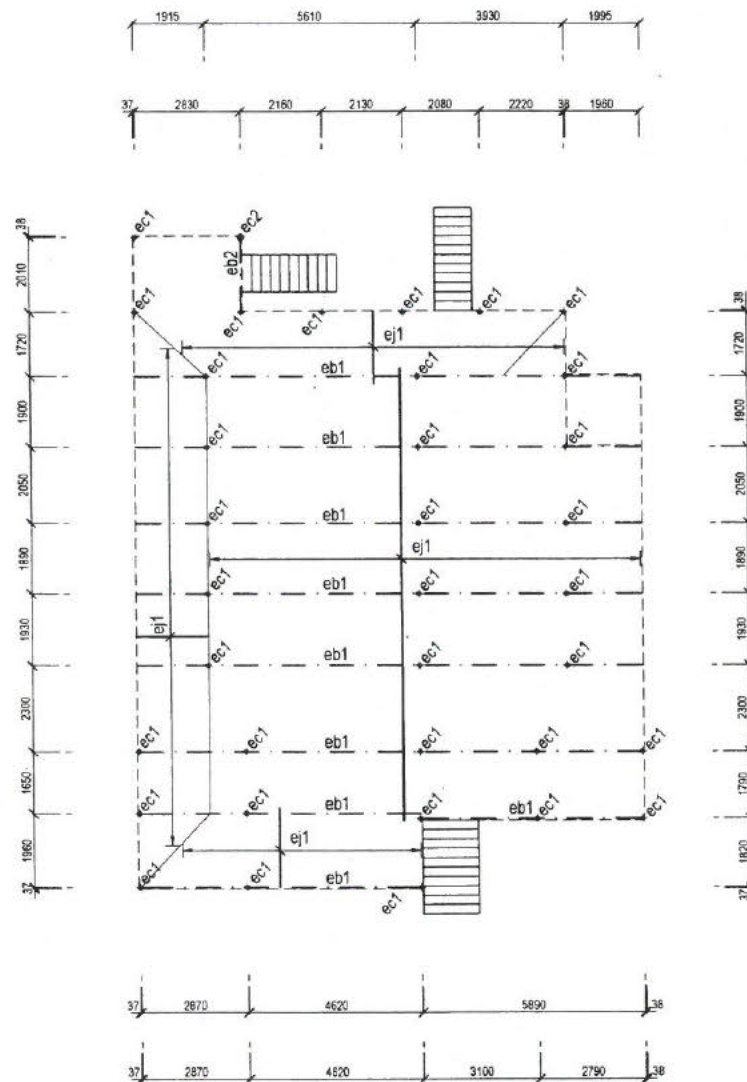


MEMBER SCHEDULE:

ec1	EXISTING 75 x 75 SHS POSTS
ec2	EXISTING 150 CHS POST
eb1	EXISTING 200 UB BEARER
eb2	EXISTING 125 x 75 BEARER
ej1	EXISTING 200 x 45 JOISTS @ 500 CRS.



EXISTING GROUND FLOOR PLAN (1:100)

SITE PLAN NOTES:

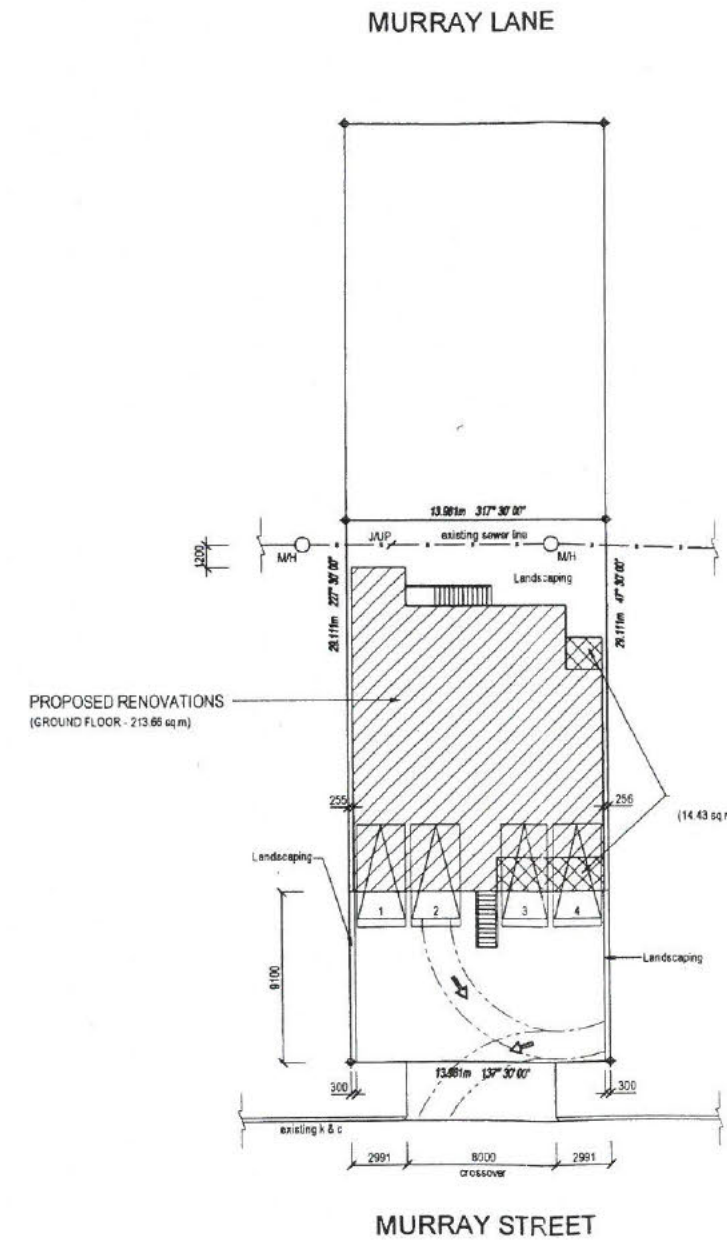
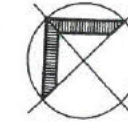
1. Earthworks to comply with AS3796 and AS2670.1.
2. Figured dimensions shall be taken in preference to those scaled from the drawing. Builder to verify all dimensions on site prior to construction.
3. Finished surface lines shown on elevations and platform layout shall be confirmed on site prior to commencement of building work.
4. Structure designed for Wind Gust Speed: C1 (W41C).
5. All construction shall be in accordance with the requirements of the Building Code of Australia, the Building Act 1975 and the Local Authorities' requirements.
6. Timber members to be sized and fixed in accordance with C1 to A.S. 1684.
7. Builder to provide a fall around the building of:
 - 1 in 20 for the first 1.0m around building
 - 1 in 80 for the next 1.0m around building
8. Connect all new downpipes as shown and fall pipes to kerb and channel or intra allotment drainage system. Stormwater drainage design is indicative only. Plumber to verify on site the suitability of the design and adjust accordingly to suit conditions. All plumbing work to comply with relevant plumbing codes and standards.
9. Install a sleeve joint where wall downpipes meet ground stormwater lines to allow for movement.
10. Confirm location of any underground services prior to commencement of building work.
11. Check position of current main water connection and provide connecting link to dwelling to the requirements of the Local Authority and current Water & Sewerage Supply Act. Good pressure to be achieved in supply line to building.
12. Extent of principal Builder and relevant Subcontractors to be within the confines of the property boundaries and portion of the footpath immediately adjoining front property alignment. Seek neighbours consent if access or additional construction is required outside the confines of the subject property.

CALCULATION SCHEDULE

Area of land	407 sqm
Area of building	213.86 sqm
% coverage	52.49%
Area of landscaping	61.32 sqm
% coverage	15.06%
Carpeting Spaces	4

PROPERTY DETAILS

LOT 1 ON SP
PARISH OF ROCKHAMPTON
COUNTY OF LIVINGSTONE
AREA: 407 sq.m



SITE PLAN (1:200)

SITE PLAN & EXISTING GROUND FLOOR PLAN

SK Drafting
building designs

P: 07 4927 7864 M: 0419 788 051 F: 07 4927 1574
E: scottm@skdrafting.com.au
www.skdrafting.com.au
2 Brea-Rosa Street, Rockhampton QLD 4700
BSA LIC No 369429



PROPOSED RENOVATIONS
AT 137 MURRAY STREET,
ROCKHAMPTON,
FOR THE CATHEY FAMILY
SUPER FUND

Scale	AS SHOWN ON A1	Date	AUG '13	Issue	A
Drawn	SEA	Sheet	1/2	Drawing No.	13-031
Checked					
Approved					

FLOOR PLAN NOTES:

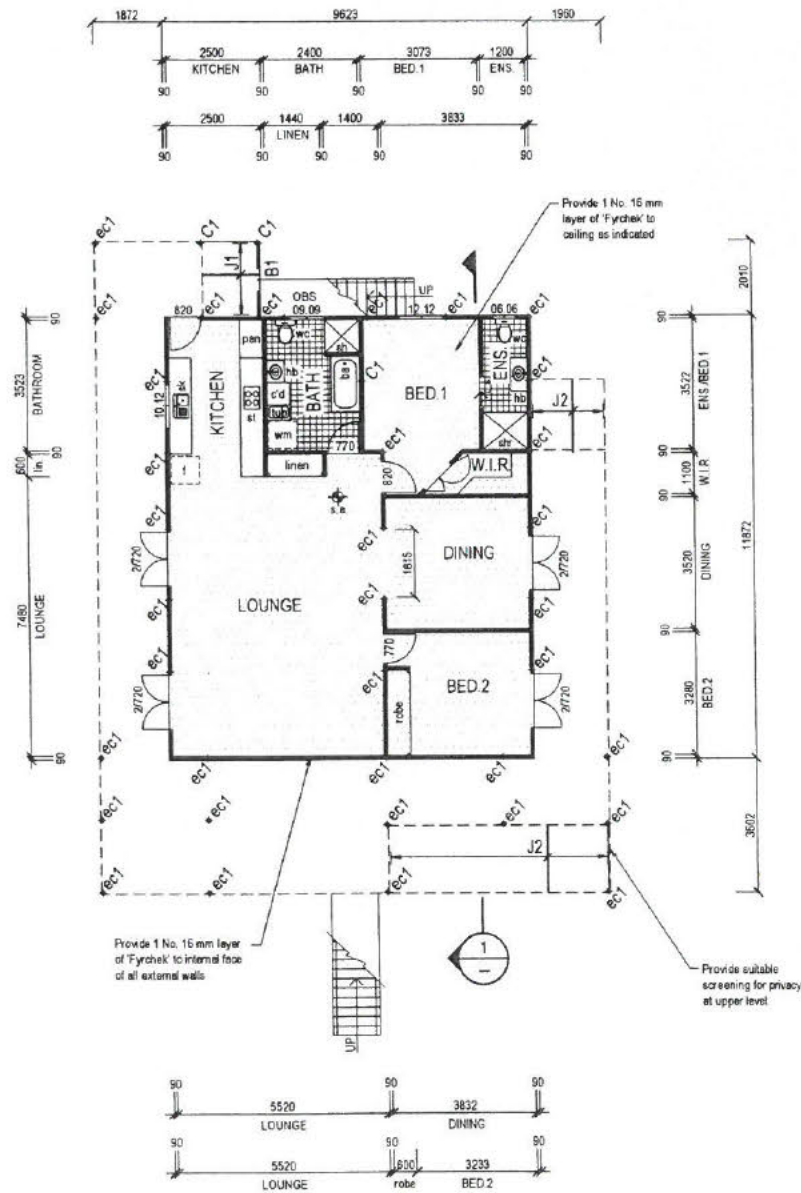
- Figured dimensions shall taken in preference to those scaled from the drawing
- Builder to verify all dimensions on site prior to commencement of building work.
- Finished surface lines shown on elevations and platform layout shall be confirmed on site prior to commencement of building work.
- Structure designed for Wind Gust Speed: C1 (W41C)
- Construction to be in accordance with the Building Code of Australia, Old Home Building Manual and all other relevant SAA Codes and Standards.
- Builder to ensure adequate surface drainage and that no low spots capable of ponding are created during construction.
- Where applicable, WC doors that swing inwards to be fitted with demountable hinges. Gaps to be provide at the top to allow door to be lifted off when in the closed position.
- Required number of new stair count is indicative only. Verify number of treads on site as per finished ground level.
- Termite protection to be installed in accordance with AS3660:1-2000. A certificate is to be supplied to the Building Approval Authority as evidence of treatment where necessary.

LEGEND:

- ba bath tub
col column
cup/d cupboard
dh double hung
dn down pipe
ex existing
f bridge
hb hand basin
oh overhead
shr shower
sk sink
wc water closet
- indicates fire separation ceiling
s.s. indicates hand-wired self contained smoke alarm complying with AS 3786

MEMBER SCHEDULE:

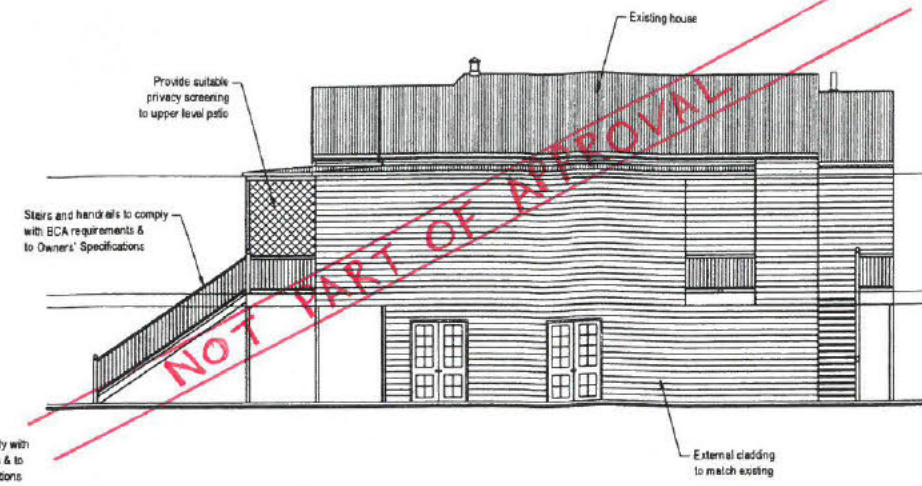
- ec1 EXISTING 75 x 75 SHS POSTS
ec2 EXISTING 150 CHS POST
C1 75 x 75 x 4.0 'DURAGAL' SHS POST
B1 150 x 75 H.W. (F14) BEARER
J1 150 x 50 H.W. (F14) JOISTS @ 450 CRS
J2 200 x 45 JOISTS @ 450 CRS



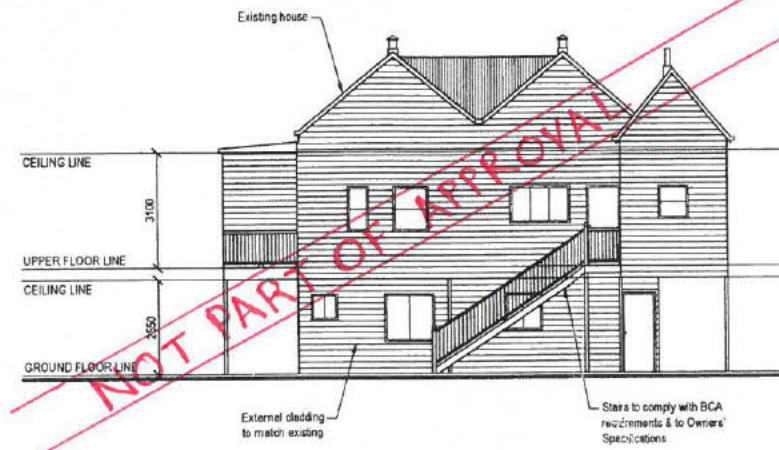
PROPOSED GROUND FLOOR PLAN (1:100)



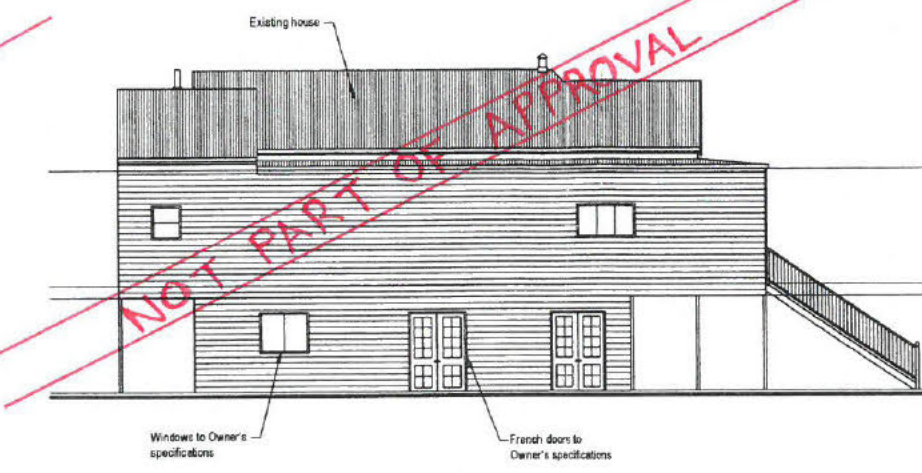
SOUTH-WEST ELEVATION (1:100)
REFER TO PLAN: 13-031a ISSUE C



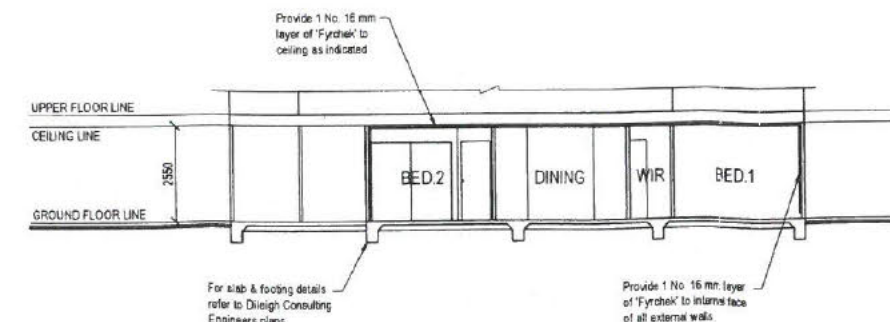
SOUTH-EAST ELEVATION (1:100)
REFER TO PLAN: 13-031a ISSUE C



NORTH-EAST ELEVATION (1:100)
REFER TO PLAN: 13-031a ISSUE C



NORTH-WEST ELEVATION (1:100)
REFER TO PLAN: 13-031a ISSUE C



SECTION (1:100)

FRAMING SCHEDULE 90mm WALL

- BTM PLATE 90 x 45 MGP12
TOP PLATE 90 x 45 MGP12
NOGGING 90 x 35 MGP12 1 No. ROW
STUDS 90 x 35 MGP12 @ 450 CRS
JAMB STUDS REFER TO TABLE BELOW

STUD SCHEDULE:

Common stud spacing (mm)	Number of common studs at sides of openings for width openings (mm)							
	600	1200	1500	1800	2100	2400	2700	3000
450	1	2	2	2	2	3	3	4

No.	Date	Amendment
A	29.10.13	For Building Approval
P1	06.06.13	Preliminary Issue

PROPOSED GROUND FLOOR PLAN, ELEVATIONS & SECTION

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PROPOSED RENOVATIONS
AT 137 MURRAY STREET,
ROCKHAMPTON,
FOR THE CATHEY FAMILY
SUPER FUND

Scale	AS SHOWN ON A1	Date	AUG '13	Issue	A
Drawn	TEM	Sheet	2/2	Drawing No.	13-031
Checked					
Approved					

FLOOR PLAN NOTES

1. All dimensions are to the face of the work unless otherwise stated.
2. To be done in accordance with the Building Code of Australia (BCA) and the relevant standards.
3. All work to be done in accordance with the Building Code of Australia (BCA) and the relevant standards.
4. Structural steelwork to be done in accordance with the Building Code of Australia (BCA) and the relevant standards.
5. Construction to be in accordance with the Building Code of Australia (BCA) and the relevant standards.
6. To be done in accordance with the Building Code of Australia (BCA) and the relevant standards.
7. Work to be done in accordance with the Building Code of Australia (BCA) and the relevant standards.
8. To be done in accordance with the Building Code of Australia (BCA) and the relevant standards.
9. To be done in accordance with the Building Code of Australia (BCA) and the relevant standards.

MEMBER SCHEDULE

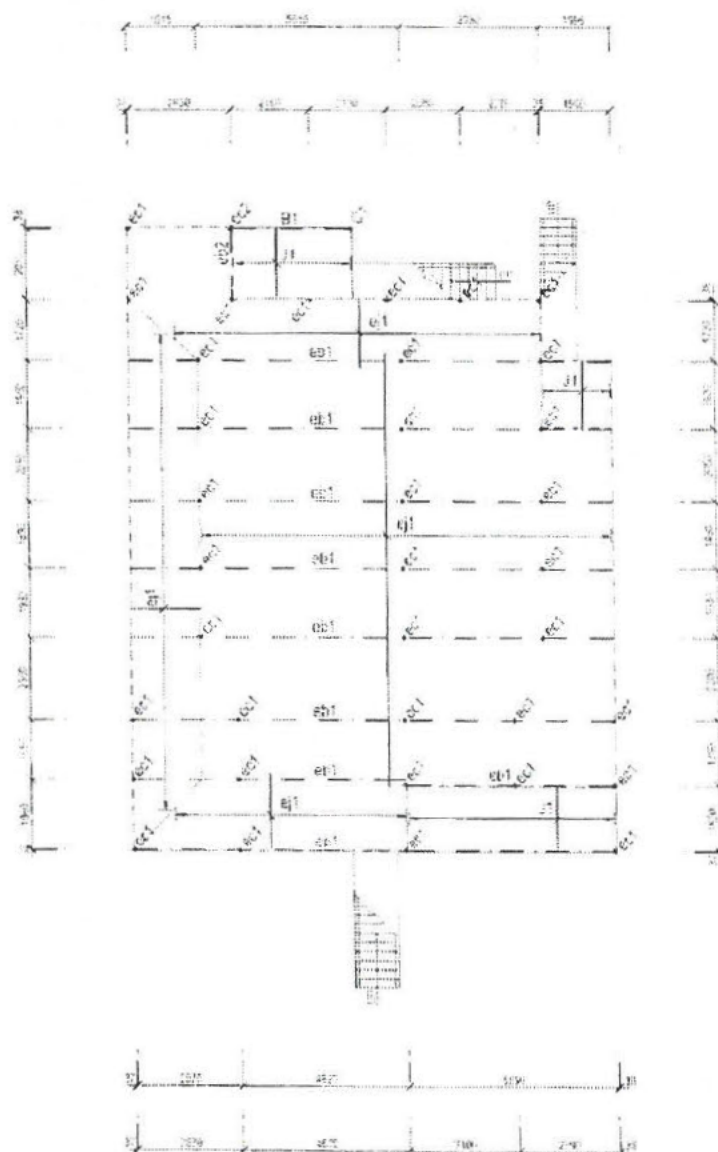
1	200 x 250 x 10000
2	200 x 250 x 10000
3	200 x 250 x 10000
4	200 x 250 x 10000

FRAMING SCHEDULE 90mm WALL

1	200 x 250 x 10000
2	200 x 250 x 10000
3	200 x 250 x 10000
4	200 x 250 x 10000

STUD SCHEDULE

Common Stud	Number of common studs at side of opening for wall opening (mm)
1	1
2	2
3	3
4	4



PROPOSED GROUND FLOOR PLAN (1:100)



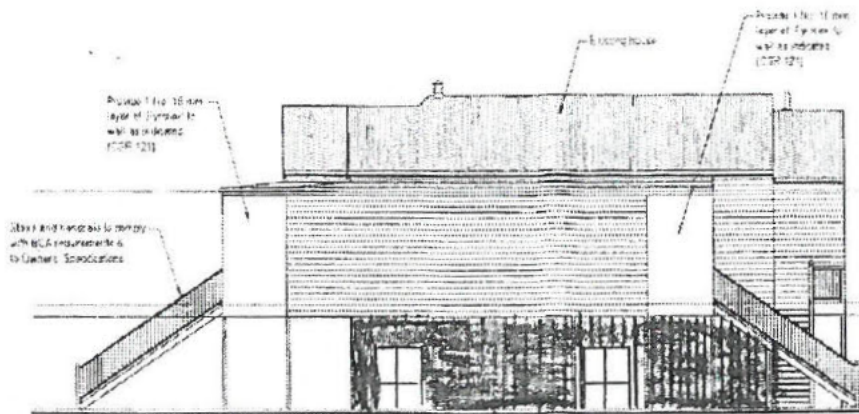
MURRAY STREET VIEW
SOUTH-WEST ELEVATION (1:100)



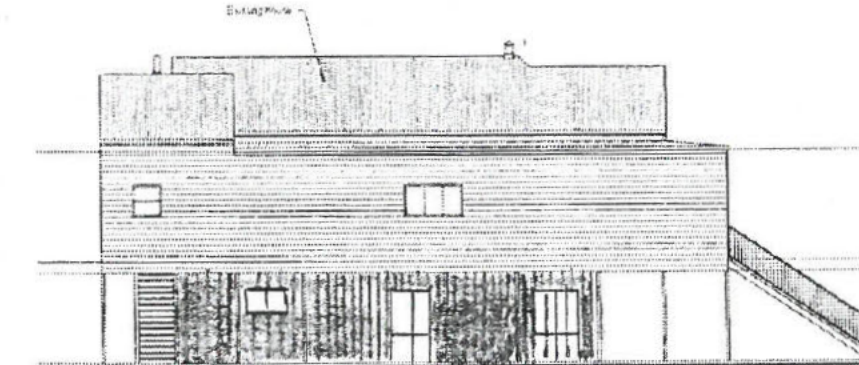
GEORGE LANE VIEW
NORTH-EAST ELEVATION (1:100)

LEGEND

1	200 x 250 x 10000
2	200 x 250 x 10000
3	200 x 250 x 10000
4	200 x 250 x 10000
5	200 x 250 x 10000
6	200 x 250 x 10000
7	200 x 250 x 10000
8	200 x 250 x 10000
9	200 x 250 x 10000
10	200 x 250 x 10000
11	200 x 250 x 10000
12	200 x 250 x 10000
13	200 x 250 x 10000
14	200 x 250 x 10000
15	200 x 250 x 10000
16	200 x 250 x 10000
17	200 x 250 x 10000
18	200 x 250 x 10000
19	200 x 250 x 10000
20	200 x 250 x 10000



SOUTH-EAST ELEVATION (1:100)



NORTH-WEST ELEVATION (1:100)

Proposed Front Door
Entrance Unit Three

No.	Date	Amendment
1	07/08/2014	Plans Amended
2	11/07/14	Landing & Stairs Amended
3	22/10/13	For Building Approval
4	05/08/13	Preliminary Issue

Rockhampton Building Approval

876/2012

Approved for building approval on 11/07/14 by the Rockhampton Building Approval Authority.

PROPOSED
GROUND FLOOR
PLAN,
ELEVATIONS
& SECTION

AMENDED
PLAN

SX Drafting
137 MURRAY STREET
ROCKHAMPTON QLD 4702
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Building Designers Association
of Queensland Inc.

PROPOSED RENOVATIONS
AT 137 MURRAY STREET,
ROCKHAMPTON.
FOR THE CATHEY FAMILY
SUPER FUND

Scale	AS SHOWN ON AT	Date	Rev'd
1:100	SEA	13/07/13	C
1:100	SEA	13/07/13	C
1:100	SEA	13/07/13	C

13-031a

01/08