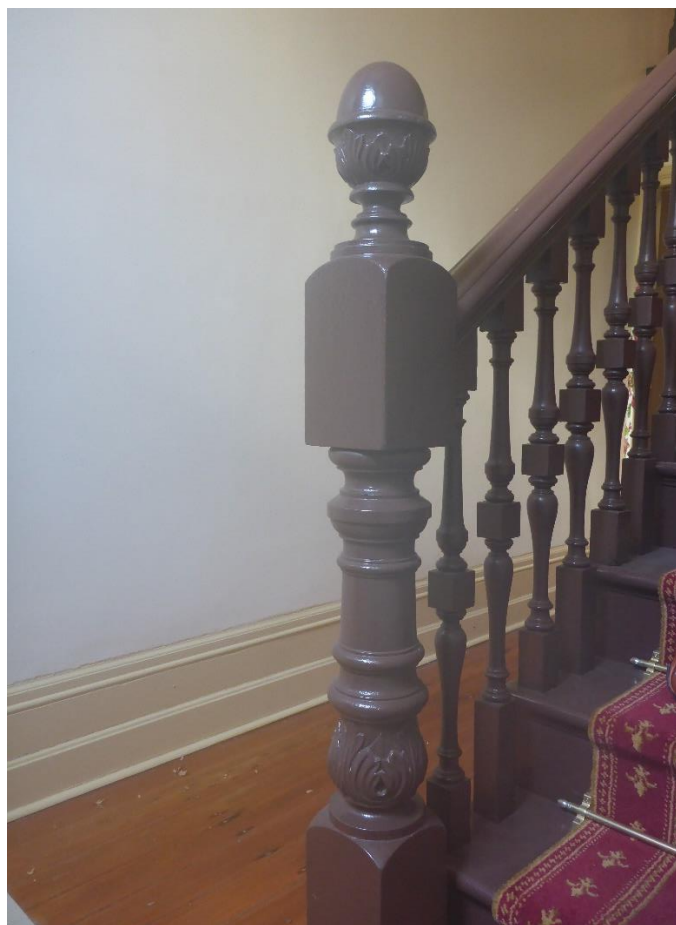


Figure 27: A detailed view of the ornate timber balustrading on the entrance hallway staircase featuring some decoratively carved newel posts – at image centre. (Source: VAULT)



Figure 28: Under the staircase shown in the preceding images, a doorway provides internal access into the former banking chamber - visible through the doorway. (Source: VAULT)



Figure 29: The interior view of the banking chamber showing the painted brickwork of the side wall of the heritage building, the steel strongroom door (at image left) and also indicating the more recent suspended ceiling within this space. (Source: VAULT)

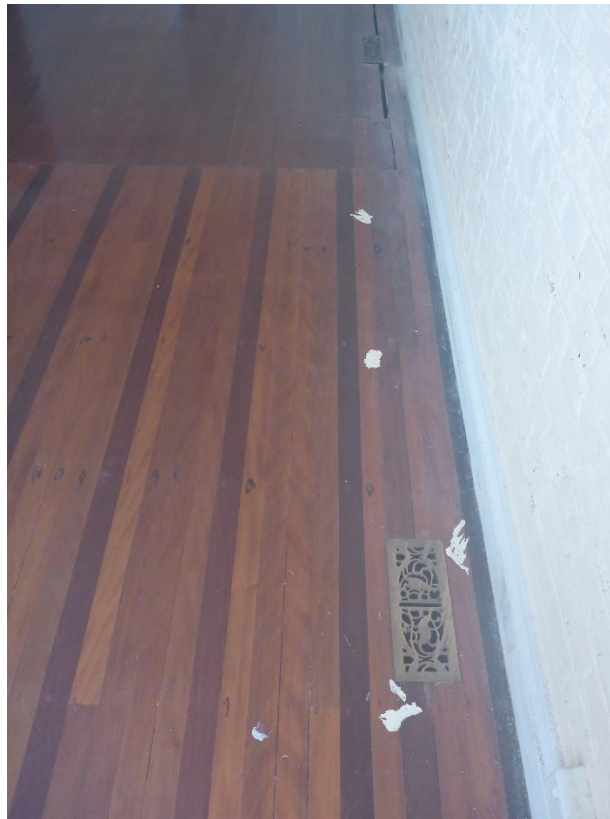


Figure 30: A more detailed view of the extant timber flooring within the banking chamber showing the decorative banding of the individual boards within the public area (forward of the banking counter) and the more generic flooring utilized for the “back-of-house” area – in background of this image. (Source: VAULT)



Figure 31: A detailed view of the steel door into the strong room set within the banking chamber. (Source: VAULT)



Figure 32: The interior view of the entrance door into the banking chamber, which shows the various glazing panels integrated into the entrance door leaf and the stone threshold set beneath same. (Source: VAULT)



Figure 33: An interior view of the front window – as previously depicted at **Figure 15** – showing the arched window head of the top sash within this double-hung window unit. (Source: VAULT)



Figure 34: A wider view of the same window and the front corner of the banking chamber interior. Also shown is the transition between the original (higher) ceiling level and the lower suspended ceiling (at image top), which was installed within the banking chamber to accommodate the installation of air conditioning plant within the new ceiling space created. (Source: VAULT)



Figure 35: Another interior view of the transitional ceiling profile within the former banking chamber space. This view shows the original ceiling level within this space (at image top right) and the chamfered ceiling plane dropping back to the suspended ceiling level now extant throughout the balance of this space. (Source: VAULT)

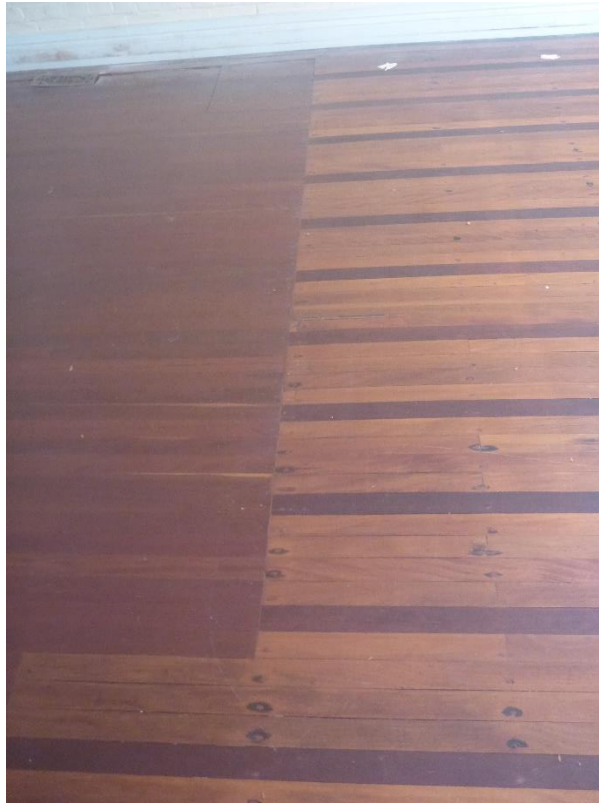


Figure 36: Another detailed view of the intersection between the polychromatic and banded timber flooring of the public areas within the banking chamber and the more generic timber flooring that was installed behind the line of the banking counter. (Source: VAULT)



Figure 37: The junction between the original timber flooring within the banking chamber (lower right corner of image) and the pine flooring installed within the “back-of-house” spaces located behind the banking chamber (at image left). (Source: VAULT)



Figure 38: The view through the ground level of the subject building; as viewed from the rear / within the “back-of-house” space located behind the original banking chamber. Note the opposite direction of the flooring layout between these two spaces, which has been arrowed for clarity. The wall opening visible at image right connects through to the entrance hall shown in the preceding photos. (Source: VAULT)



Figure 39: The rear corner of the “back-of-house” space incorporates a corner fireplace installation that has remained remarkably intact if not currently operational. (Source: VAULT)



Figure 40: The original rear wall within the ground level of the former Bank building has been subsequently opened up with these contemporary windows and doors that connect through to the internal courtyard beyond. (Source: VAULT)



Figure 41: Within the internalized courtyard space to the rear of the original Bank building, a level change to a more recent ancillary dwelling arrangement and an ancillary access staircase to the upper level of the building have been incorporated. (Source: VAULT)

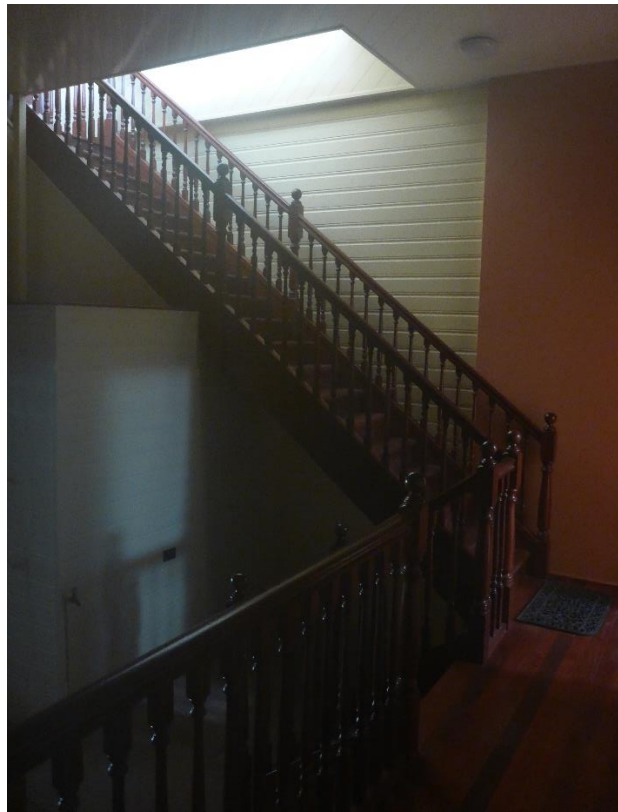


Figure 42: The modern staircase connecting the internalized ground level courtyard to the level above has been finished with traditional-style replica timber balustrading as an apparent faux heritage feature. (Source: VAULT)



Figure 43: The upper level of the dwelling space above combines original / early painted face brickwork with a steel portal frame and contemporary kitchen fit out of this more recent building addition. (Source: VAULT)



Figure 44: The interior spaces of the contemporary addition at the rear of the ground level have been finished with traditional materials and finishes (timber flooring and wall cladding) in another faux heritage configuration. (Source: VAULT)



Figure 45: Another interior view through the contemporary addition at the rear of the ground level looking through into the warehouse / carparking space located at the very rear of the subject site. (Source: VAULT)



Figure 46: The reverse view looking into the contemporary addition at the rear of the ground level; as seen from within the warehouse / carparking space located at the very rear of the subject site. (Source: VAULT)

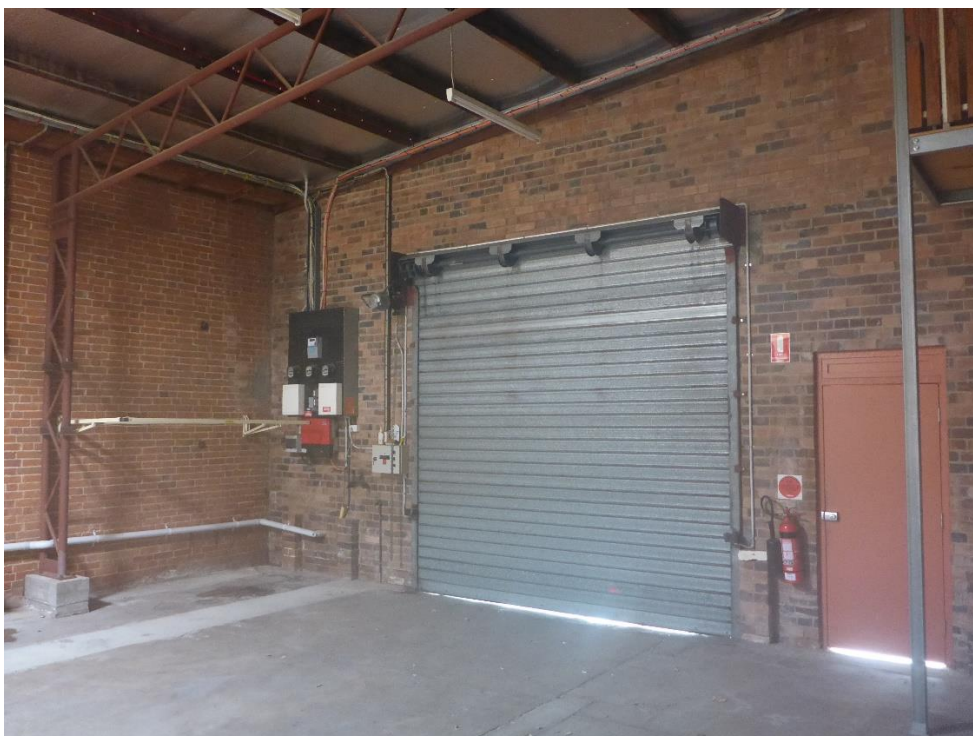


Figure 47: The interior of the large warehouse / carparking space located at the very rear of the subject site. It appears that this ancillary structure was constructed circa 1970 utilizing a combination of original side brick walls (at image left) and more contemporary enclosing wall (with integrated roller shutter and rear entry doorway) in between. (Source: VAULT)

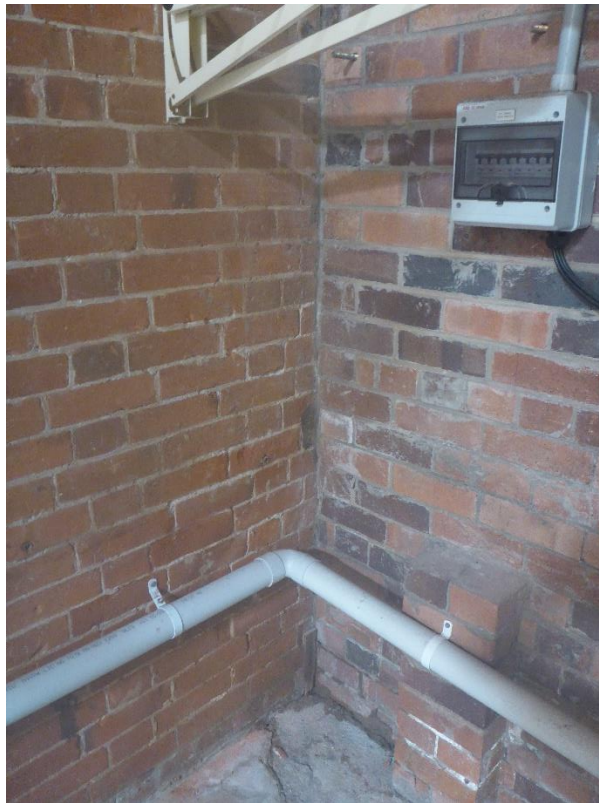


Figure 48: A detailed view of the intersection between the original face brickwork of the side (party) wall – at image left – and the newer brickwork of the rear infill wall – at image right. (Source: VAULT)



Figure 49: A detailed view of the original brickwork of the side walls at the rear of the subject site showing the Flemish bond pattern of the brick courses. Also noted is the interface between this original construction and the contemporary, steel portal frame and its elevated concrete pad footing. (Source: VAULT)

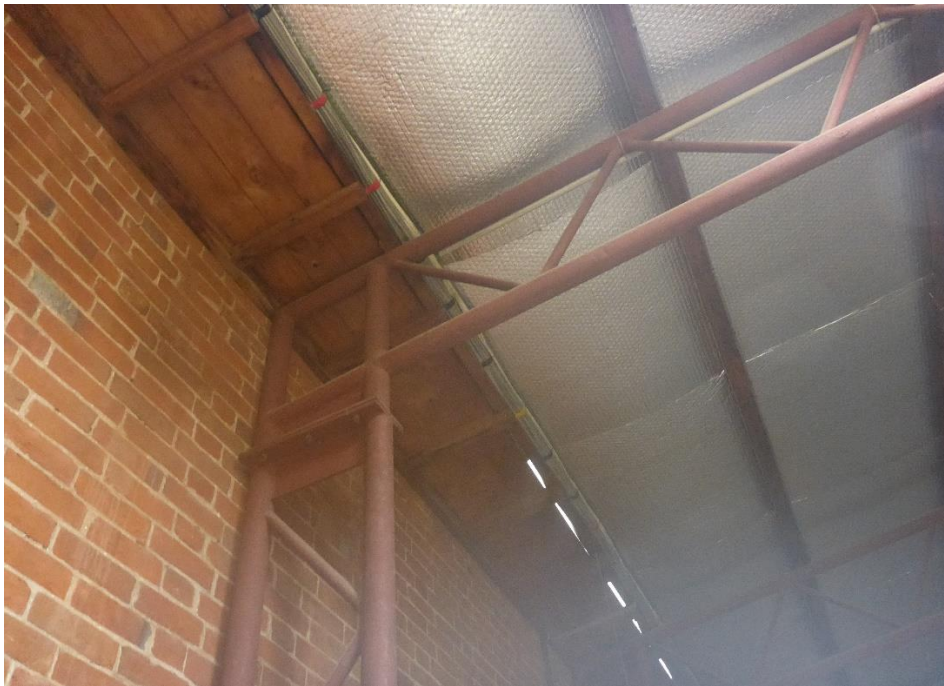


Figure 50: A detailed view of the contemporary steel portal frame that supports the skillion roof set over the warehouse / carparking space located at the rear of the subject site. The timber supporting structure for the roof's box gutter installation is also evident in this image. (Source: VAULT)

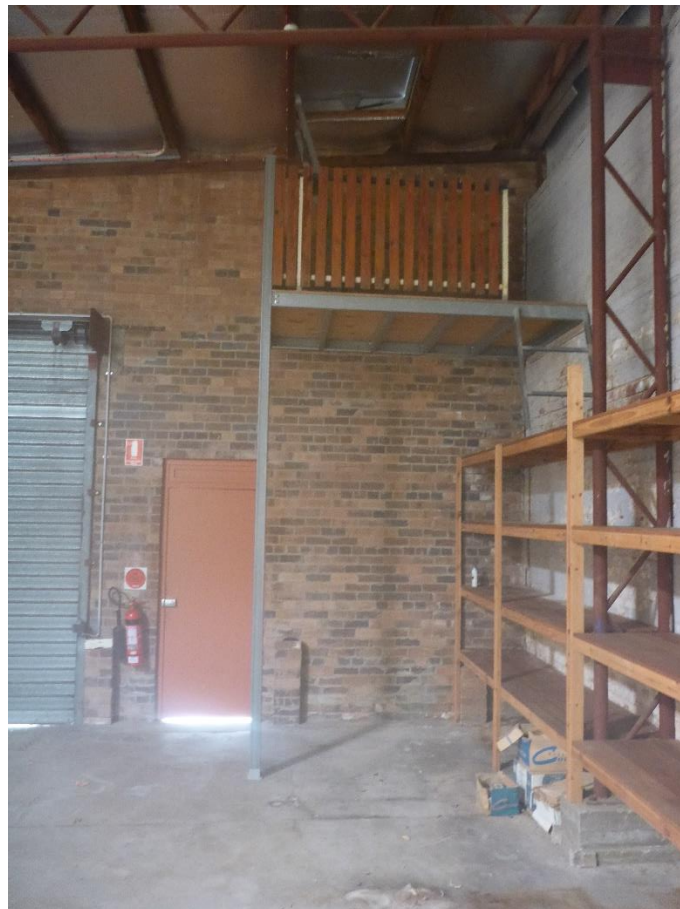


Figure 51: Another view of the contemporary warehouse / carparking space added at the rear of the subject site circa 1970. (Source: VAULT)

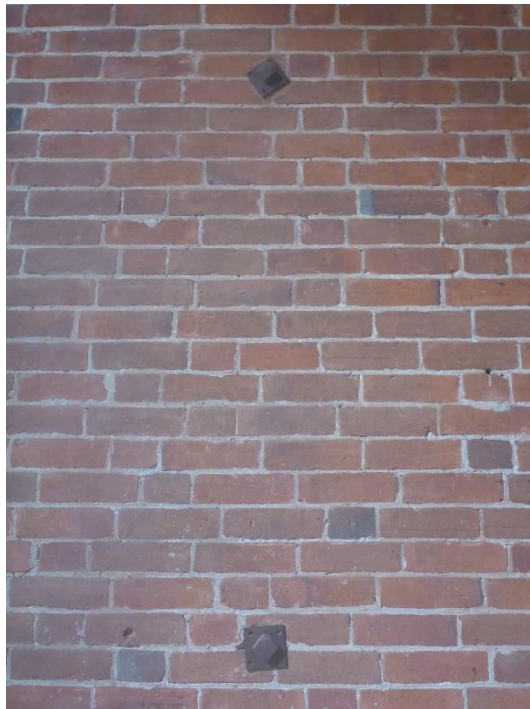


Figure 52: A more detailed view of the Flemish bond face brickwork in the original side boundary walls and visible within the rear warehouse / carparking structure. (Source: VAULT)



Figure 53: The rear wall of the contemporary addition providing further dwelling spaces towards the rear of the subject site; as viewed from within the warehouse / carparking space. Note the traditional weatherboard cladding and array of timber-framed windows that are integral to this recent structure. (Source: VAULT)



Figure 54: Within the residential entrance hall set along the side of the subject building, a mid-level landing provides access into the services space created within the cavity beneath the original ceiling plane and the more recent suspended ceiling. The upper run of the internal staircase extends from this landing level up to the residential level above. (Source: VAULT)



Figure 55: The view inside the ceiling cavity space extent between the original, timber VJ ceiling plane (top of image) and the more recent suspended ceiling below same. This ceiling cavity provides ample space to run the required air conditioning ductwork through the various ground level spaces. (Source: VAULT)



Figure 56: The upper flight of internal access stairs lead up to the first floor level and a vestibule space of sorts that provides access into the residential spaces beyond. (Source: VAULT)

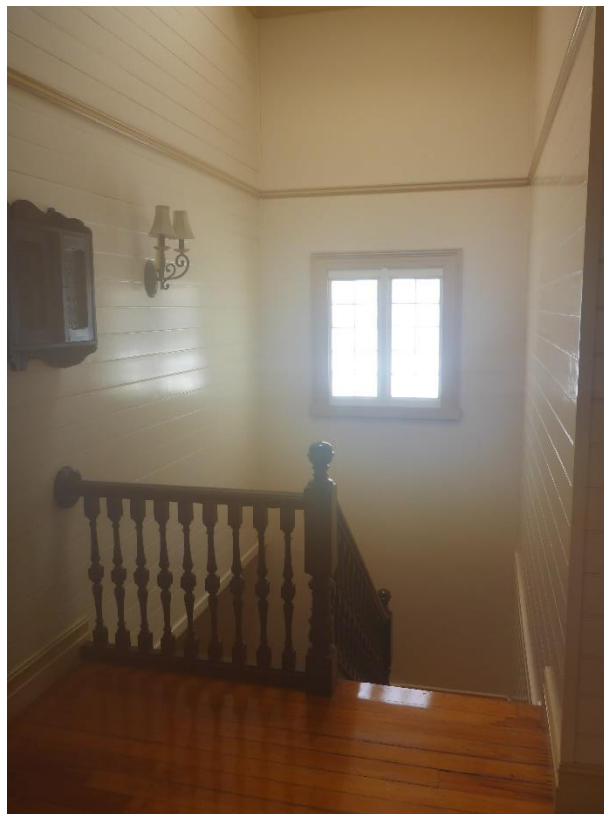


Figure 57: The reverse view looking into the internal stairwell; as viewed from the first floor level landing and showing the original timber wall cladding within this space. (Source: VAULT)



Figure 58: A formal entrance doorway (with glazed / arched top light panel over) encloses the first floor landing from the additional dwelling spaces located beyond this space. (Source: VAULT)



Figure 59: A close view of the corner detail where the original timber wall cladding of the stairwell (at image left) interfaces with the later additions to the rear of same. Note the differential in timber VJ profile and module between the two intersection wall planes, which is clearly evident from the misaligned board module at this corner. (Source: VAULT)



Figure 60: The interior of the Guest Bathroom extant adjacent to the top of the entrance stairwell. (Source: VAULT)



Figure 61: The view into the stairwell vestibule on the first floor level; as viewed from the Kitchen space located at the front of that upper floor. (Source: VAULT)



Figure 62: Interior view of the Kitchen space within the front section of the first floor level of the subject building. (Source: VAULT)



Figure 63: A broader interior view across the front portion of the first floor level showing the Kitchen / Dining area, the array of French doors leading out to the upper level balcony and the main Living space (in foreground). (Source: VAULT)



Figure 64: The open plan Living space at the front of the first floor incorporates another two sets of French doors for front balcony access. Note the consistency on the glazed / arched top light panels above these doorways. (Source: VAULT)



Figure 65: The first floor balcony space has a tiled concrete deck and has been fully screened within the façade arches. (Source: VAULT)



Figure 66: A detailed view of one of the French door assemblies showing the original, low-waisted door leaf and associated door furniture as well as the arched and glazed top light panel. (Source: VAULT)



Figure 67: A more detailed view of the French doors for accessing the first floor front balcony. The form and detailing of these doors appears entirely consistent with the late-Colonial era construction of the subject heritage building. (Source: VAULT)



Figure 68: The view from the first floor level balcony and looking out across Quay Street and towards the Fitzroy River. The metal lacework infill panels of the balustrade were not inspected due to the extant full-height security screening. (Source: VAULT)



Figure 69: The interior view from the rear of the first floor level and looking towards the Living space and the front balcony beyond. The face brickwork visible at image left is original to the building while the timber flooring is replacement material. (Source: VAULT)



Figure 70: The reverse view within the rear portion of the Living area showing the corner fireplace (at image centre) and the pair of French doors assemblies located in the rear wall of the original Bank building (at image left). (Source: VAULT)



Figure 71: A more detailed view of the original corner fireplace located in the rear corner of the first floor level Living space. (Source: VAULT)



Figure 72: A more detailed view of the pair of French door assemblies extant within the rear wall of the (former) Bank building. Note the arched brick door heads that are visible above the rectangular top light panels integral to these doorways. (Source: VAULT)



Figure 73: At the rear of the first floor level, a large open plan space - with clerestory lantern structure over – has been added beyond the rear wall alignment of the original bank building. This space also incorporates an access lift (at image right) that provides equitable access to the upper level of the building. (Source: VAULT)



Figure 74: The lift installation in the rear corner of the contemporary addition at the rear of the first floor level is a clearly contemporary facility within the residential component of this building. (Source: VAULT)



Figure 75: From within the upper level rear addition, the form and detailing of the original rear wall of the (former) Bank building is still evident; such as the window and concrete sill assembly that has been internalized by this addition. The staircase visible in this photo connects with that shown in the preceding **Figures 41 & 42** (above). (Source: VAULT)



Figure 76: On the opposite side of the building, there is another example of the form and detailing of the original rear wall of the (former) Bank building still evident; in this instance showing one of the French door assemblies with arched brickwork door head over – as shown above at Figure 72. (Source: VAULT)



Figure 77: Another interior view within the series of rear additions located at first floor level, which has been finished with a consistent palette of traditional building materials and detailing. (Source: VAULT)

In summary, the various portions and/or component elements of the subject *Queensland Heritage Place* and their respective degree of cultural significance in the representation of the attributed heritage significance of the (former) *Royal Bank Building* can be categorized as follows:

Primary Significance:

- Quay Street façade and its ornate Colonial Classical detailing (intact) and associated window and door openings within same;
- Segregated points of street entry between (former) banking chamber and residential apartment above etc.
- The ground level banking / commercial chamber (with its original ceiling level reinstated), intact strongroom structure etc.;
- Internal access staircase from street entrance up to first floor level, its ornate balustrading etc.;
- First level residential tenancy at front of building, its spatial configuration and front balcony deck;
- Intact fireplaces extant at both ground and first floor levels;
- Exposed face brickwork within the side and rear walls of the original bank building wherever extant on either level of the building;
- Original doors, door furniture, window installations etc. wherever still in place;
- Intact timber VJ ceilings (ground floor) and decorative plaster ceilings (first floor); and
- Original hipped and gabled roof form set within the parapet perimeter wall.

Secondary Significance:

- The blade side boundary walls towards the rear of the subject site – adjacent to the Quay Lane site frontage; and
- Metal lacework balustrading infill within the first floor balcony.

Intrusive elements:

- Disabled access lift at the rear of building;
- Modern suspended ceiling structure within banking / commercial chamber and associated air conditioning infrastructure;
- Circa 1970s rear additions including portal-framed warehouse structure on rear laneway;
- Internalized central courtyard space at ground level with contemporary dwelling spaces located beyond same;
- Upper level rear additions beyond the original rear wall of the former Bank building and associated rear access staircase; and
- Contemporary Kitchen and/or Bathroom installations generally;

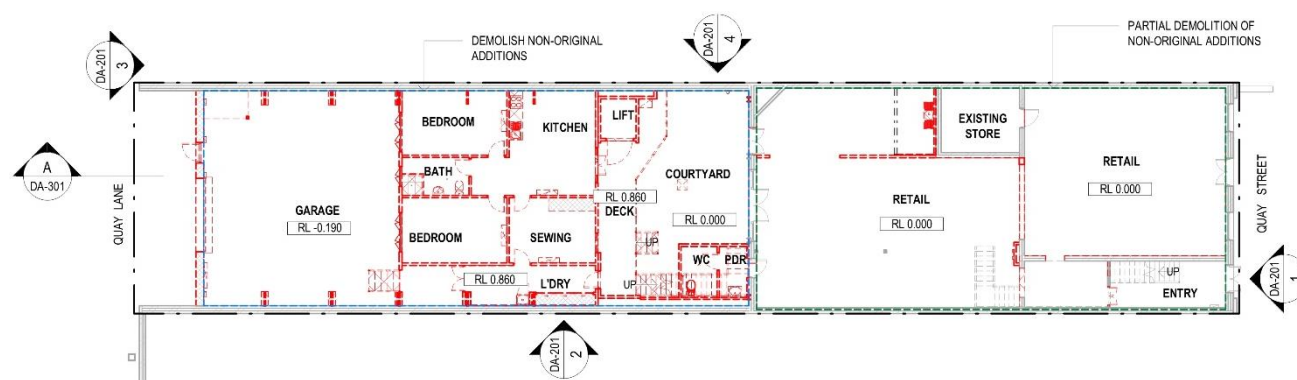
3. The Proposal

3.1 Proposed interior refurbishment & services upgrade for heritage building

In order to assess the potential heritage impacts, if any, generated by the scope of partial demolition and new building work proposed in order to redevelop the subject *Queensland Heritage Place* in an alternative mixed-use configuration, it is necessary to outline the full extent and nature of the building work and associated material change of use currently proposed.

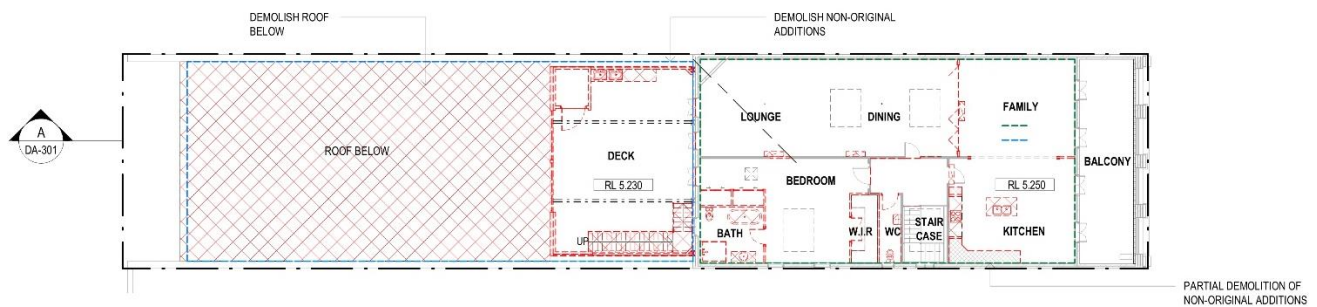
- The proposed internal building work comprises a suite of changes to the existing interior spaces on both the ground level (banking chamber) and first floor level (Manager's residence) of the heritage building in order to reconfigure these spaces for contemporary occupation as a new commercial tenancy and a refurbished dwelling unit respectively.
- The proposed partial demolition work comprises the removal of the suspended ceiling structure (and associated air conditioning plant) from the former banking chamber, the removal of the extant ancillary structures located behind the rear wall of the original Bank building including the warehouse / carparking structure extant on the rear laneway as well as the ancillary habitable spaces and internalized courtyard set in-between same.
- The balance of the new building work proposed involves the establishment of a central courtyard space within the site and construction of a two-storey rear addition adjacent to the laneway frontage that comprises an additional dwelling unit at first floor level – with associated car accommodation for the two proposed dwellings and “back-of-house” services spaces for the commercial tenancy on the ground level. It is also noted that the rear addition will incorporate a lift that will provide equitable access up to the residential level of the complex.

The following set of architectural drawings included in this Section of the Assessment (**Figures 78 – 86** inclusive) document the scale and nature of the partial demolition, interior refurbishment and new building work proposed in order to achieve the mixed-use development outcome sought by the applicant for this heritage place commensurate with its location within the CBD of a major regional city whilst also seeking to retain key original elements of the building's significant exterior and interior fabric that will represent and communicate the late-Colonial era origins of the (former) *Royal Bank Building* in Rockhampton.



EXISTING GROUND FLOOR PLAN

Figure 78: Existing Ground Level Plan showing the extant internal configuration of the subject heritage building and indicating the extent of partial demolition proposed – shown with red linework. It is noted that the majority of interior partial demolition work proposed involves both the more recent additions located at the rear of the site and those within the existing building envelope. (Source: Feather & Lawry Design)



EXISTING LEVEL 1 PLAN

Figure 79: Existing Level 1 Plan showing the extant internal configuration of the subject heritage building and indicating the extent of partial demolition proposed – shown with red linework. It is noted that the majority of interior partial demolition work proposed involves the more recent interventions located towards the rear of the original building envelope and associated contemporary Kitchen / Bathroom installations within same. (Source: Feather & Lawry Design)

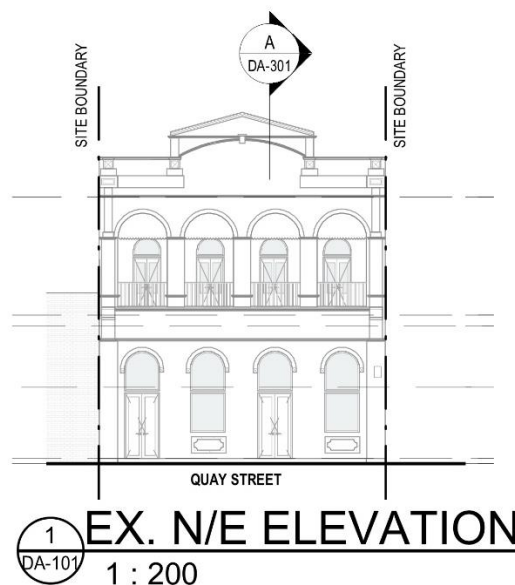


Figure 80: Existing North-East (Quay Street) Elevation showing that the primary façade of the subject heritage building will remain unchanged as a result of the proposed site redevelopment. (Source: Feather & Lawry Design)



Figure 81: Existing North-West (Side) Elevation showing that the secondary façade of the subject heritage building - presently open to the adjoining carpark – while the intrusive enclosed deck structure located beyond the rear wall of the original building (highlighted) is proposed to be demolished. (Source: Feather & Lawry Design)

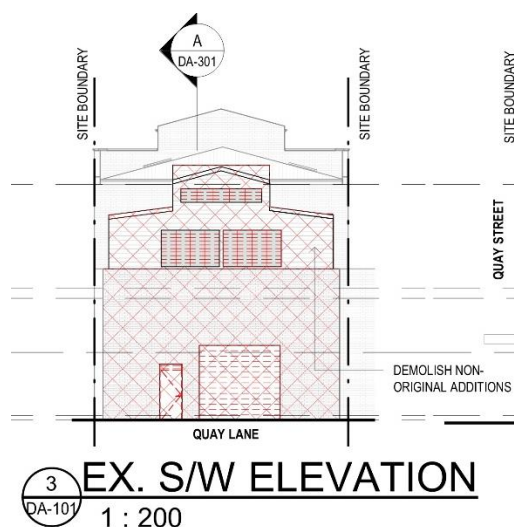


Figure 82: Existing South-West (Quay Lane) Elevation showing that the full extent of the circa 1970s rear addition is proposed to be demolished while the original blade walls on the side boundaries are to be retained and integrated into the new building work. (Source: Feather & Lawry Design)



Figure 83: Existing South-East (Side) Elevation showing that the intrusive enclosed deck structure located beyond the rear wall of the original building (highlighted) is proposed to be demolished. (Source: Feather & Lawry Design)

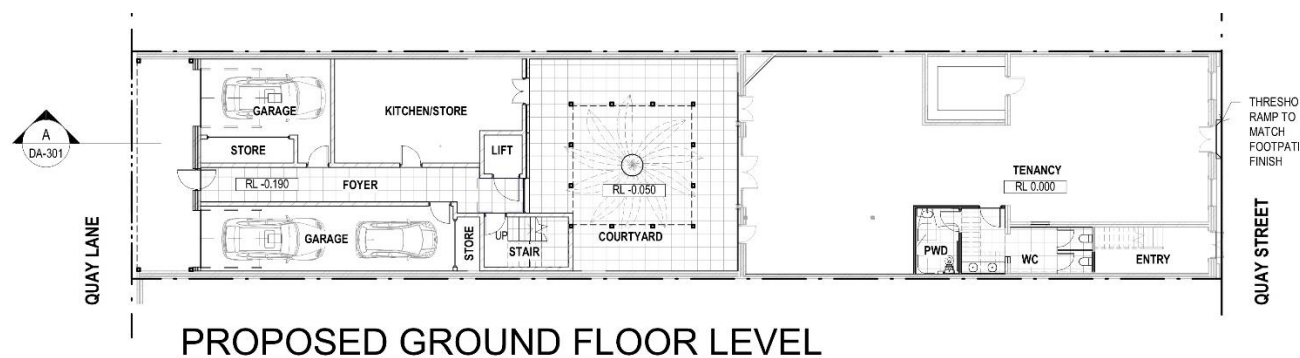


Figure 84: Proposed Ground Level Floor Plan showing the retention of the former banking chamber – with strongroom enclosure intact – and the installation of new bathroom facilities beneath the entrance staircase in order to service this tenancy space. The rear wall of the (former) Bank building is retained and an open courtyard space is established immediately behind same. The rear portion of the subject site will accommodate a new structure comprising residential parking for the dwelling units above and a Kitchen / Store area and associated servicing bay related to the ground level commercial tenancy at the front of the building. (Source: Feather & Lawry Design)

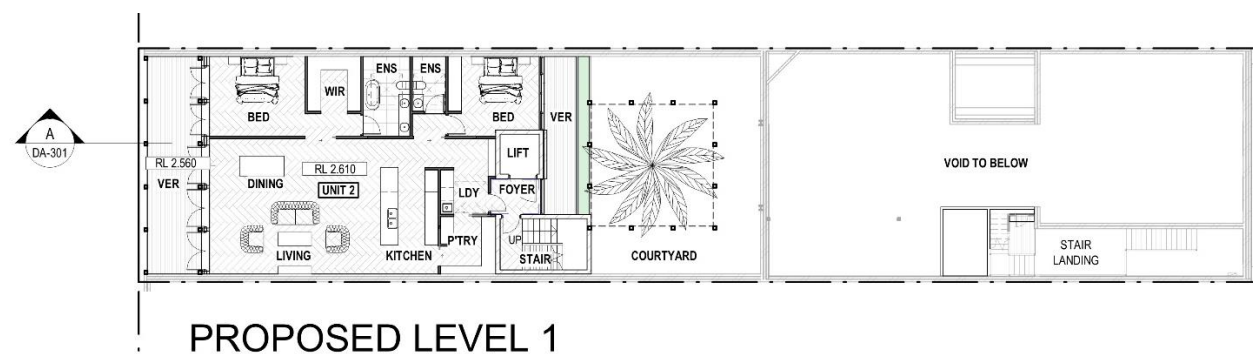


Figure 85: Proposed Level 1 Floor Plan showing the reinstatement of the original ceiling level within the former banking chamber – indicated with “Void to Below” designation – and showing the mid-level landing of the entrance staircase adjoining. The rear wall of the (former) Bank building is retained with the open courtyard space immediately behind same. The rear portion of the subject site will accommodate a new residential unit with stair access to the carparking below and a verandah overlooking the rear site frontage to Quay Lane. (Source: Feather & Lawry Design)

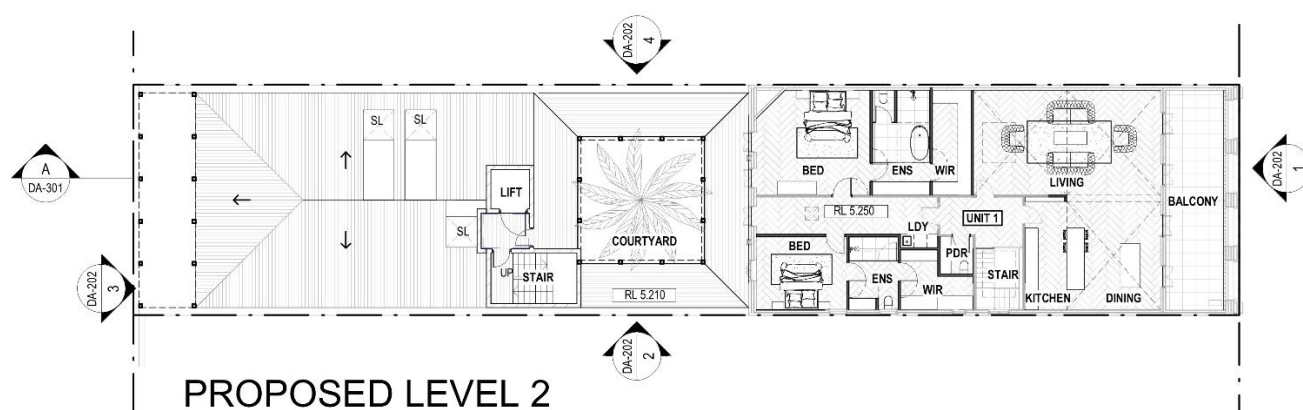


Figure 86: Proposed Level 2 Floor Plan showing the retention of the renovation / reconfiguration of the original Manager's residence extant above the banking chamber and maintaining the open balcony at the front of same. The central courtyard – open to the sky – is situated behind the original Bank building and the new rear addition has a similar hipped roof form over to that extant on the heritage building. (Source: Feather & Lawry Design)

4. Heritage assessment of proposal

4.1 Impacts on cultural heritage significance arising from proposed building work

By definition, any scope of building work or services upgrade proposed in and around the State significant (former) *Royal Bank Building* at 194 Quay Street, Rockhampton has the potential to generate some degree of physical and/or visual impact on the cultural heritage significance of this *Queensland Heritage Place*. However, due to the series of more recent and relatively intrusive interventions in and around this heritage building by previous owners over the past half century or so, it is noted that the level of intactness within both levels of the original Bank building has been considerably diminished and also appended with new structures incorporating many faux heritage features. Notwithstanding such considerations, it is also noted that the heritage building is presently vacant and in need of refurbishment work in order to attract new occupancy; both commercial and residential, and reactivate this building for mixed-use purposes.

The design of the internal works within the building envelope of the former Bank building itself indicate careful consideration in the retention of intact elements and details consistent with the late-Colonial origins of the building while also integrating some contemporary interventions within the Manager's residence spaces that will facilitate modern residential occupation of that upper level of the heritage building. In other parts of the subject site, intrusive alterations and additions progressively made to the building from the 1970s onwards are proposed to be removed and replaced with a contemporary dwelling structure that will also establish an internal courtyard space at the centre of the subject site that is open to the sky and can accommodate a large tree.

In seeking to evaluate the potential of the proposed partial demolition and new building work to impact on the cultural significance attributed to this *Queensland Heritage Place*, specific reference is made to the Statements of Significance for the subject site included in **Section 2.2** of this Heritage Impact Assessment.

The (former) *Royal Bank Building* has been identified as State significant by being important in demonstrating the evolution or pattern of the Queensland's history (**Criterion A**) as follows:

"The former Royal Bank building, forms part of the historic Quay Street precinct which is distinguished by its late 19th century commercial buildings. The Quay Street precinct stands as a legacy to the Port of Rockhampton which served the vast area of central Queensland from 1858 and was influential in establishing Rockhampton as the premier commercial city of central Queensland. The river wharves fostered the substantial commercial development along Quay Street, enabling it to become the principal business district of the city. The solidity of the buildings were a symbol of Rockhampton's wealth, later boosted by the Mount Morgan gold rush of the 1880s, and reflected the confidence with which the community and developers viewed Rockhampton's future."

In response to this particular Criterion, it is noted that there is no change whatsoever proposed for the extant composition and detailing of the primary Quay Street façade of the (former) *Royal Bank Building* hence the contribution that this building makes to the Quay Street precinct firstly and Rockhampton more generally as the premier commercial city of central Queensland will remain unchanged. The solid presentation of the subject heritage building – amongst an array of similar vintage commercial buildings from the gold rush era also extant along Quay Street - will not be adversely impacted upon by the redevelopment of the former Bank building in the mixed-use configuration currently proposed and therefore this historical basis of cultural heritage significance will not be diminished by the current proposal.

The (former) *Royal Bank Building* is also identified as being important because of its aesthetic significance as follows:

“The former Royal Bank building, through its form, scale and materials, makes a strong aesthetic contribution to the streetscape of Quay Street. There is a continuity of cornices and parapets between the former Royal Bank building and the adjacent Archer Chambers [600809] which emphasizes the nineteenth century character of the street and quayside.” (Criterion E).

In this regard, it is considered that the key aesthetic characteristics of former Bank building valued by the community, in particular its contribution to the Quay Street streetscape (and relationship with another *Queensland Heritage Place* located next door within that streetscape – the Evans & Hearn building at 206 Quay Street) will neither be altered nor diminished in any way by the proposed interior refurbishment of the original Bank building and/or the new building work proposed behind same.

Finally the (former) *Royal Bank Building* is also identified for its special association with the life or work of a particular person, group or organization of importance in Queensland’s history (**Criterion H**) as follows:

“The building has special association for the people of Rockhampton through its significant aesthetic and historic contribution to Quay Street, which for many is the symbol of Rockhampton and is very closely associated with the image of the city.”

As noted in the preceding Criteria responses, the aesthetic and historic contribution that the former Bank building presently makes to the Quay Street streetscape – and the related broader community perceptions around the symbolism and close association of this building with the image of the city of Rockhampton – is not directly impacted upon by the proposed suite of building work and associated material change of use for the subject site. On the contrary, the re-activation of occupancy within what is currently a vacant and dormant heritage building is more likely to lift, rather than deplete, community perceptions in relation to this Criterion.

Reviewing the proposal from a *Burra Charter* perspective, it is considered that there is much to commend the current proposal, which will not physically impact on any of the original fabric of the ornate, Classical street façade detailing of the (former) *Royal Bank Building* and also does not impede in any way the ability for this significant late-Colonial era commercial building to continue to be utilized for its original (significant) mixed use for both commercial and residential purposes. It is considered that the proposed scope of building work reflects the following aspects of heritage conservation best practice, as outlined in the *Burra Charter*:

- **Article 3.1** of the *Burra Charter* states that “*Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible.*”

In this regard, it is noted that there is absolutely no change proposed to any fabric of the significant façade detailing of the (former) *Royal Bank Building* as the proposed scope of interior refurbishment and reconfiguration work will be undertaken entirely within the existing building envelope of the heritage building itself. While it is acknowledged that there are elements of original fabric proposed for partial demolition in order to facilitate the proposed redevelopment of this site, it is considered that the reinstatement of both the spatial volume of the commercial banking chamber and the residential land use on the level above is entirely necessary if contemporary accommodation expectations for occupancy of the heritage building are to be

met and the future financial viability of these spaces improved. Consequently the scope of assessable building work proposed within the *Queensland Heritage Place* is deemed to be consistent with this heritage conservation requirement.

- **Article 7.1** of the *Burra Charter* states that *“Where the use of a place is of cultural significance it should be retained.”*

As noted previously in this Assessment, the (former) *Royal Bank Building* was purpose-built as a combined bank branch and associated Manager’s residence; as was often the case with regional commercial building developments of this nature. The proposal seeks to reinforce that dichotomy of significant land use within the heritage building through the refurbishment of the commercial / banking chamber at ground level and the reconfiguration of the first floor level into a contemporary apartment dwelling above same. In this regard, the proposal will effectively reinforce the original utilization of respective levels within the building in accordance with that significant land use while also assisting the building owner with commercial viability issues related to the current untenanted status of the subject heritage building. It is further noted that the addition of a further dwelling unit at the rear of the subject site does not diminish or adversely impact upon the pattern of significant use for this *Queensland Heritage Place* such that the proposal is deemed to be consistent with this heritage conservation requirement.

- **Article 15.1** of the *Burra Charter* states that *“Change may be necessary to retain cultural significance but is undesirable where it reduces cultural significance. The amount of change to a place should be guided by the cultural significance of the place and its appropriate interpretation.”*

Given the current vacant / dormant state of the subject heritage building, it is considered that the proposed scope of internal building work to improve the commercial viability and future occupancy potential of the (former) *Royal Bank Building* is entirely necessary to retain cultural significant, historic mixed-use configuration of this building and append same with some complementary residential development at the rear of the heritage building. As demonstrated in the preceding heritage analysis against the respective Statements of Significance, it has been concluded that the proposed scope of building work will not reduce or diminish any aspect of the cultural heritage significance attributed to this *Queensland Heritage Place*.

It is noted that an interpretation strategy for this significant building could be conditioned as part of the development approval for this application and delivered as part of the approved development such that the interesting history of this substantial riverside commercial building from the late-Colonial era can be outlined for and appreciated by the general public as well as tenants / occupants within the building. Such a development outcome would result in an increased understanding of the site’s history and the significance of this building in a manner superior to that indicated by the extant interpretive panel shown in **Figure 22** (above). Consequently the scope of assessable building work proposed within the *Queensland Heritage Place* is deemed to be consistent with this heritage conservation requirement.

- **Article 22.1** of the *Burra Charter* states that *“New work such as additions to the place may be acceptable where it does not distort or obscure the cultural significance of the place, or detract from its interpretation or appreciation.”*

It is considered that the proposed internal reconfiguration of the extant two levels of the subject heritage building in alignment with their historic and significant pattern of mixed-use

will not distort or obscure the attributed cultural significance of the (former) *Royal Bank Building* in any way due to entirely internalized nature of the proposed scope of work while also providing greater flexibility to maintain the commercial viability of the ground floor tenancy of same. The new building work proposed at the rear of the subject site – replacing earlier intrusive work from the 1970s onwards - will not obscure the understanding of the pattern of development inherent in this heritage site and continue to facilitate this aspect of the subject site being appreciated and interpreted by tenants and visitors to the building alike. Consequently the current proposal is deemed to be consistent with this heritage conservation requirement.

- **Article 22.2** of the *Burra Charter* states that “*New work should be readily identifiable as such.*”

It is considered that the proposed refurbishment and/or reconfiguration of the respective levels within the subject heritage building for future commercial and residential uses together with the associated new courtyard space and building additions proposed towards the rear of the subject site have been carefully designed to be representative “of its time” and expressive of contemporary design in the materiality and detailing of the new building work. It is noted that the proposed interior refurbishment also seeks to retain and adapt as much of the original fabric, elements and detailing within the original Bank building such that the new work will be readily identifiable as a contemporary intervention within the heritage building in accordance with this *Burra Charter* provision. Consequently the current proposal is deemed to be consistent with this heritage conservation requirement.

Consequently it is considered that there is no component or aspect of the scope of the building work proposed in and around the subject heritage building and associated two-storey addition proposed at the rear of the *Queensland Heritage Place* that will adversely impact on the attributed cultural heritage significance of this important example of late-Colonial era commercial development situated on a major thoroughfare of the Rockhampton CBD.

4.2 Assessment against the *Heritage place overlay code*

The *Heritage place overlay code* within *Rock e Plan* is applicable to the assessment of any type of development activity proposed within the (former) *Royal Bank Building* it would involve a suite of assessable Building Work and an associated Material Change of Use proposed to a *Queensland Heritage Place*. The purpose of outlining the relevant provisions of the *overlay code* is to ensure that any future development proposal for this *Queensland Heritage Place* is configured such that it retains the significance of the subject Heritage Place (**Section 8.2.9.2 (1) (a)**).

The relevant provisions of the *Heritage place overlay code* used in the assessment of the proposed redevelopment of the subject *Queensland Heritage Place* are set out **Section A of Table 8.2.9.3.1** below:

8.2.9.3.1 Development outcomes for assessable development (part)

Table 8.2.9.3.1 Development outcomes for assessable development (part)

Performance outcomes	Acceptable outcomes
Within a local heritage place	
PO2 All development undertaken on the site of a local heritage place retains and protects the cultural heritage significance and values of the heritage place.	No acceptable outcome is nominated. Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance .
PO3 Development protects the fabric and setting of the local heritage place while providing for its use, interpretation and management.	No acceptable outcome is nominated. Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance .
PO4 Development addresses all issues relevant to the conservation of the local heritage place and in accordance with any conservation management plans applying to the place.	No acceptable outcome is nominated. Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Preparing studies and reports: contractual and ethical issues .
PO5 Reuse of a local heritage place occurs by: (a) retaining or restoring the original use; or (b) not requiring significant modification to the fabric; or (c) other means that results in the use of the premises in a matter that ensures its conservation.	No acceptable outcome is nominated. Editor's note—Where necessary a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance .
PO6 Development does not impact on any culturally significant values that are identified by the indigenous people to whom the place is significant.	No acceptable outcome is nominated. Editor's note—Heritage places with indigenous cultural values are assessed by a suitably qualified person and as detailed in SC6 13 — Local heritage planning scheme policy .

In response to the relevant Performance Outcomes of the *Heritage place overlay code*, the following commentary is submitted for Council's consideration of this proposal:

PO2 – All development undertaken on the site of a local heritage place retains and protects the cultural heritage significance and values of the heritage place.

Response: It is considered that the proposed redevelopment of the subject heritage place – incorporating partial demolition of later, non-significant elements within the original building and intrusive additions beyond same, new building work both within the heritage building and to the rear of the subject site and a corresponding material change of use to a mixed use configuration (multi-unit dwelling and commercial tenancy) does provide for the future protection of the heritage place through allowing the reconfiguration of the respective extant commercial and/or residential spaces within the original building. It is anticipated that the refurbishment of the former banking chamber and associated “back-of-house” spaces on the ground level will be attractive to a potential future tenant and commercially viable as smaller scale, commercial or hospitality space within the Rockhampton CBD and along the Fitzroy River riverfront. Above and to the rear of this space, the original Manager's residential space at first floor level will be refurbished and reconfigured as a contemporary dwelling unit with that proposed land use also being replicated on the same level at the rear of the site with a further dwelling unit set above carparking and service areas for the commercial tenancy. Throughout this State significant, late-Colonial era commercial building, the array of original features and elements of the heritage building will be retained and adapted for the contemporary land uses presently being proposed on respective levels of the heritage building. While it is acknowledged that the commercial considerations outlined above might, on first pass, be considered ancillary to the ongoing heritage conservation of the (former) *Royal Bank* building, from the site owner's perspective; such considerations are paramount to the viability of this project.

It is also acknowledged that the proposed reconfiguration of the existing series of open plan spaces within the Manager's residence on the first level of the heritage building to create a more conventional dwelling unit floorplate and the opening up of the associated central courtyard space behind same, which will also reveal the significant fabric and detailing of the rear wall of the heritage building, will alter the extant circulation pattern established within the heritage building however it is noted that this change has already largely taken place - at the hand of previous owners – in the various later, ancillary structures now extant at the rear of the subject site. In addition, the

retention and adaptation of the original ground floor commercial space with Manager's residence over – a typical spatial configuration evident in many early examples of regional bank buildings – and integrating the associated secondary street entrance and access staircase beside same will still allow for the future appreciation and interpretation of these original elements of the building. It is considered that the combination of the proposed interior refurbishment and associated spatial reconfiguration throughout the heritage building and the appending dwelling unit / carparking / services additions at the rear of the subject site will not damage or diminish the attributed cultural heritage significance of the (former) *Royal Bank Building* in Rockhampton.

It should also be noted that the compilation of this Heritage Impact Report and the various heritage considerations contained therein demonstrates compliance with the relevant conservation processes outlined in *The Australia ICOMOS Burra Charter*; a guideline document for the appropriate heritage conservation management of places of cultural heritage significance.

Consequently it is considered that the proposal meets the requirements of this Performance Outcome of the *overlay code*.

PO3 - Development protects the fabric and setting of the heritage place while providing for its use, interpretation and management.

Response: As outlined in the preceding Response, it is considered that this proposal seeks to retain the various significant spatial configurations and feature elements within the original Bank building, adapt these attributes of the heritage building for use within an enhanced commercial tenancy (ground level) and dwelling unit above (first floor) while also removing a series of intrusive, non-original elements and structures further to the rear of the subject site such that this portion of the site can be appended with replacement development of a more complementary nature. This design strategy of retaining and adapting original spaces and detailing of the Bank building effectively reinstates the original "upstairs / downstairs" land use mix originally extant within the heritage building while also enhancing that configuration with the addition of a central circulation courtyard space behind and appending same with complementary development beyond (a second dwelling unit over a carparking / services area at the rear fronting Quay Lane). As the proposed scope of partial demolition and associated new building work seeks to maintain all original elements / features extant within the heritage building, it is considered that the proposal does protect the fabric of the heritage place. In a similar way; as the proposed scope of building work within the former Bank building itself is contained entirely within that significant building envelope, it follows that the proposal will have absolutely no impact on either the aesthetically significant Quay Street façade of the building or its streetscape context within the broader riverside avenue of Quay Street with its corresponding array of intact heritage buildings.

Consequently it is considered that the potential impact on the fabric and setting of the subject heritage building arising out of the proposed scope of building work is entirely appropriate and will facilitate its ongoing use, interpretation and management as a mixed-use development hence the proposal therefore meets the requirements of this Performance Outcome of the *overlay code*.

PO4 - Development addresses all issues relevant to the conservation of the local heritage place and in accordance with any conservation management plans applying to the place.

Response: It is considered that the proposed suite of building work currently proposed for the subject site will contribute to the conservation of this *Queensland Heritage Place* through a combination of its enhancement of the commercial accommodation offering within the significant building (i.e. the former banking chamber), the maintenance of the original residential

accommodation component within the first floor of the heritage building as well as appending the former Bank building with a contemporary, two-storey addition at the rear of the site that will both populate and activate the currently dormant Quay Lane (secondary) site frontage of the heritage place. The proposed redevelopment of this *Queensland Heritage Place* as a mixed-use development within the Rockhampton CBD will also serve to populate and activate what is currently a vacant and dormant building located within one of the city's premier streetscapes. While the author is not aware of any extant conservation management plan established for this particular heritage site, it is nevertheless considered that the current proposal to adaptively reuse and append the (former) *Royal Bank Building* as a mixed-use development aligns with best heritage conservation practice and therefore has satisfactorily addressed all issues relevant to the conservation of the heritage place. Consequently it is considered that the proposal meets the requirements of this Performance Outcome of the *overlay code*.

PO5 – Reuse of a local heritage place occurs by:

- (a) Retaining or restoring the original use; or
- (b) Not requiring significant modification to the fabric; or
- (c) Other means that results in the use of the premises in a matter that ensures its conservation.

PO6 - Development does not impact on any culturally significant values that are identified by the Indigenous people to whom the place is significant.

Response: While it is acknowledged that the Rockhampton City CBD was originally populated by the Durambul First Nations people, it is noted that the (former) Royal Bank Building has not previously been recognised as a place of cultural heritage significance for this indigenous people who identify themselves as traditional owners and/or original inhabitants of the area. Consequently it is considered that this particular Performance Outcome is not relevant to the heritage assessment of this redevelopment proposal for the subject site.

4.3 Assessment against *State code 14: Queensland heritage*

When the subject site is also identified as a State significant heritage place (i.e. a *Queensland Heritage Place*), as is the case here, any type of redevelopment proposed for that site must also be assessed against the provisions of *State code 14: Queensland heritage*, which is the corresponding State assessment code to the *City Plan 2014* heritage provisions. The relevant provisions within *State code 14* that deal with development on a State heritage place are found in **Table 14.2.2**, as set out below.

In response to the relevant Performance Outcomes of *State code 14: Queensland heritage*, the following assessment commentary is submitted for the Department's consideration in relation to the proposed redevelopment of the subject site as a mixed-use development:

Table 14.2.2: Development on a state heritage place

Performance outcomes	Acceptable outcomes
PO1 Development of a state heritage place: <ol style="list-style-type: none"> 1. does not have a detrimental impact on the cultural heritage significance of the state heritage place; or 2. where it is demonstrated that 1 is not reasonably achievable: <ol style="list-style-type: none"> a. minimises and mitigates unavoidable detrimental impacts on its cultural heritage significance b. provides opportunities for public appreciation of its cultural heritage significance c. where adaptive reuse is proposed, is compatible with its ongoing conservation management. 	No acceptable outcome is prescribed.

<p>PO2 Where open space, or the relationship between built and open spaces at a state heritage place is identified as forming part of its cultural heritage significance, development:</p> <ol style="list-style-type: none"> 1. maintains or enhances the significance of the setting, including significant views, circulation, access, spatial patterns and layout 2. maintains a lot size and layout which permits viable adaptive reuse or conservation of significant heritage buildings and open spaces. 	<p>No acceptable outcome is prescribed.</p>
<p>PO3 Development on a state heritage place with identified archaeological potential avoids or appropriately manages detrimental impacts on artefacts.</p>	<p>No acceptable outcome is prescribed.</p>

In response to the relevant Performance Outcomes of *State code 14: Queensland heritage*, the following assessment commentary is submitted in support of the scope of partial demolition and new building work proposed in order to redevelop the subject heritage building as a mixed-use development:

Performance Outcome PO1 - Development of a state heritage place:

1. Does not have a detrimental impact on the cultural heritage significance of the state heritage place; or

Response: As noted above in **Section 4.1**, it is considered that there is no aspect of the attributed cultural heritage significance of the (former) *Royal Bank Building* that will be adversely impacted upon by any component of the proposed scope of building work and/or the associated material change of use of this *Queensland Heritage Place*. Consequently it is considered that the proposal meets the requirements of this Performance Outcome.

2. Where it is demonstrated that 1. Is not reasonably achievable:

- a. Minimises and mitigates unavoidable detrimental impacts on its cultural heritage significance.
- b. Provides opportunities for public appreciation of its cultural heritage significance.
- c. Where adaptive reuse is proposed, is compatible with its ongoing conservation management.

Response: As **Performance Outcome PO1 (1)** has already been satisfied, this subsequent Performance Outcome provision is not applicable to the assessment of the proposed internal building work.

Performance Outcome PO2 – Where open space, or the relationship between built and open spaces at a state heritage place is identified as forming part of its cultural heritage significance, development:

1. Maintains or enhances the significance of the setting, including significant views, circulation, access, spatial patterns and layout.

Response: It is noted that the scope of proposed building work to the (former) *Royal Bank Building* within the original building envelope of that former institutional building is entirely contained within that envelope (i.e. behind the primary (Quay Street) or secondary (carpark) facades of the heritage building and therefore does not impact upon any significant views to and from same. While it is acknowledged that further, more substantial building work is also proposed at the rear of the subject site – facing Quay Lane, it is not considered that the existing streetscape of this laneway currently affords any significant views of the subject heritage building. Consequently it is concluded

that this Performance Outcome is not applicable to the assessment of the scope of proposed building work on the subject site.

2. Maintains a lot size and layout which permits viable adaptive reuse or conservation of significant heritage buildings and open spaces.

Response: There is no change proposed to the existing lot size or corresponding lot layout of the (former) *Royal Bank Building* site while it is further noted that the proposal seeks to maintain and utilize the original building envelope of the heritage place to facilitate the viable adaptive reuse and/or conservation of the heritage building as a mixed use development. Consequently it is considered that the proposal meets the requirements of this Performance Outcome.

Performance Outcome PO3 – Development on a state heritage place with identified archaeological potential avoids or appropriately manages detrimental impacts on artefacts.

Response: This *State code* provision is not considered to be applicable to the (former) *Royal Bank Building* site, which has not been previously identified as a site that might have archaeological potential during any proposed redevelopment of this building that would require corresponding avoidance or specific management of particular areas within the subject site.

5. Conclusion

5.1 Conclusion

It is concluded that the proposed redevelopment of the (former) *Royal Bank Building* located at 194 Quay Street, Rockhampton as a mixed use development will not generate any adverse impacts on the cultural heritage significance attributed to this *Queensland Heritage Place* and therefore warrants planning approval.

It is suggested that the heritage considerations for this proposal should be favourably reviewed by Council in respect of the relevant provisions of the *Heritage place overlay code* within *Rock e Plan*, a corresponding outcome be achieved in relation to *State code 14: Queensland heritage* when reviewed by the State heritage agency and approved, as documented, subject to the typical approval conditions relevant for this type of project.

6. Appendix

6.1 *Queensland Heritage Place* heritage citation



Queensland Government home > For Queenslanders > Environment, land and water > Land, housing and property > Heritage places > Queensland Heritage Register > Search the register > **Royal Bank Building (former)**

Royal Bank Building (former)

- Place ID: 600808
- 194 Quay Street, Rockhampton

General



[More images...](#)

Also known as

Winchcombe Carson; Rivers Restaurant; Diamonds & Pearls

Classification

State Heritage

Register status

Entered

Date entered

21 October 1992

Type

Commercial/financial/professional: Bank

Themes

3.7 Developing secondary and tertiary industries: Financing

7.2 Maintaining order: Government and public administration

Construction period

1888, Royal Bank Building (former) (- 1888)

Historical period

1870s–1890s Late 19th century

Location

Address

194 Quay Street, Rockhampton

LGA

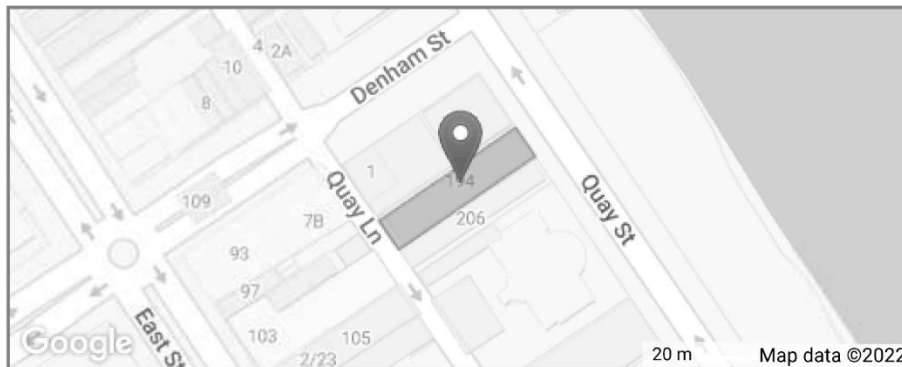
Rockhampton Regional Council

Coordinates

-23.37805006, 150.51444985

Map

- [Enlarge map](#)



Street view



Photography is provided by Google Street View and may include third-party images. Images show the vicinity of the heritage place which may not be visible.

Request a boundary map

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* Email

Significance

Criterion A

The place is important in demonstrating the evolution or pattern of Queensland's history.

The former Royal Bank building, forms part of the historic Quay Street precinct which is distinguished by its late 19th century commercial buildings. The Quay Street precinct stands as a legacy to the Port of Rockhampton which served the vast area of central Queensland from 1858 and was influential in establishing Rockhampton as the premier commercial city of central Queensland. The river wharves fostered the substantial commercial development along Quay Street, enabling it to become the principal business district of the city. The solidity of the buildings were a symbol of Rockhampton's wealth, later boosted by the Mount Morgan gold rush of the 1880s, and reflected the confidence with which the community and developers viewed Rockhampton's future.

Criterion E

The place is important because of its aesthetic significance.

The former Royal Bank building, through its form, scale and materials, makes a strong aesthetic contribution to the streetscape of Quay Street. There is a continuity of cornices and parapets

between the former Royal Bank building and the adjacent Archer Chambers [600809] which emphasises the nineteenth century character of the street and quayside.

Criterion H

The place has a special association with the life or work of a particular person, group or organisation of importance in Queensland's history.

The building has special association for the people of Rockhampton through its significant aesthetic and historic contribution to Quay Street, which for many is the symbol of Rockhampton and is very closely associated with the image of the city.

History

The former Royal Bank building at 194 Quay Street, Rockhampton was constructed to its present form when a second storey and other extensions were added to an existing building on the site in July 1888. The additions were designed by prominent Rockhampton architect JW Wilson (1865-1899) and built by Wakefield McLean & Co.

The land was originally owned by the early settler William Archer who purchased the site at a sale of Crown Land in November 1858 as Allotment 2 of Section 46, Parish of Rockhampton. The property was thought to have been used by the Rockhampton Morning Bulletin from 1861-62 until the building was destroyed by fire. The Royal Bank purchased subdivision 1 of Lot 2 of Section 46 in June 1887. The bank operated its business from a building on that property until mid 1888 when it temporarily relocated to the former premises of the Commercial Bank in Denham Street during the construction of the additions.

The Queensland-owned Royal Bank was established in Brisbane late in the recession year of 1885. The Royal Bank was promoted as an alternative to the hugely successful Queensland National Bank. By early 1889, the Royal Bank had established 20 branches and agencies (Rockhampton 1887), including branches in London and Edinburgh, proving to be a viable competitor of the Queensland National Bank into the 1910s. In Rockhampton the Royal Bank was situated amongst the other leading banks on Quay Street including the Queensland National Bank (QHR 600807), the Union Bank (QHR 600805) and the former Bank of New South Wales as well as numerous leading mercantile companies.

Tenders for the construction of the additions to the Rockhampton Royal Bank were called from May to June 1888 and work was commenced in July. A description of Wilson's plans printed in *The Daily Northern Argus* of 5 July 1888 said the alterations included "a second storey on the present building" and an extension of six rooms on the ground floor at the back of the "present" building. The front elevation was to be 35 feet high with an arcaded balcony on the upper floor finished with cement. The ground floor provided a banking chamber (25 ft x 30 ft), with a strong room, manager's room, large dining room, lavatories, and a private entrance hall. The two front rooms were to be

divided by folding doors which provided a 20×30 ft room when thrown open. The building was to be completed in four months.

John William Wilson dominated the architectural scene in Rockhampton from 1864 until the 1890s. His work contributed significantly to the consistency of the Rockhampton townscape with six of the Quay Street buildings erected before 1901 being Wilson's design. Wilson designed over 200 buildings in the central Queensland region during his 35-year practice and was one of the most prominent and prolific architects to have worked in Rockhampton.

The former bank was located in Rockhampton's principal business district which developed along Quay Street in the late 19th century to serve the passing trade at the wharves. Rockhampton had operated as a port since 1858 and had been the main centre for transport and trade in Central Queensland. A phase of increased development and rebuilding was apparent in Rockhampton during the 1880s generated by the immense wealth produced from the Mount Morgan gold mine discovered in the 1882. The extension of the Royal Bank building to its present form in 1888 was a reflection of this boom in Rockhampton.

In 1903 the Brisbane to Gladstone railway was opened and from this time the diminishing importance of the port caused the wharves to fall into disrepair and the development of the area to become more closely tied to the city centre.

The building functioned as the Royal Bank until 1917 when the Royal Bank of Queensland merged with the Bank of North Queensland to form the Bank of Queensland which in turn was absorbed by the National Bank of Australasia in 1922. In 1958 the selling brokers, Winchcombe Carson Ltd, purchased the building and in 1980 the building was transferred to Dalgety Australia Ltd. The property was resold in November 1980 and subsequently leased as the office for the Minister of Works and Housing of the State of Queensland from 1983 to 1991. The building was bought by the current owners in 1993. At the time of purchase the building was intended for the dual use as a residence and beauty salon/finishing school. At this time the timber deck was installed at the back of the building and the arched openings in the ground floor dining room were installed. The building was converted to a restaurant in 1996 by the current lessees.

Description

The former Royal Bank building is a two-storeyed rendered masonry structure located fronting Quay Street to the northeast overlooking the Fitzroy River. The building adjoins Archer Chambers [600809] to the southeast.

The Quay Street elevation has four arched openings to the ground floor, with the entrance to the first floor located at the southern end consisting of paired timber panelled doors with an arched fanlight. The entrance to the ground floor consists of a timber framed door with glass panels and an arched fanlight, flanked by arched sash windows surmounting recessed wall panels. Each arched

opening is surmounted by a rendered moulding, and a shallow cornice separates the ground and first floors.

The first floor has an arcaded balcony fronting Quay Street, consisting of four arches with expressed impost and extrados, and cast iron balustrades with timber handrails. The first floor is surmounted by a shaped gable, consisting of a central triangular pediment supported by pilasters above a curved pediment with expressed keystone ornament. The pediment is flanked by a low parapet with corner pillars.

The rear wall of the building has casement windows with segmental arched fanlights to the first floor, flanking a central door with a cantilevered metal framed landing and stair accessing a rear first floor deck. A ground floor rear courtyard is enclosed by a storage and office building fronting Quay Lane.

Internally, the ground floor has an entrance hall and stair on the southern side, with a dining room fronting Quay Street on the northern side, and a bar, sitting area and kitchen at the rear fronting a courtyard. A masonry cross wall separates the front and rear areas, with access provided by two arches with pilasters flanking a decorative wall niche. The original strongroom is located centrally on the northern side, and is used as a store. Ceilings are finished with compressed sheeting, and masonry walls are rendered. The rear bar and sitting area opens via french doors to a courtyard, which is mostly covered by a first floor deck, and which contains toilets, stair and access to the rear store and office building. The entrance hall has a timber stair with turned balusters, newel posts and timber handrails, a boarded timber ceiling, and rear access to the bar area via an office under the stair landing.

The first floor has a dining room and bar fronting the Quay Street arcaded balcony, with amenities located centrally, and a function room and kitchen at the rear with access to a deck above the ground floor courtyard. The Quay Street dining room has decorative plaster ceiling details, and consists of two rooms joined by a large opening with timber architraves. Four sets of french doors with arched fanlights open onto the arcaded balcony, and large folding timber doors provide access to the function room at the rear. The balcony has a boarded timber ceiling and tiled floor. The function room has a fireplace with a timber surround in the western corner, and a suspended acoustic tile ceiling. A central hallway accesses the rear of the building, with timber panelled doors with fanlights and architraves opening into adjacent rooms. A timber panelled door with arched glass fanlight and sidelights separates the rear of the hallway from the entrance stair.

The rear store and office building fronting Quay Lane is constructed of concrete block with a sheet metal roof.

Image gallery



Location



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Last updated 20 January 2016

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Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.